



PROPOSED REPAIR SHOP & OFFICE: ISSUED FOR DEVELOPMENT PERMIT

DRAWING LIST

ARCHITECTURAL

- A0.00 - COVER SHEET
- A0.01 - EXISTING SITE PHOTOS
- A0.02 - EXISTING SITE PHOTOS
- A0.03 - RENDERING FOR NOTICE POSTING
- A0.04 - RENDERINGS
- A1.00 - EXISTING SITE PLAN
- A1.01 - PROPOSED SITE PLAN
- A1.02 & A1.02a - PROPOSED FIRE TRUCK ROUTE
- A1.03 - PROPOSED W&R TRUCK ROUTE
- A1.04 - PROPOSED SEMI-TRUCK ROUTE
- A1.05 - PROPOSED PARKING ROUTE
- A1.06 - PROPOSED LOADING ROUTE
- A1.07 - PROPOSED LANDSCAPE PLAN
- A1.08 & A1.09 - YARD DETAILS
- A2.01 - PROPOSED MAIN FLOOR PLAN
- A2.02 - PROPOSED SECOND FLOOR PLAN
- A2.03 - NORTH-EAST & SOUTH-EAST ELEVATION
- A2.04 - NORTH-WEST & SOUTH-WEST ELEVATION



DISCLAIMER: THIS RENDERING IS PROVIDED FOR VISUALIZATION PURPOSES ONLY.



b2d
architecture Inc.

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(403) 389-8332
addis@b2darchitecture.ca
b2darchitecture.ca

SIGN / SEAL

AMENDED DRAWINGS

DP No	Date Received
DP2025-06280	Jul 13, 2026

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



WIEBE'S
STEEL
STRUCTURES

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Revision Schedule			
Rev. No.	Revision	By	Date

KU-AN
VENTURES
INC.

5048 26 AVE SE
CALGARY, AB

COVER PAGE

JOB NUMBER			
SCALE		DATE 2026-07-08	
DRAWN ED		CHECKED AG	
APPD		REV. NO	

DWG NUMBER

A0.00



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

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INC.

5048 26 AVE SE
CALGARY, AB

RENDERINGS

JOB NUMBER	
SCALE	DATE 2026-07-08
DRAWN ED	CHECKED AG
APP'D	REV. NO

A0.04

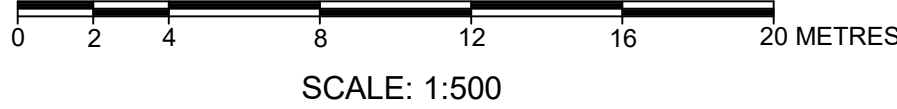
SITE PLAN

MUNICIPAL ADDRESS:
5048 & 5076 26th Avenue S.E.
Calgary, Alberta

LEGAL DESCRIPTION:
Unit 2 & 4
Condominium Plan 201 2087

PREPARED FOR: Wiebe's Steel Structures Ltd.

DATE OF SURVEY: August 8th, 2025



- LEGEND:
- Property Line
 - Right of Way Line
 - Fence Line
 - Water Valve
 - Fire Hydrant
 - Manhole
 - Catch Basin
 - Check Valve
 - Tree
 - Calculation points
 - Sanitary Line
 - Storm Line
 - Water Line
 - Gas Line
 - Overhead Wire
 - A.G.T Line

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DP No Date Received
DP2025-06280 Jul 13, 2026
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1.00m Major Contour Line
0.20m Minor Contour Line

'L'--Length of Arc
'BC'--Back of Curb
'BOW'--Bottom of Wall
'BW'--Back of Walkway
'Cont.'--Cantilever

'Conc.'--Concrete
'Elev.'--Elevation
'Enc.'--Encroach(es)
'LOC'--Lip of Gutter
'R.'--Radius

