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Registered REVIT LT 2026

STAMP:

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ISSUE DATE: YY/MM/DD
ISSUED FOR DP: 25/10/31
ISSUED FOR DR#1 26/01/21

8	SIDEWALK WIDENING	PC	26/01/21
7	GARAGE & LANE AISLE	PC	26/01/21
6	WATER METER ROOM	PC	26/01/21
5	STORM WATER & GRADING	PC	26/01/21
4	WASTE & RECYCLING	PC	26/01/21
0D	FENCES	PC	26/01/21
0C	PLANTING REQUIREMENTS	PC	26/01/21
0B	BLDG. DEPTH	PC	26/01/21
0A	BLDG. SETBACK FROM PL.	PC	26/01/21
#	REVISION	BY	DATE

PROJECT NAME:

2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:

2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:

COVER SHEET

DATE (yy/mm/dd): FILE #:
2026-01-21 12:30:44 PM 2530

DRAWN BY: CHECKED BY:
PC RH

IF THIS BAR IS NOT
25mm LONG, PLEASE ADJUST
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25mm

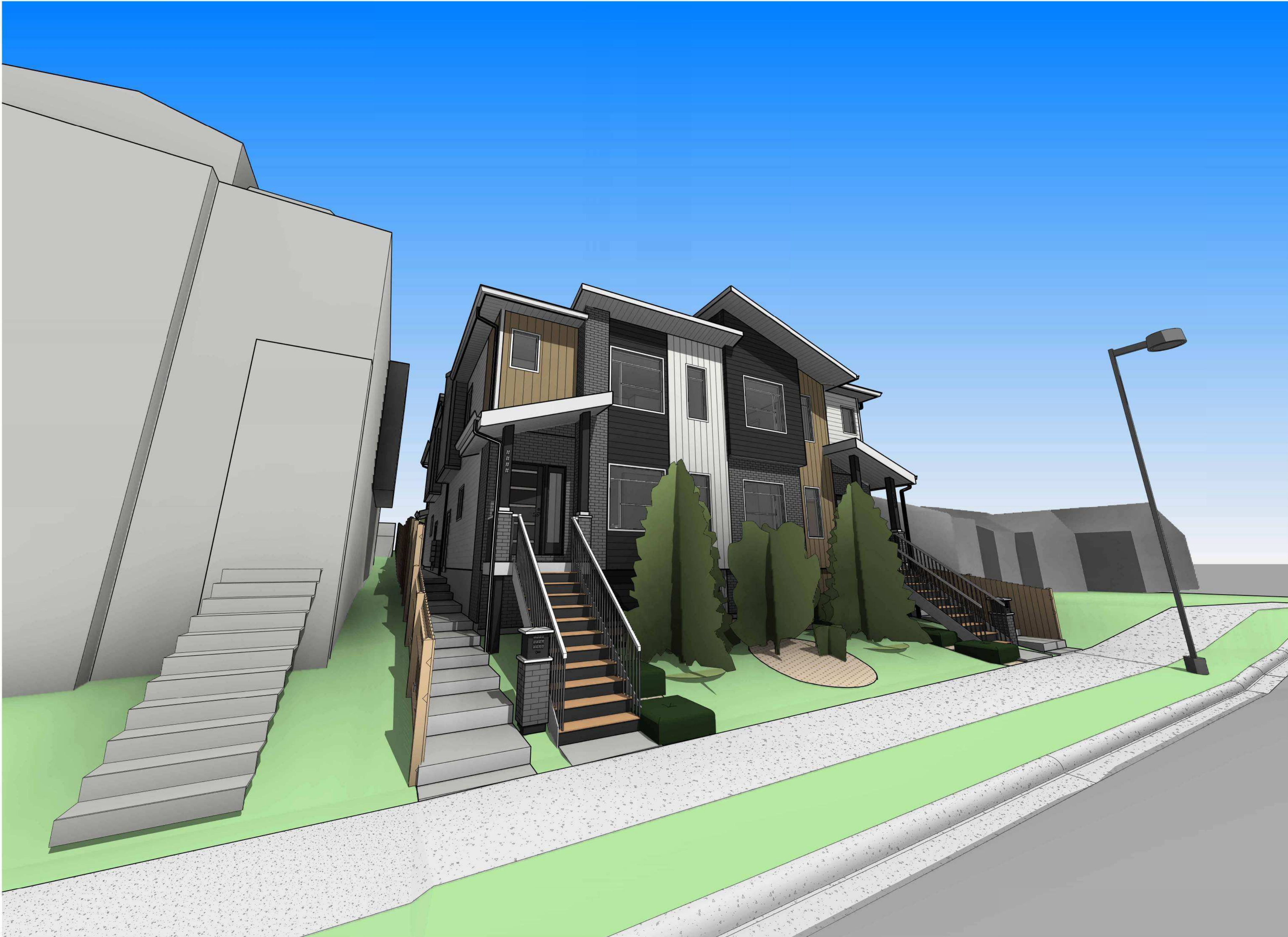
DRAWING #

DP0.0

PLOT STAMP:
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2125 SPILLER ROAD SE TOWNHOMES

2125 SPILLER ROAD SE, CALGARY AB
ISSUED FOR DR#1: (26/01/21)



DRAWING LIST

SHEET NUMBER	SHEET NAME
DP0.0	COVER SHEET
DP0.1	LIMITING DISTANCE CALCULATIONS
DP1.0	BLOCK PLAN & STREET SCAP ELEVATION
DP1.1	EXISTING SITE PLAN
DP1.2	PROPOSED SITE PLAN
DP1.3	PROPOSED LANDSCAPE PLAN
DP1.4	ENLARGED PLAN & SITE DETAILS
DP1.5	SITE DETAILS
DP1.6	SITE SECTIONS & ELEVATIONS
DP2.0	LOWER FLOOR PLAN (SECONDARY SUITE)
DP2.1	MAIN FLOOR PLAN
DP2.2	UPPER FLOOR PLAN
DP3.0	ELEVATIONS
DP3.1	ELEVATIONS
DP4.0	BUILDING SECTIONS
DP5.0	GARAGE PLANS & ELEVATIONS

AMENDED DRAWINGS
DP No Date Received
DP2025-06273 JAN 21, 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

NOT FOR CONSTRUCTION

ISSUE DATE: YY/MM/DD
ISSUED FOR DP: 25/10/31
ISSUED FOR DR#1: 26/01/21

#	REVISION	BY	DATE
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PROJECT NAME:
2125 SPILLER ROAD SE TOWNHOMES

ADDRESS:
2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:
LIMITING DISTANCE CALCULATIONS

DATE (yy/mm/dd): 2026-01-21 12:30:50 PM	FILE #: 2530
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EAST ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	44.79 m²
LIMITING DISTANCE:	>8 m
ALLOWABLE UNPROTECTED OPENINGS	44.79 m² (100%)
ACTUAL UNPROTECTED OPENINGS:	11.43 m² (25.52%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

NORTH ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	63.49 m²
LIMITING DISTANCE:	3.75 m
ALLOWABLE UNPROTECTED OPENINGS	4.44 m² (7%)
ACTUAL UNPROTECTED OPENINGS:	3.07 m² (4.84%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

WEST ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	36.91 m²
LIMITING DISTANCE:	(SPV-003) >8 m
ALLOWABLE UNPROTECTED OPENINGS	36.91 m² (100%)
ACTUAL UNPROTECTED OPENINGS:	8.92 m² (24.17%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

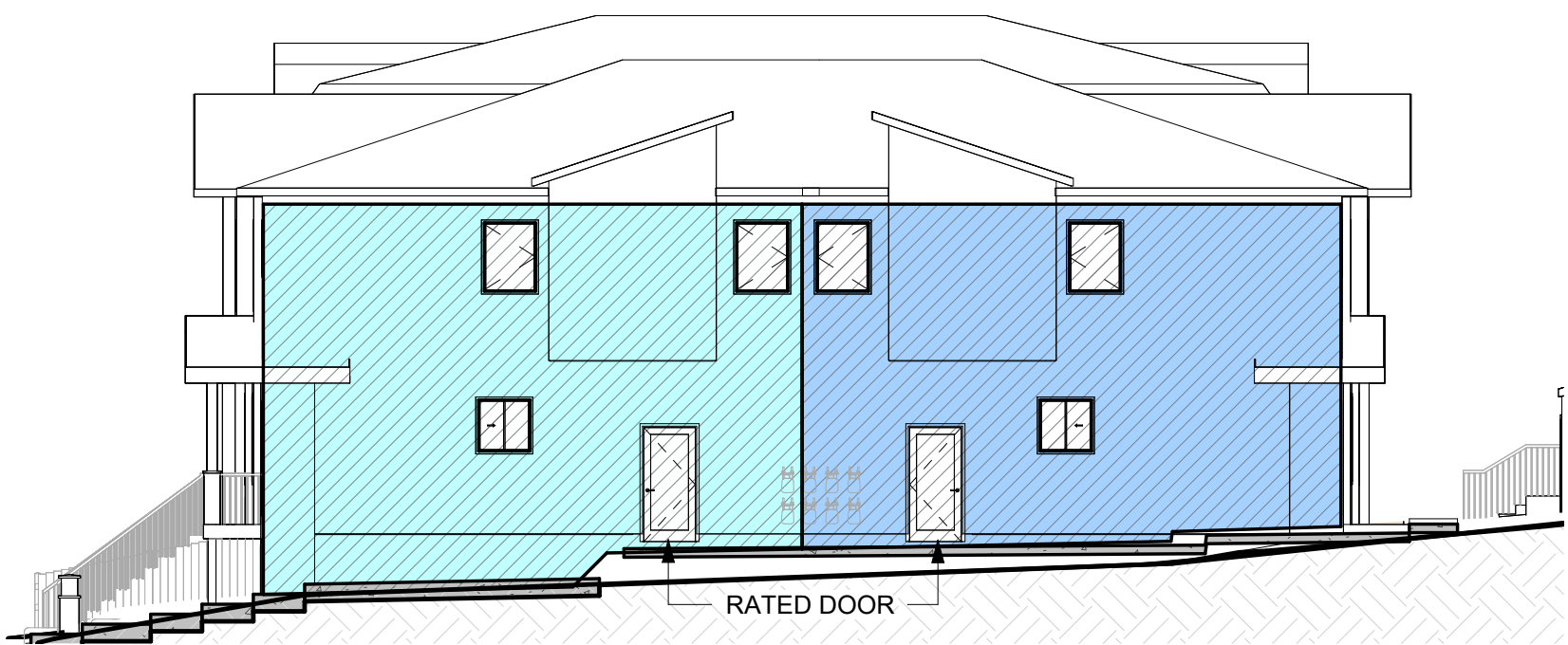
SOUTH ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