'R/W'--Right of Way
'Ret.'--Retaining
'TOW'--Top of Wall

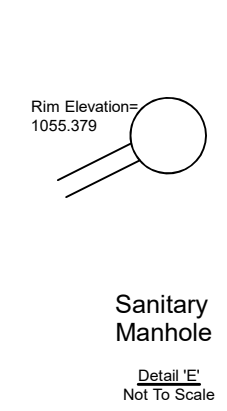
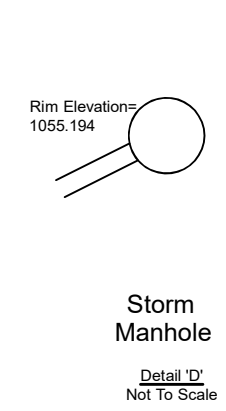
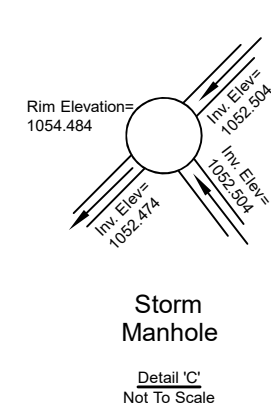
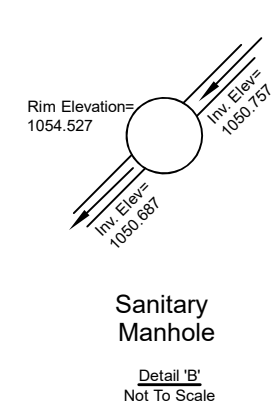
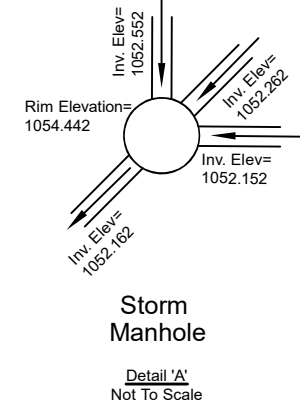
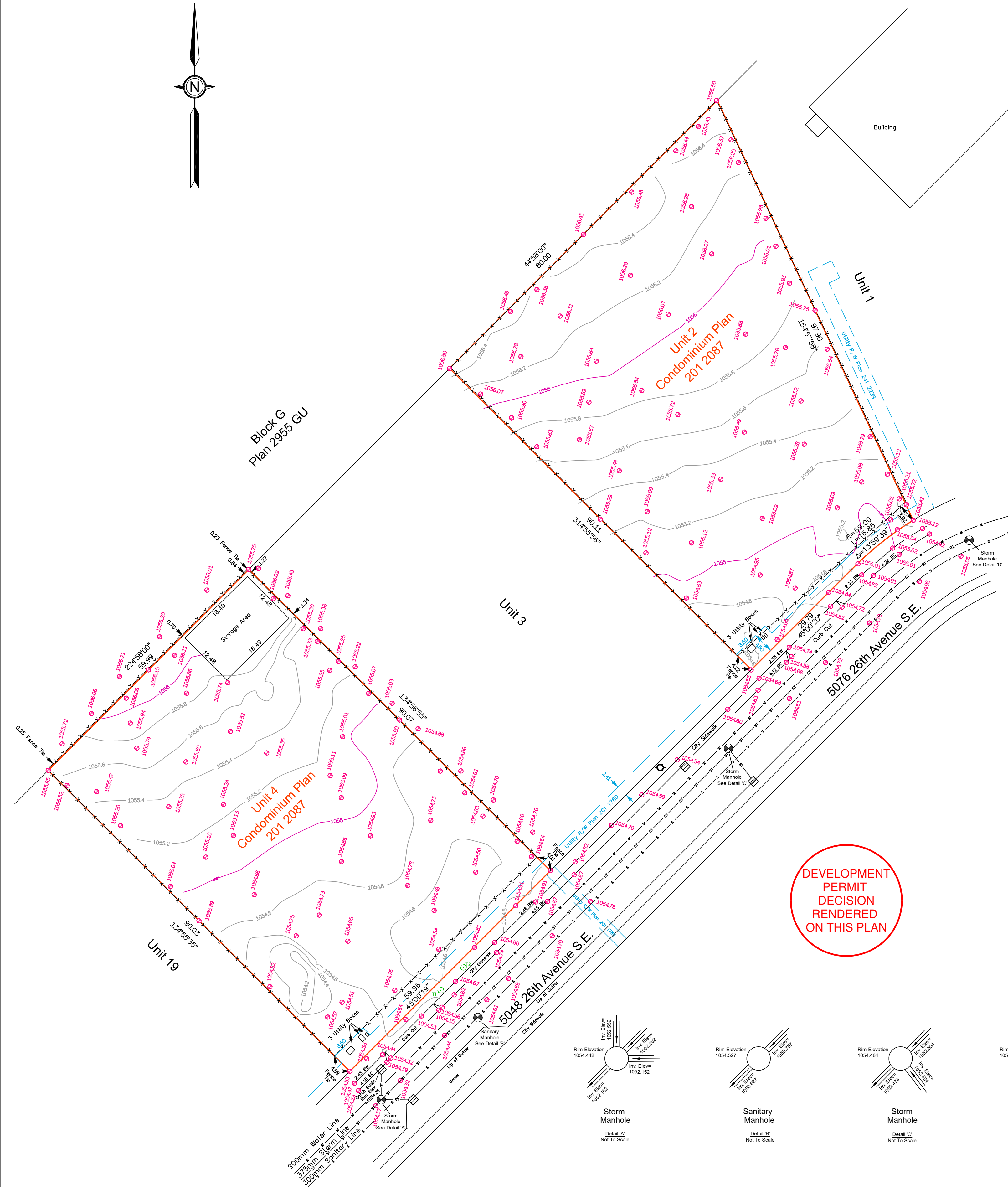
NOTE:

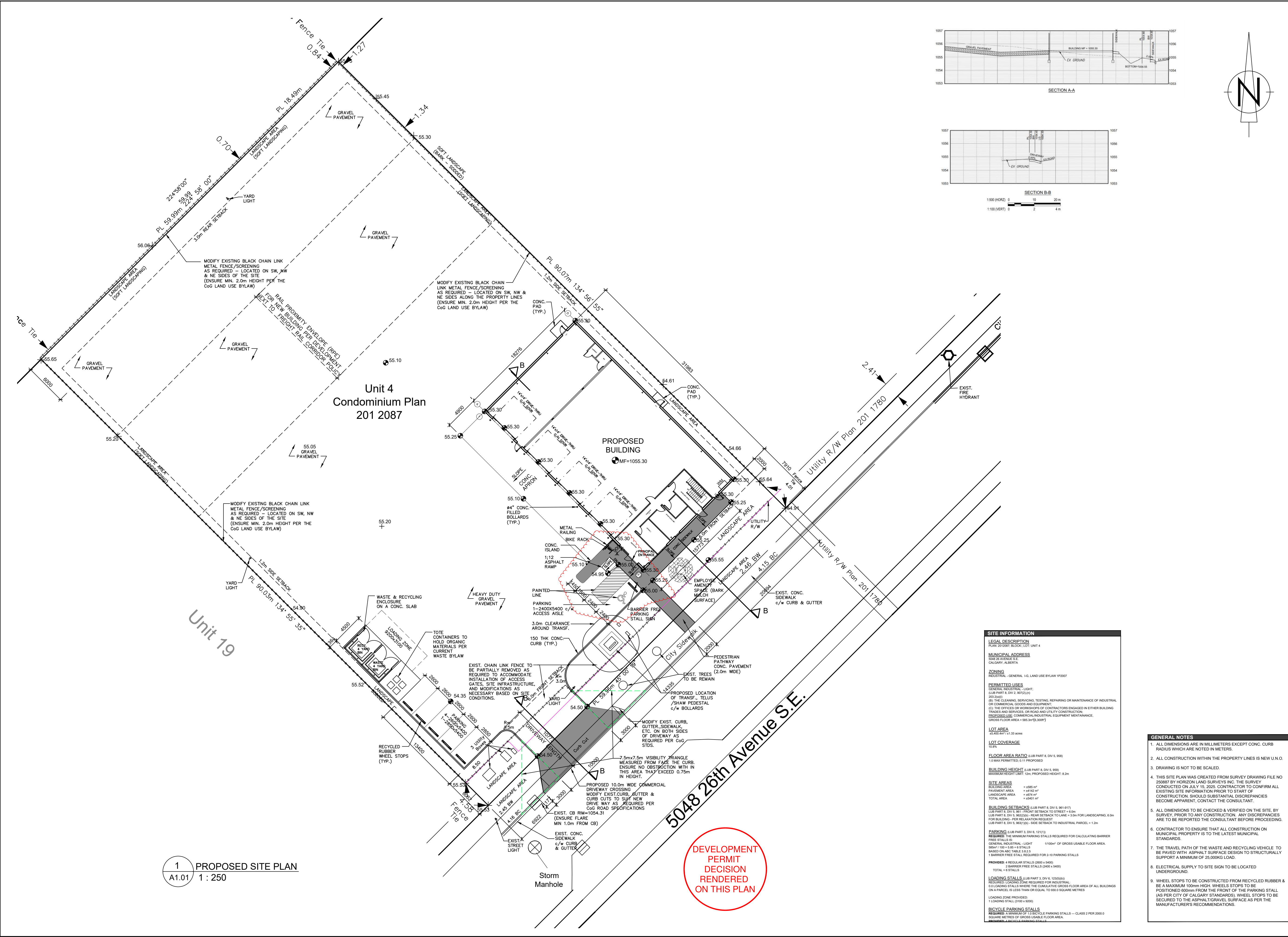
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999738
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 28167.
- Existing spot elevations are shown thus: 1000.00
- 6.a The Certificate of Title 241 048 217 was searched on the 10th day of July, 2025, and includes the following instruments:
Caveat No. 201 151 930
Utility Right of Way No. 201 193 404
Agreement No. 201 227 204
Easement No. 201 227 206
Caveat No. 211 053 094
Agreement No. 211 115 494
Mortgage No. 241 048 218
Caveat No. 241 048 219
- 6.b The Certificate of Title 251 028 449 was searched on the 10th day of July, 2025, and includes the following instruments:
Caveat No. 201 151 930
Utility Right of Way No. 201 193 404
Agreement No. 201 227 204
Easement No. 201 227 206
Caveat No. 211 053 094
Agreement No. 211 115 494

TREE SCHEDULE:

Tree No.	Variety	Caliper (±)	Canopy (±)	Height (±)	Location
T1	Deciduous Tree	0.10	1.00	4.00	In City Property
T2	Deciduous Tree	0.10	1.00	4.00	In City Property

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN





SITE INFORMATION	
LEGAL DESCRIPTION PLAN 2012087 BLOCK 101 UNIT 4	
MUNICIPAL ADDRESS 5048 26 AVENUE SE CALGARY, ALBERTA	
ZONING INDUSTRIAL - GENERAL 1-G, LAND USE BYLAW 1P2007	
PERMITTED USES GENERAL INDUSTRIAL - LIGHT; (A) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (B) THE CLEANING, SERVICING, TESTING, REPAIRING OR MAINTENANCE OF INDUSTRIAL OR COMMERCIAL GOODS AND EQUIPMENT; (C) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (D) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (E) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (F) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (G) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (H) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (I) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (J) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (K) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (L) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (M) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (N) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (O) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (P) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (Q) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (R) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (S) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (T) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (U) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (V) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (W) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (X) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (Y) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (Z) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION;	
LOT AREA 25,000.00 m ² (2.13 ACRES)	
LOT COVERAGE 100%	
FLOOR AREA RATIO (FAR) (LUB PART 8, DIV 5, 5.65) 1.0 MAX PERMITTED, 0.11 PROPOSED	
BUILDING HEIGHT (LUB PART 8, DIV 5, 5.65) MAXIMUM HEIGHT LIMIT: 12m; PROPOSED HEIGHT: 6.2m	
SITE AREAS BUILDING AREA = 1,585 m ² PARKING AREA = 1,412 m ² LANDSCAPE AREA = 1,412 m ² TOTAL AREA = 4,409 m ²	
BUILDING SETBACKS (LUB PART 8, DIV 5, 5.61-5.71) LUB PART 8, DIV 5, 5.61 - FRONT SETBACK TO STREET = 1.0m LUB PART 8, DIV 5, 5.62 (a) - REAR SETBACK TO LANE = 3.0m FOR LANDSCAPING, 6.0m FOR BUILDING, PER RELAXATION REQUEST LUB PART 8, DIV 5, 5.63 (b) - SIDE SETBACK TO INDUSTRIAL PARCEL = 1.2m	
PARKING (LUB PART 3, DIV 6, 121(1)) REQUIRED: THE MINIMUM PARKING STALLS REQUIRED FOR CALCULATING BARRIER FREE STALLS IS: GENERAL INDUSTRIAL - LIGHT 1/1000 th OF GROSS USABLE FLOOR AREA 5000 th 100 x 4.58 = 4 STALLS BASED ON ABC TABLE 3.2.2 1 BARRIER FREE STALL REQUIRED FOR 2-10 PARKING STALLS PROVIDED: 4 REGULAR STALLS (2000 x 5400) 2 BARRIER FREE STALLS (2400 x 5400) TOTAL = 6 STALLS	
LOADING STALLS (LUB PART 3, DIV 6, 123(5)(b)) REQUIRED: LOADING ZONE REQUIRED FOR INDUSTRIAL (i) LOADING STALLS WHERE THE CUMULATIVE GROSS FLOOR AREA OF ALL BUILDINGS ON A PARCEL IS LESS THAN OR EQUAL TO 500.0 SQUARE METRES LOADING ZONE PROVIDED: 1 LOADING STALL (3100 x 8000)	
BICYCLE PARKING STALLS REQUIRED: A MINIMUM OF 10 BICYCLE PARKING STALLS — CLASS 2 PER 2000.0 SQUARE METRES OF GROSS USABLE FLOOR AREA PROVIDED: 7 BICYCLE PARKING STALLS	