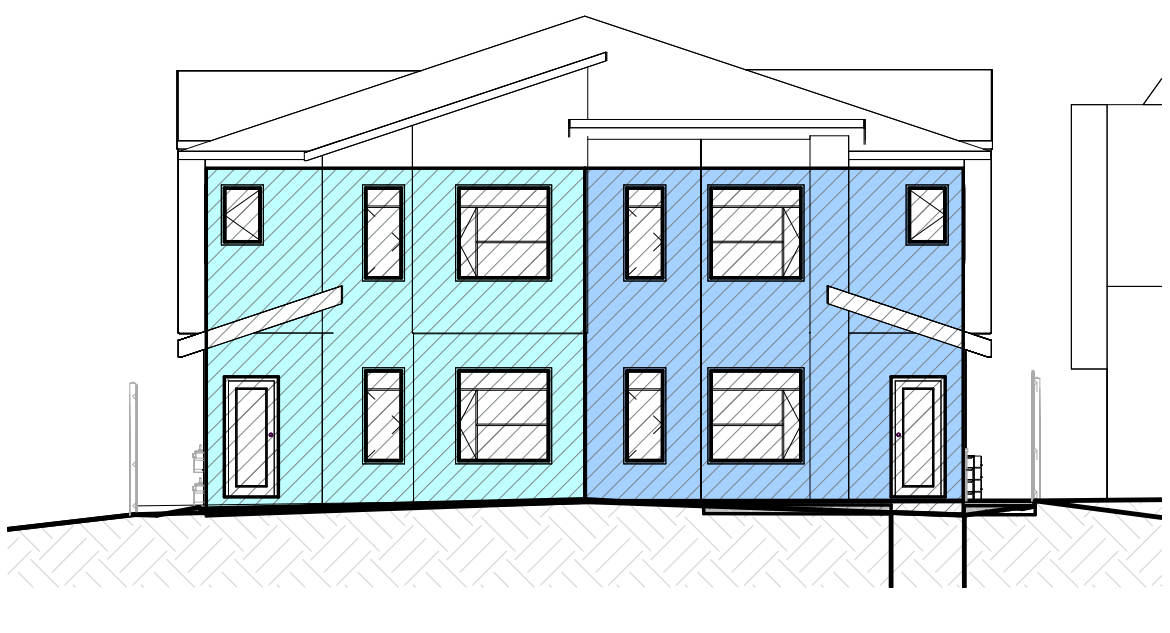
GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	57.52 m²
LIMITING DISTANCE:	1.2 m
ALLOWABLE UNPROTECTED OPENINGS	4.03 m² (7%)
ACTUAL UNPROTECTED OPENINGS:	3.07 m² (5.34%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	



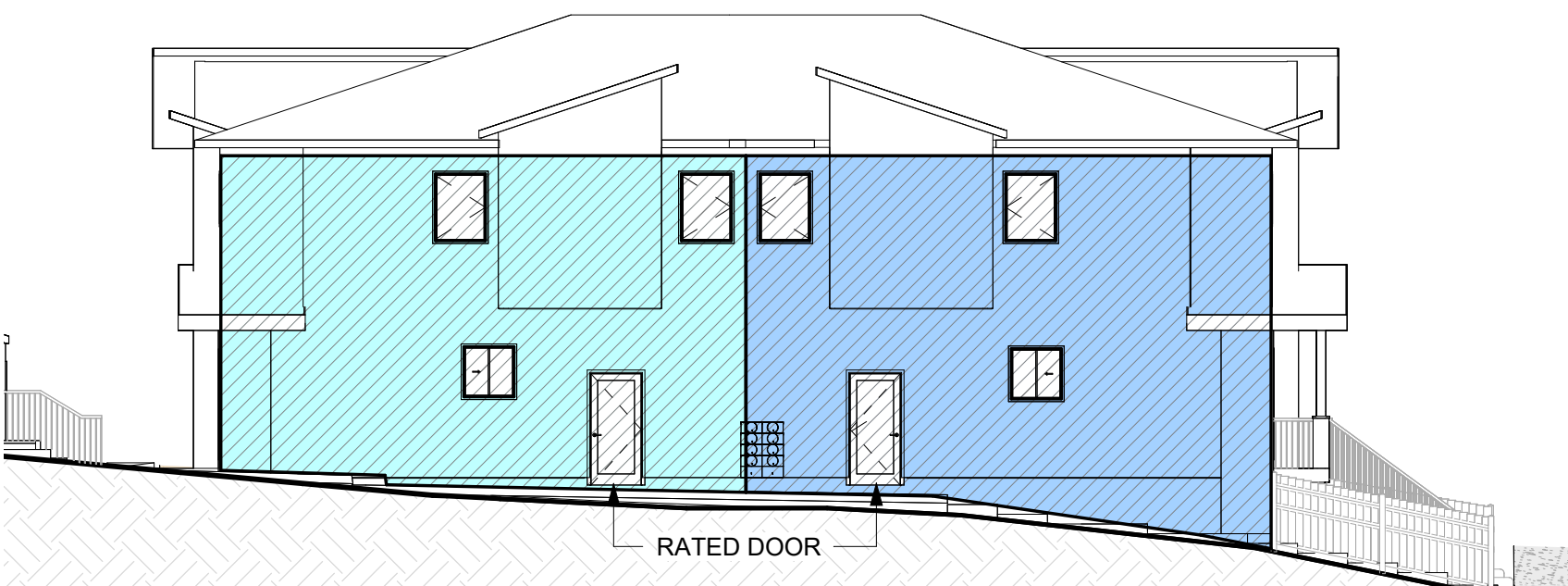
1 EAST ELEVATION LIMITING DISTANCE
SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION LIMITING DISTANCE
SCALE: 3/32" = 1'-0"



3 WEST ELEVATION LIMITING DISTANCE
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION LIMITING DISTANCE
SCALE: 3/32" = 1'-0"

EAST ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	44.79 m²
LIMITING DISTANCE:	>8 m
ALLOWABLE UNPROTECTED OPENINGS	44.79 m² (100%)
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• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