GENERAL NOTES	
1. ALL DIMENSIONS ARE IN MILLIMETERS EXCEPT CONC. CURB RADIUS WHICH ARE NOTED IN METERS.	
2. ALL CONSTRUCTION WITHIN THE PROPERTY LINES IS NEW UNLESS OTHERWISE NOTED.	
3. DRAWING IS NOT TO BE SCALED.	
4. THIS SITE PLAN WAS CREATED FROM SURVEY DRAWING FILE NO 200887 BY HORIZON LAND SURVEYS INC. THE SURVEY CONDUCTED ON JULY 15, 2025. CONTRACTOR TO CONFIRM ALL EXISTING SITE INFORMATION PRIOR TO START OF CONSTRUCTION. SHOULD SUBSTANTIAL DISCREPANCIES BECOME APPARENT, CONTACT THE CONSULTANT.	
5. ALL DIMENSIONS TO BE CHECKED & VERIFIED ON THE SITE. BY SURVEY, PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING.	
6. CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION ON MUNICIPAL PROPERTY IS TO THE LATEST MUNICIPAL STANDARDS.	
7. THE TRAVEL PATH OF THE WASTE AND RECYCLING VEHICLE TO BE PAVED WITH ASPHALT SURFACE DESIGN TO STRUCTURALLY SUPPORT A MINIMUM OF 25,000KG LOAD.	
8. ELECTRICAL SUPPLY TO SITE SIGN TO BE LOCATED UNDERGROUND.	
9. WHEEL STOPS TO BE CONSTRUCTED FROM RECYCLED RUBBER & BE A MAXIMUM 100mm HIGH. WHEELS STOPS TO BE POSITIONED 600mm FROM THE FRONT OF THE PARKING STALL (AS PER CITY OF CALGARY STANDARDS). WHEEL STOPS TO BE SECURED TO THE ASPHALT/GRAVEL SURFACE AS PER THE MANUFACTURER'S RECOMMENDATIONS.	

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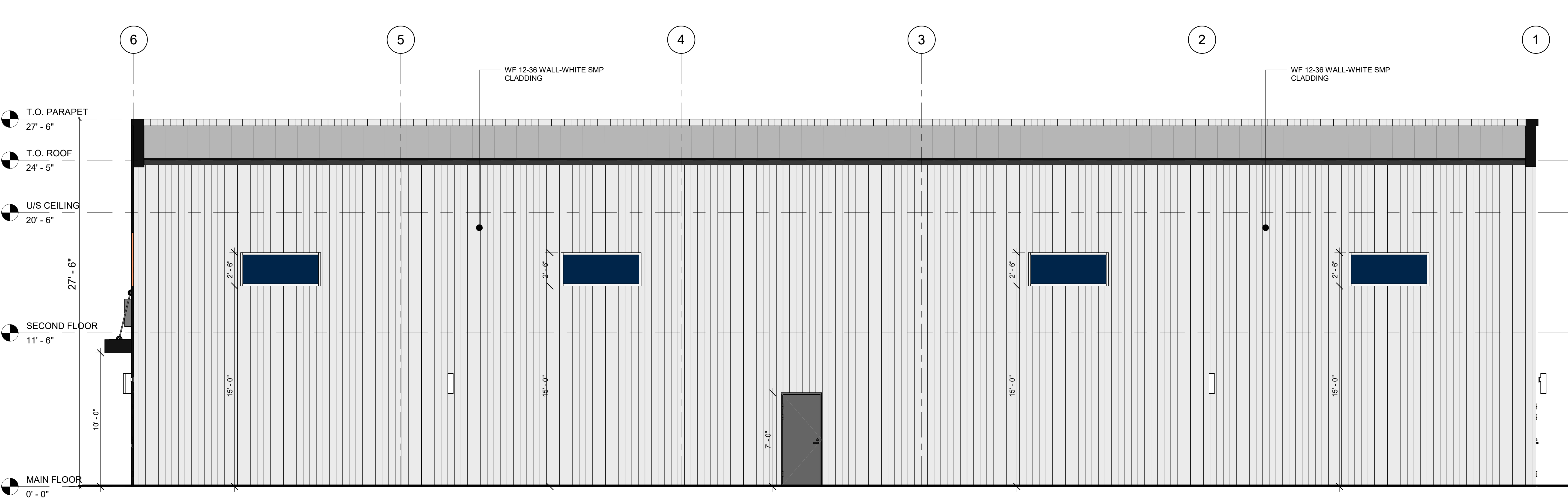
KU-AN VENTURES INC.