NORTH ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	57.52 m²
LIMITING DISTANCE:	1.2 m
ALLOWABLE UNPROTECTED OPENINGS	4.03 m² (7%)
ACTUAL UNPROTECTED OPENINGS:	3.07 m² (5.34%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

WEST ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	36.91 m²
LIMITING DISTANCE:	(SPV-003) >8 m
ALLOWABLE UNPROTECTED OPENINGS	36.91 m² (100%)
ACTUAL UNPROTECTED OPENINGS:	8.92 m² (24.17%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

SOUTH ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	62.41 m²
LIMITING DISTANCE:	1.2 m
ALLOWABLE UNPROTECTED OPENINGS	4.37 m² (7%)
ACTUAL UNPROTECTED OPENINGS:	3.07 m² (4.92%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

GENERAL INFORMATION:

MUNICIPAL ADDRESS:	2125 SPILLER ROAD SE
LEGAL ADDRESS:	LOTS: 12 & 13 BLOCK: 3 PLAN: 6260AM
DEVELOPMENT PERMIT:	TBD
BUILDING PERMIT:	TBD

SITE INFORMATION:

ZONING:	R-CG
USES:	TOWNHOUSE & SECONDARY SUITES
PARCEL AREA:	557.69 sq.m (0.055769 ha.)
EXISTING BUILDING(S):	EXISTING DWELLING 86.57 sq.m
EXISTING BUILDING AREA:	EXISTING ACCESSORY BUILDING 13.28 sq.m
TOTAL EXISTING BUILDING AREA: (ALL EXISTING STRUCTURES TO BE REMOVED)	99.85 sq.m
PROPOSED BUILDING(S):	
PROPOSED TOWNHOUSE BUILDING BUILDING AREA FOOTPRINT:	250.03 sq.m
FLOOR AREAS ABOVE GRADE (GFA)	MAIN FLOOR 250.03 m ² 2691.33 ft ² UPPER FLOOR 257.22 m ² 2768.67 ft ² 507.25 m ² 5460 ft ²
PROPOSED GARAGE BUILDING AREA FOOTPRINT:	GARAGE 71.38 m ² 768.33 ft ²
CUMULATIVE MOBILITY LOCKERS:	<10.0 sq.m
GROSS FLOOR AREA:	321.58 sq.m
FLOOR AREA RATIO:	1.074 F.A.R.
ALLOWABLE PARCEL COVERAGE:	60% LUB1P2007 - 534(2)
PROPOSED PARCEL COVERAGE:	BUILDING AREA / PARCEL AREA = % 321.41 sq.m / 557.69 sq.m = 57.63 %
TOTAL NUMBER OF UNITS:	4 DWELLING UNITS + 4 SUITES
DENSITY [# UNITS / PARCEL AREA(ha)]	71.72
SETBACKS:	
FRONT YARD:	MIN. 3.00 m LUB1P2007 - 537
REAR YARD (BUILDING):	MIN. 1.2 m LUB1P2007 - 540
REAR YARD (ACCESSORY. BLDG.):	MIN. 0.6 m LUB1P2007 - 345(1)(b)
SIDE YARD (BUILDING):	MIN. 1.2 m LUB1P2007 - 539(1)
SIDE YARD (ACCESSORY. BLDG.):	MIN. 0.6 m LUB1P2007 - 345(1)(b)
BUILDING HEIGHT:	MAX. 1062.57 LUB1P2007 - 541(2) - DP2025-01558

SITE PLAN LEGEND:

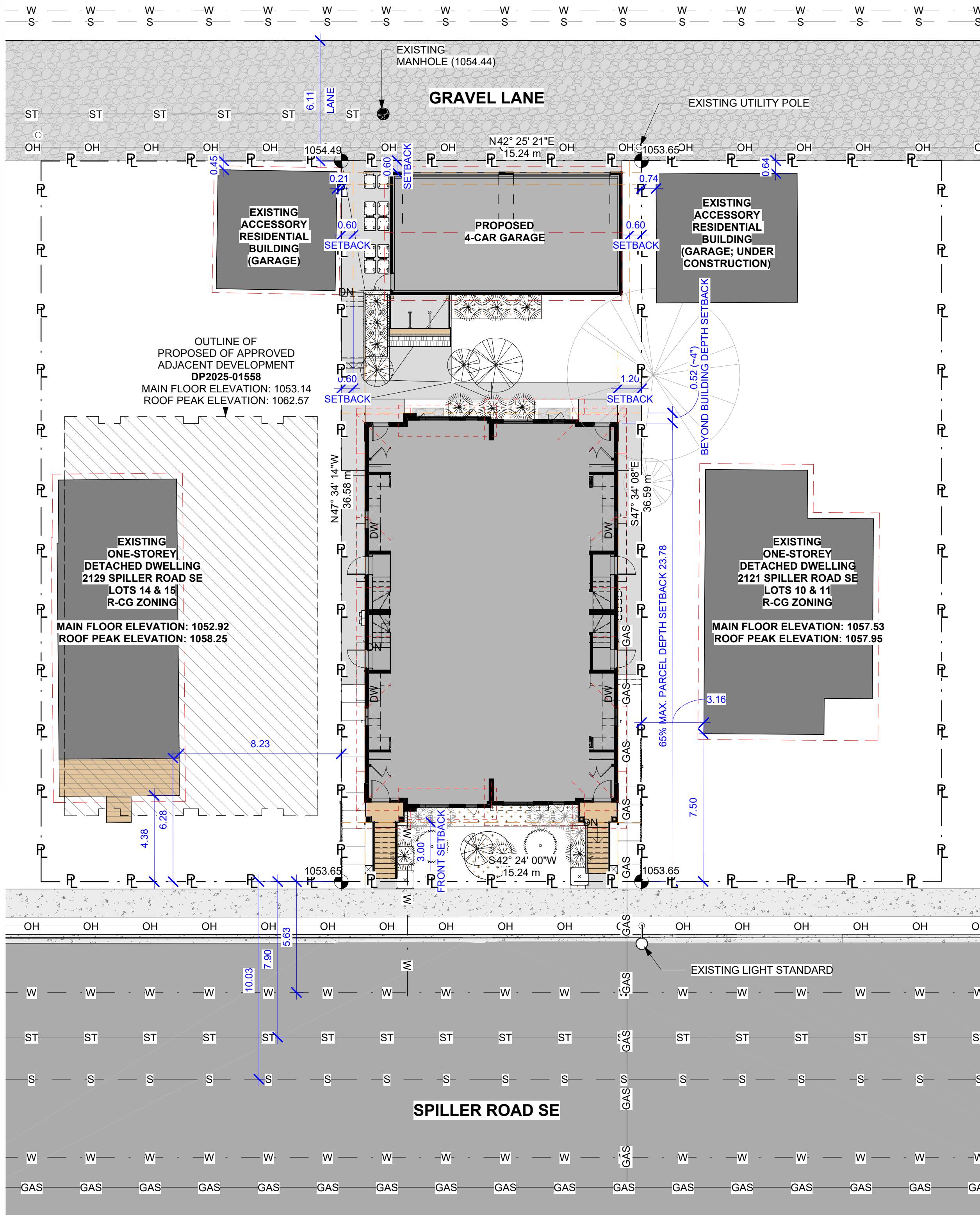
PROPOSED DWELLING:	
NEIGHBORING DWELLINGS	
WOOD DECK / PATIO	
PROPERTY LINE:	
SETBACK:	
FENCE LINE:	
OUTLINE OF ROOF:	
CANTILEVER ABOVE:	
UTILITY RIGHT AWAY:	
OVERHEAD POWER LINES:	
U.G. SANITARY LINE:	
U.G. WATER LINE:	
U.G. STORM LINE:	
U.G. GAS LINE:	
GRADE DATUM:	EXISTING GRADE (5.12) PROPOSED GRADE (6.34)
NO CHANGE GRADE DATUM MARKER:	N/C PROPOSED GRADE (6.34)
EXISTING TREES TO REMAIN	
EXISTING SHRUBS TO REMAIN	
PROPOSED TREES	
PROPOSED SHRUBS	

SITE PLAN ABBREVIATIONS:

FG:	FRONT OF GRADE
RG:	REAR GRADE
TR:	TOP OF ROOF
TJ:	TOP OF JOIST
TFW:	TOP OF FOUNDATION WALL
TF:	TOP OF FOOTING



PROPOSED ADJACENT DEVELOPMENT DP2025-01558



1 BLOCK PLAN
DP1.0 SCALE: 1:150



2 STREETScape
DP1.0 SCALE: 1:200



#185, 1209 - 59 AVENUE SE
CALGARY, ALBERTA T2H 2P6
PH: (403) 452 - 4393

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ISSUED FOR DP: 25/10/31
ISSUED FOR DR#1: 26/01/21

REVISION BY DATE

PROJECT NAME:
2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:
2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:
BLOCK PLAN & STREET
SCAPE ELEVATION

DATE (yy/mm/dd): FILE #:
2026-01-21 12:31:54 PM 2530

DRAWN BY: CHECKED BY:
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DRAWING #

DP1.0

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GENERAL INFORMATION:

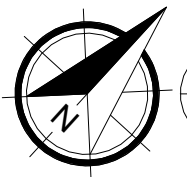
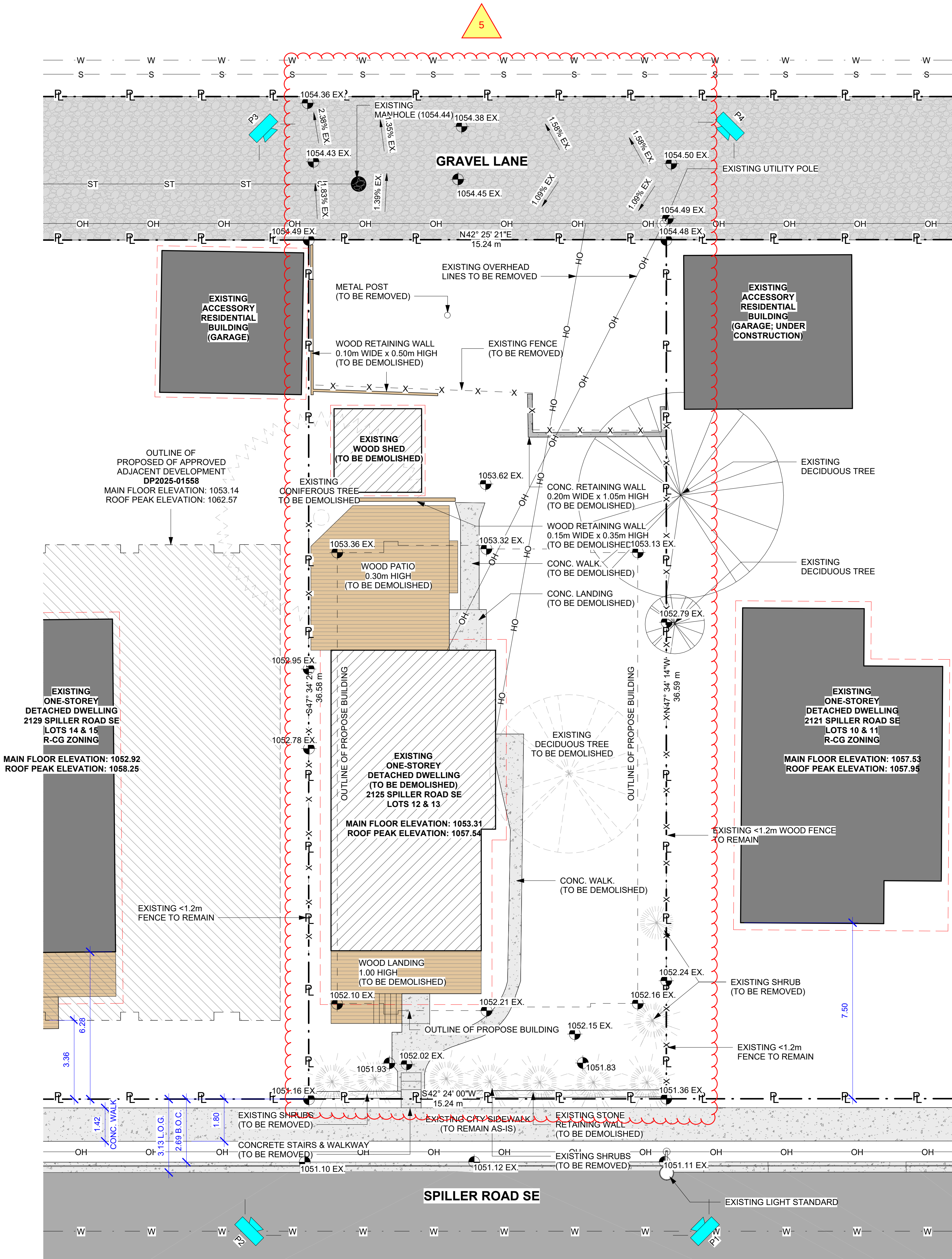
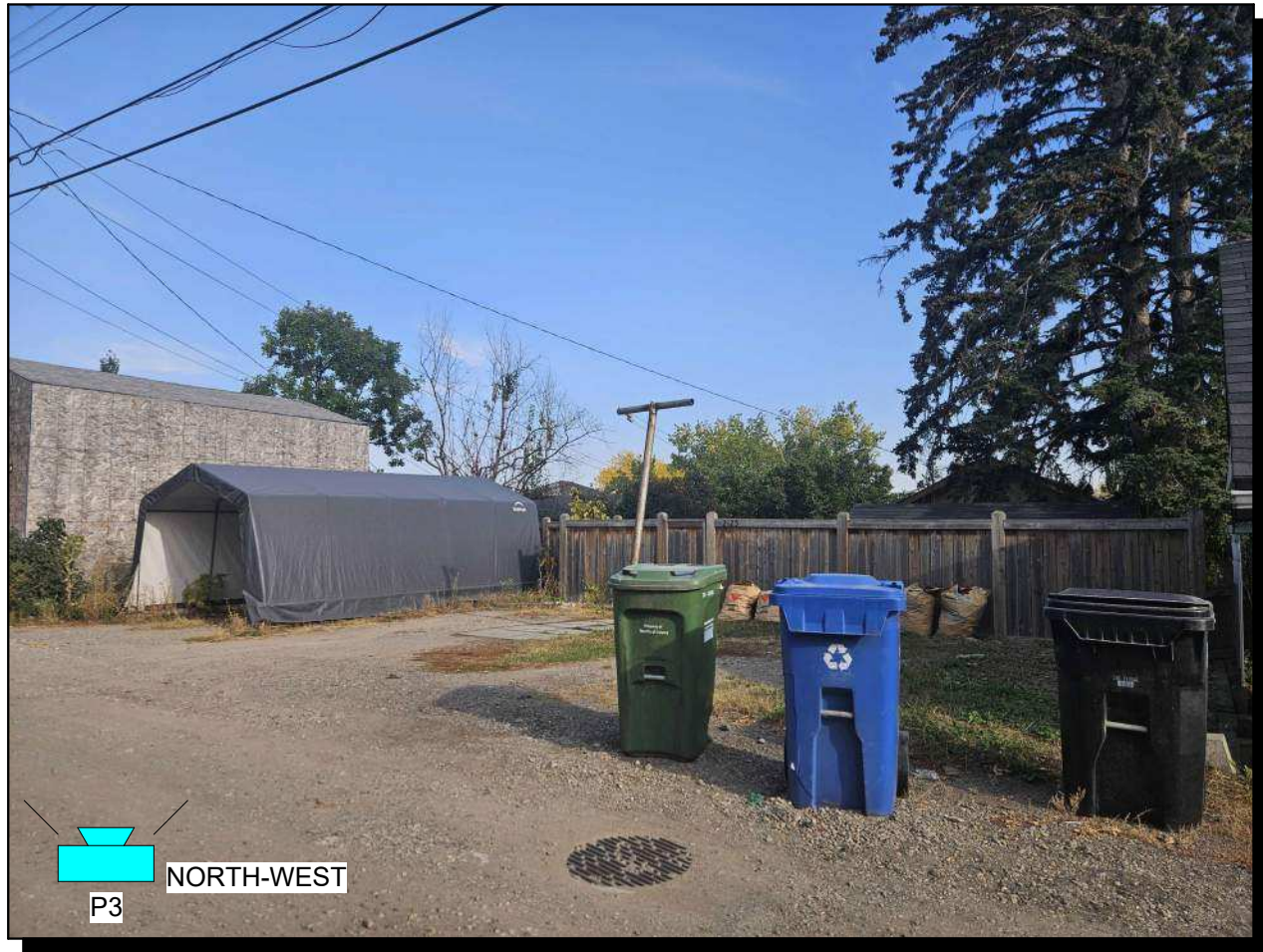
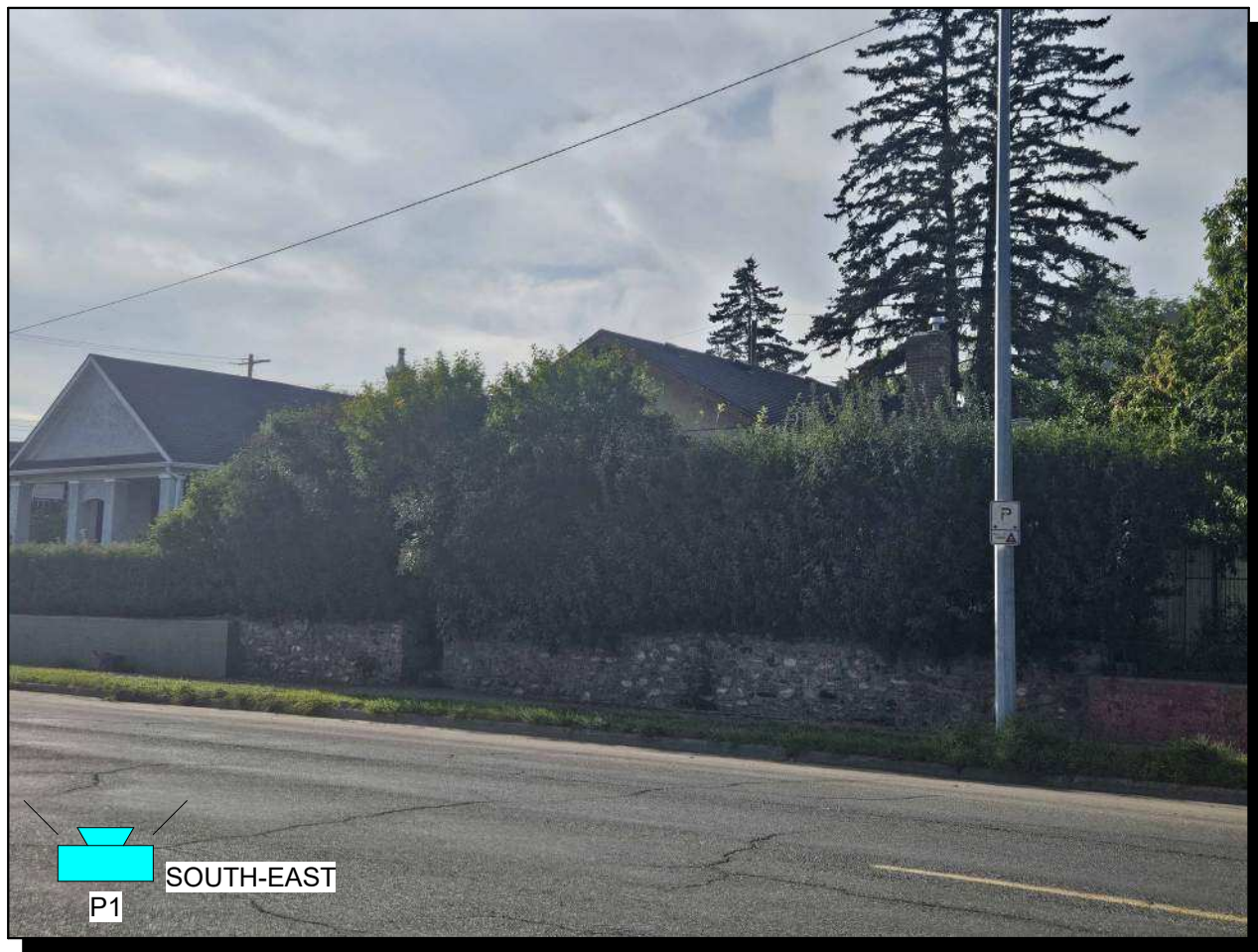
MUNICIPAL ADDRESS: 2125 SPILLER ROAD SE
LEGAL ADDRESS: LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM
DEVELOPMENT PERMIT: TBD
BUILDING PERMIT: TBD