5048 26 AVE SE
CALGARY, AB

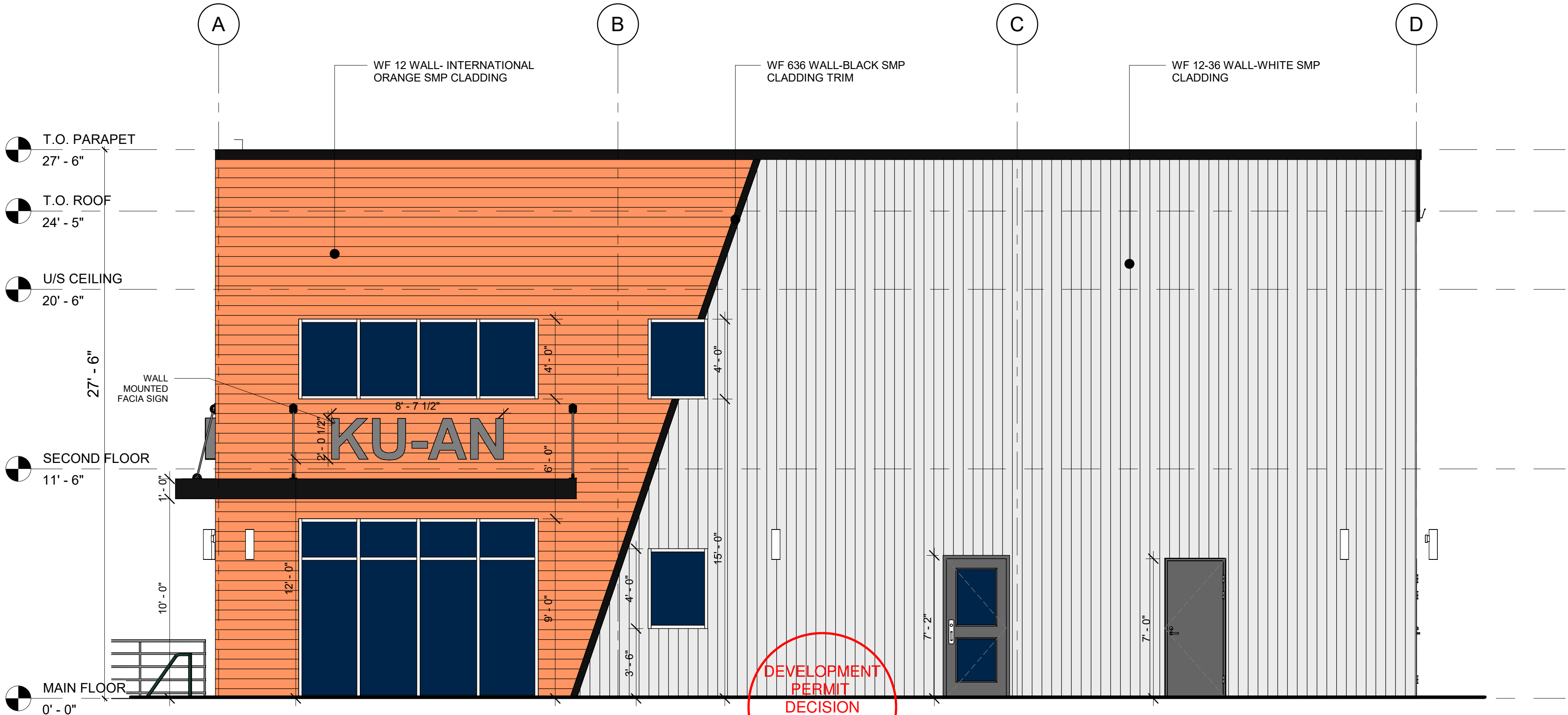
PROPOSED SITE PLAN

JOB NUMBER	
SCALE 1:250	DATE 2025-10-23
DRAWN ED	CHECKED AG
APP'D	REV. NO
DWG NUMBER	

A1.01



1 NORTH-EAST ELEVATION
1/4" = 1'-0"



2 SOUTH-EAST ELEVATION