EXISTING SITE PLAN LEGEND:

EXISTING BUILDING TO REMAIN: [Symbol]
EXISTING BUILDING TO BE DEMOLISHED: [Symbol]
PROPERTY LINE: [Symbol]
SETBACK: [Symbol]
FENCE LINE: [Symbol]
OUTLINE OF ROOF: [Symbol]
CANTILEVER ABOVE: [Symbol]
UTILITY RIGHT AWAY: [Symbol]
OVERHEAD POWER LINES: [Symbol]
U.G. SANITARY LINE: [Symbol]
U.G. WATER LINE: [Symbol]
U.G. STORM LINE: [Symbol]
U.G. GAS LINE: [Symbol]
GRADE DATUM: [Symbol] EXISTING GRADE (5.12)
[Symbol] PROPOSED GRADE (6.34)
NO CHANGE GRADE DATUM MARKER: [Symbol] N/C
[Symbol] PROPOSED GRADE (6.34)
EXISTING CONIFEROUS TREE TO REMAIN [Symbol]
EXISTING CONIFEROUS TREE TO BE REMOVED [Symbol]
EXISTING DECIDUOUS TREE TO REMAIN [Symbol]
EXISTING DECIDUOUS TREE TO BE REMOVED [Symbol]
EXISTING SHRUB TO REMAIN [Symbol]
EXISTING SHRUB TO BE REMOVED [Symbol]