1/4" = 1'-0"

DEVELOPMENT
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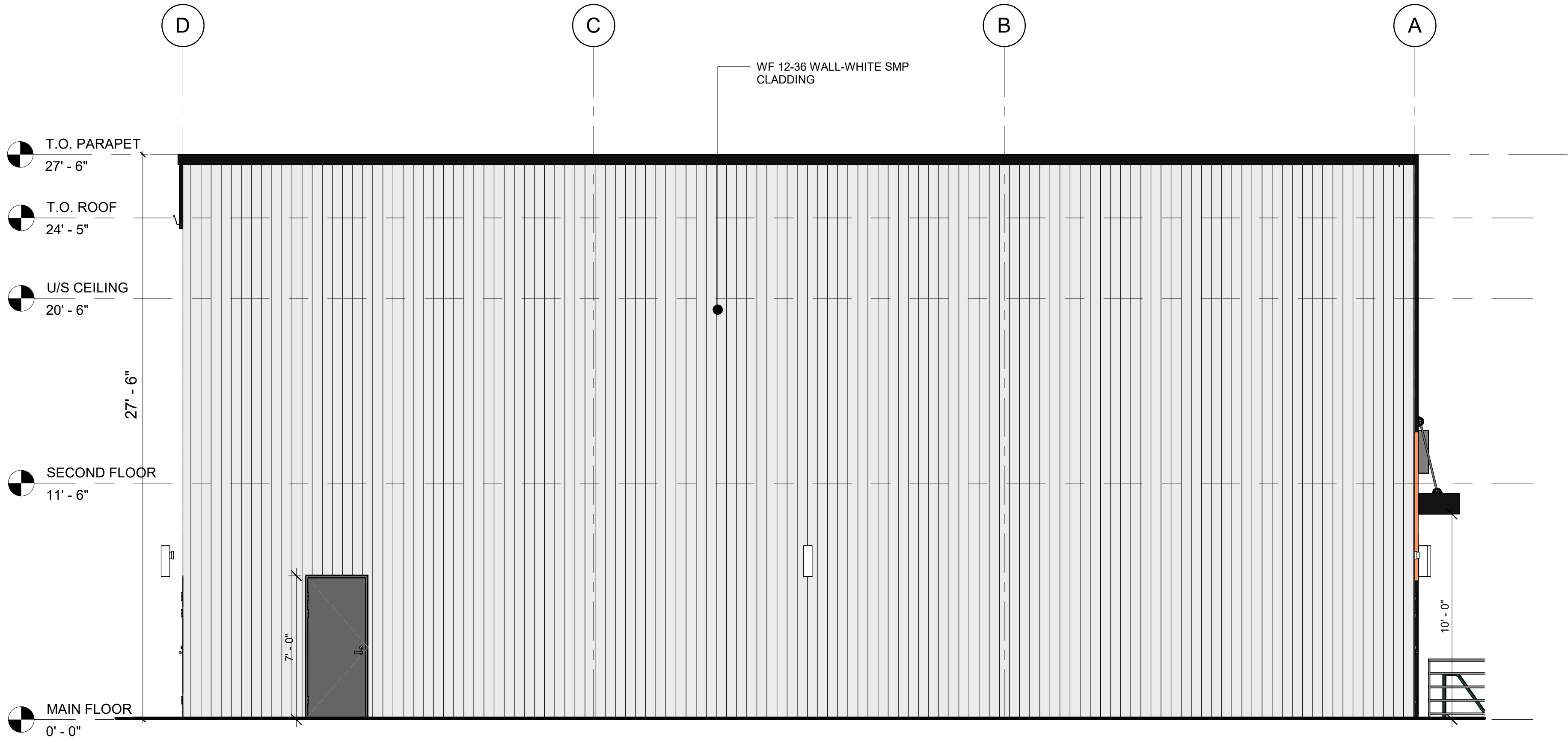
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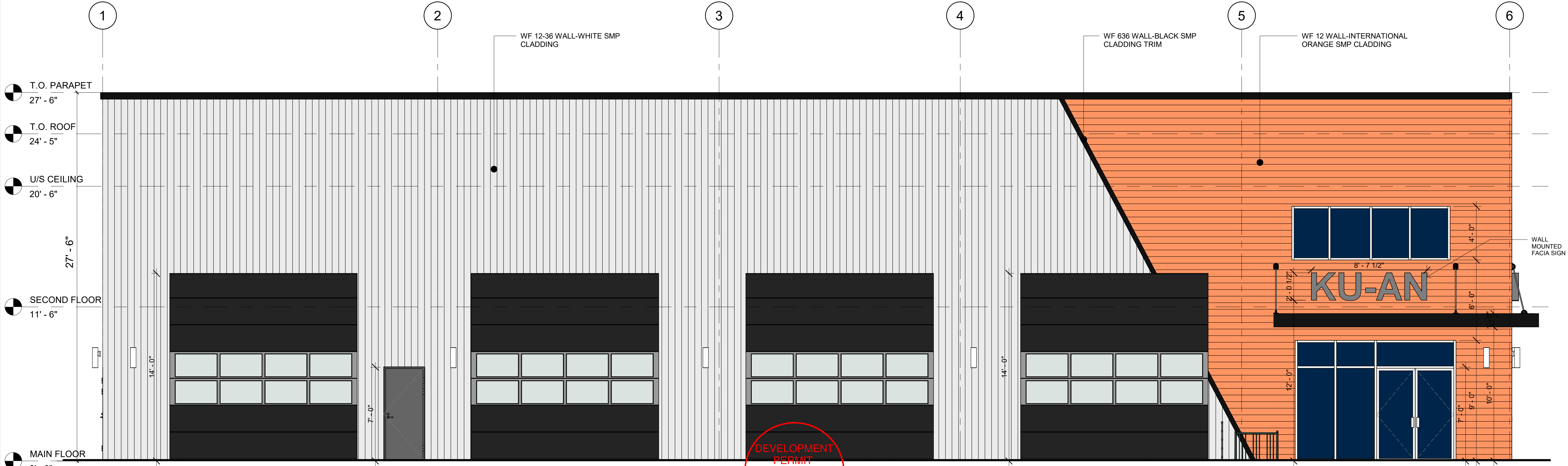
**NORTH-EAST &
SOUTH-EAST
ELEVATION**

JOB NUMBER			
SCALE	1/4" = 1'-0"	DATE	2026-07-08
DRAWN	ED	CHECKED	AG
APPD		REV. NO	
DWG NUMBER			

A2.03



1 NORTH-WEST ELEVATION
1/4" = 1'-0"



2 SOUTH-WEST ELEVATION
1/4" = 1'-0"

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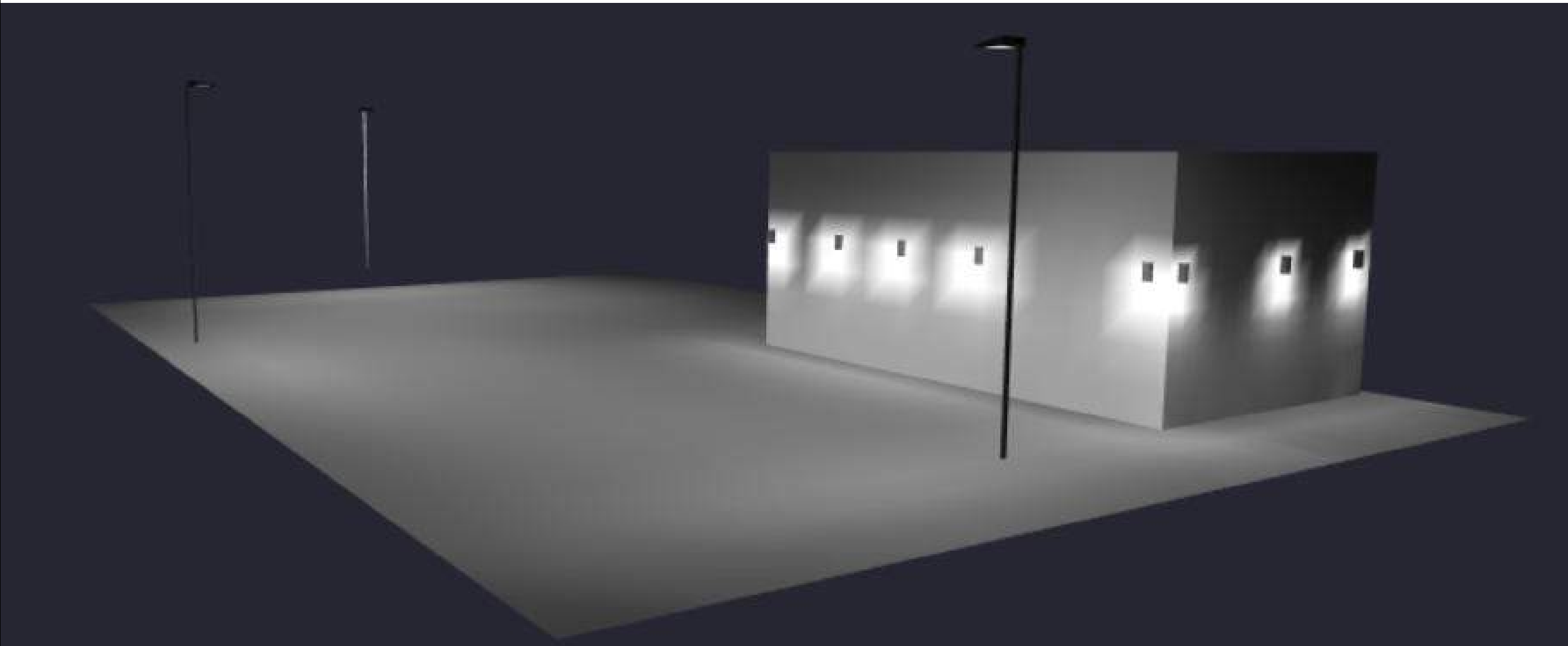
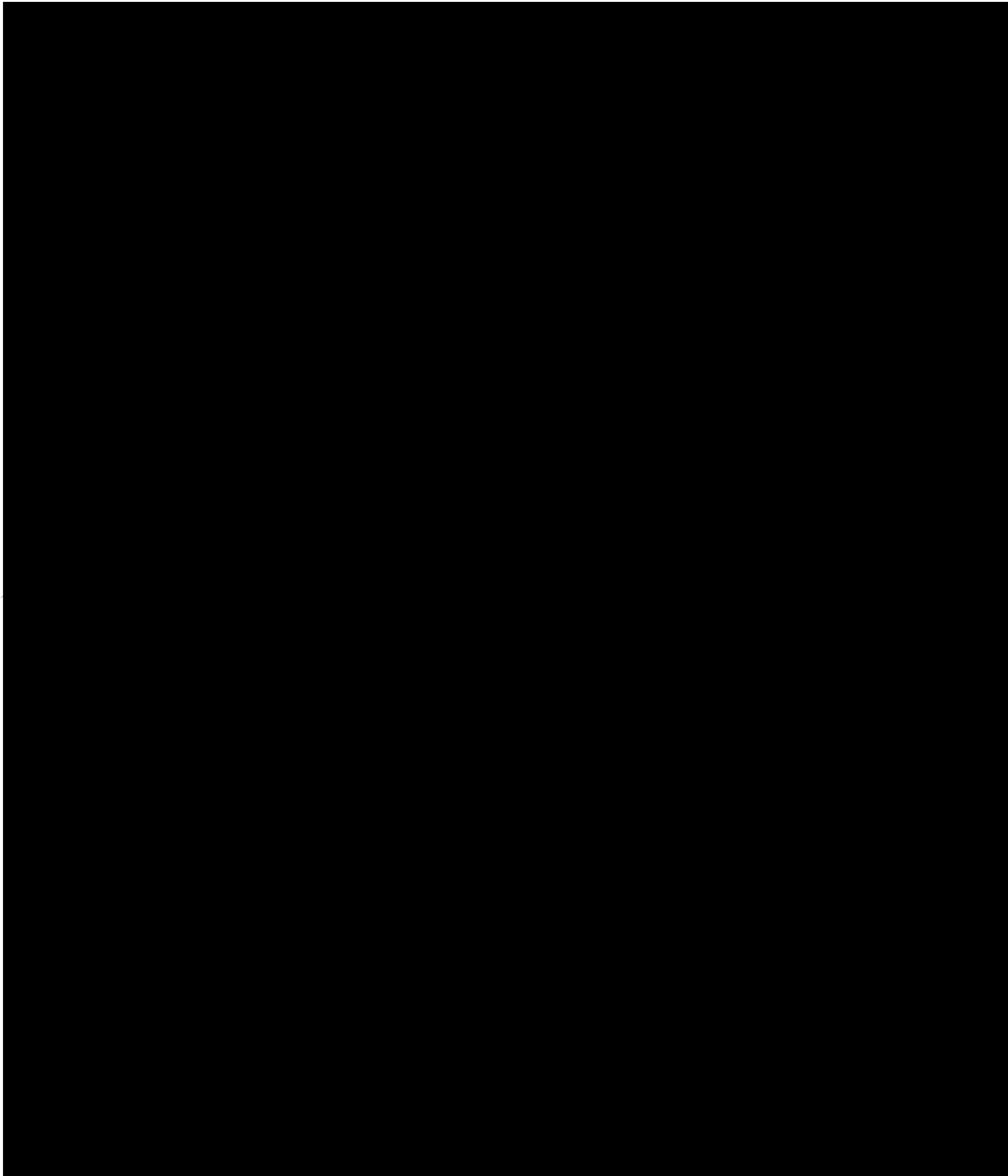
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NORTH-WEST & SOUTH-WEST ELEVATION

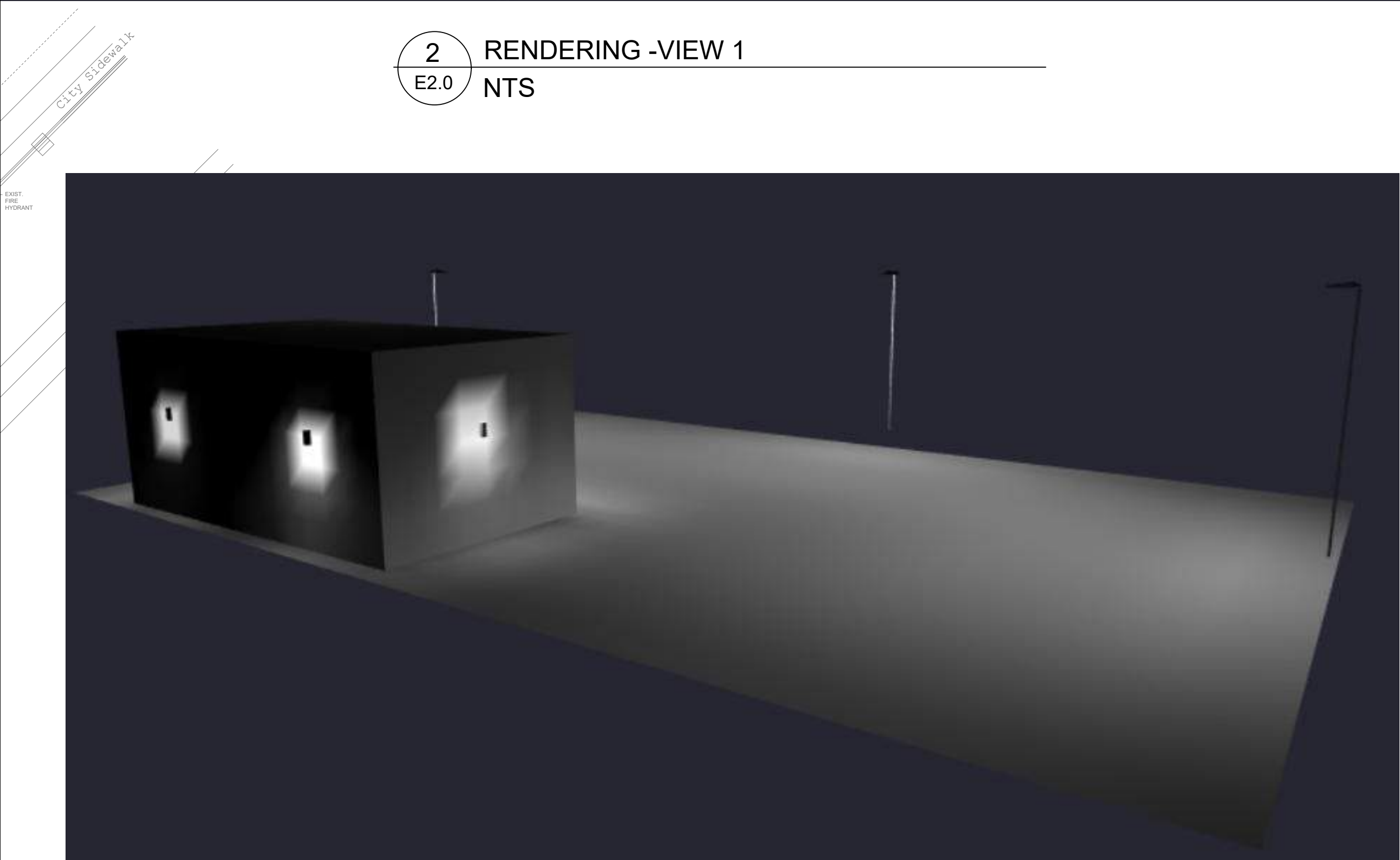
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2 RENDERING -VIEW 1
E2.0 NTS



3 RENDERING -VIEW 2
E2.0 NTS

Calculation Summary						
Label	CalcType	Units	Avg	Max	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	6.04	16.0	15.10	40.00

Min DEVELOPMENT
0.4 PERMIT
DECISION
RENDERED
ON THIS PLAN



Tel: +1 587 400 7594
Email: info@jiteconsulting.com
10060 Jasper Ave Tower 1 Suite 2020
Edmonton AB T5J 3R8

PROJECT NAME AND ADDRESS:

KU-AN VENTURES INC.

5048 26 AVE SE CALGARY, ALBERTA



REVISION SCHEDULE

REV#	DATE	DESCRIPTION
0	2025-11-04	ISSUED FOR DP

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DRAWING TITLE:
LIGHTING CALCULATION
AND RENDERING

DATE: Nov. 04, 2025

DRAWN BY: FI

REVIEWED BY: JT

DRAWING NO:

E2.0