EXISTING SITE PLAN LEGEND:

- ALL EXISTING SITE PLAN ELEMENTS TO REMAIN UNLESS NOTED OTHERWISE.
- ALL EXISTING TREES & SHRUBS WITHIN SUBJECT PARCEL TO BE REMOVED PRIOR TO CONSTRUCTION, UNLESS NOTED OTHERWISE.
- ALL INDICATED GRADES & SLOPE FOLLOWED BY THE 'EX' PRE-FIX DENOTES EXISTING GRADE.
- ALL EXISTING RETAINING WALLS WITHIN SUBJECT PARCEL TO BE REMOVED PRIOR TO CONSTRUCTION, UNLESS NOTED OTHERWISE.
 - EXISTING SITE GRADING TO BE REHABILITATED AS REQUIRED TO MATCH GRADE AT PROPERTY LINE / PUBLIC WALKWAY



1
DP1.1
EXISTING SITE PLAN
SCALE: 1 : 100



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5 STORM WATER & GRADING PC 26/01/21
REVISION BY DATE

PROJECT NAME:
2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:
2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:
EXISTING SITE PLAN

DATE (yy/mm/dd): 2026-01-21 12:31:57 PM
FILE #: 2530

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AMENDED DRAWINGS
DP No Date Received
DP2025-06273 JAN 21, 2026
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ABOVE DEVELOPMENT PERMIT NO.

LANDSCAPE PLAN GENERAL NOTES

- LANDSCAPE PLAN DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SITE PLAN & SITE DETAIL DRAWINGS.
- PROPOSED LANDSCAPE AREAS ARE TO BE PREPARED PRIOR TO THE INTRODUCTION OF VEGETATION ON SITE, AS REQUIRED AND RECOMMENDED BY NURSERY SUPPLIER.
- PROPOSED PLANTS & SHRUBS AT THE TIME OF PLANTING ARE TO BE WATERED & PROTECTED AS REQUIRED & RECOMMENDED BY NURSERY SUPPLIER.
- EXISTING TREES & SHRUBS LOCATED WITHIN THE PARCEL ARE TO BE PROTECTED WITH A HIGHLY VISIBLE FENCED PERIMETER & WATERED AT A MINIMUM OF ONCE PER WEEK DURING THE COURSE OF CONSTRUCTION.
- DECIDUOUS TREES AT TIME OF PLANTING TO HAVE A CALLIPER OF MIN. 60mm. CONIFEROUS TREES AT TIME OF PLANTING TO HAVE A HEIGHT OF MIN. 2.0m
- PROPOSED LANDSCAPED AREAS ARE TO BE SERVICED BY LOW-WATER IRRIGATION SYSTEM.
- MIN. 300mm TOPSOIL TO BE PROPOSED FOR ALL ABSORBENT LANDSCAPING AREAS ON SITE.
- MIN. 3.0m PLANT SETBACK ALONG STREET (2125 SPILLER ROAD S.E.)

LANDSCAPE PLAN LEGEND

CONCRETE PAVER	
DECORATIVE ROCK	
EXISTING CONCRETE	
GRASS	
GRAVEL	
MULCH	
PERMEABLE PAVERS	
PROPOSED CONCRETE	
ROAD	
WINDOW WELL	
WOOD DECK	

TREE LEGEND

TREE SPECIES: MONTGOMERY BLUE SPRUCE
LATIN NAME: PICEA PUNGENS
CONIFEROUS
HEIGHT: 2.0m (3.0m MATURE HEIGHT)
QUANTITY: 2

TREE SPECIES: USSURIAN PEAR
LATIN NAME: PYRUS USSURIENSIS
DECIDUOUS
HEIGHT: 2.000mm
CALLIPER: MIN. 60mm (AT TIME OF PLANTING)
QUANTITY: 1

TREE SPECIES: SWEDISH COLUMNAR ASPEN
LATIN NAME: POPULUS TREMULA ERECTA
DECIDUOUS
HEIGHT: 2.000mm
QUANTITY: 3

SHRUB LEGEND

SHRUB SPECIES: DWARF BLUE GLOBE SPRUCE
LATIN NAME: PICEA PUNGENS 'GLOBOSA'
CONIFEROUS
HEIGHT: 600mm
QUANTITY: 7

SHRUB SPECIES: FRAGRANT SUMAC
LATIN NAME: RHUS AROMATICA AITON
DECIDUOUS
HEIGHT: 1,000mm
QUANTITY: 3

SHRUB SPECIES: RUBY CAROUSEL BARBERRY
LATIN NAME: BERBERIS THUNBERGII 'BAILONE'
DECIDUOUS
HEIGHT: 1,000mm
QUANTITY: 8

LANDSCAPE PLAN TOTALS

TOTAL TREES REQUIRED: 557.69m² / 110m² x 1.0 TREES = 6.0 TREES
TOTAL SHRUBS REQUIRED: 557.69m² / 100m² x 3.0 SHRUBS = 16.0 SHRUBS

PROPOSED TREES

SPECIES: MONTGOMERY BLUE SPRUCE
QUANTITY: 2

SPECIES: USSURIAN PEAR
QUANTITY: 1

SWEDISH COLUMNAR ASPEN
QUANTITY: 3

TOTAL TREES PROVIDED: 6

PROPOSED SHRUBS

SPECIES: DWARF BLUE GLOBE SPRUCE
QUANTITY: 7

SPECIES: FRAGRANT SUMAC
QUANTITY: 3

SPECIES: RUBY CAROUSEL BARBERRY
QUANTITY: 8

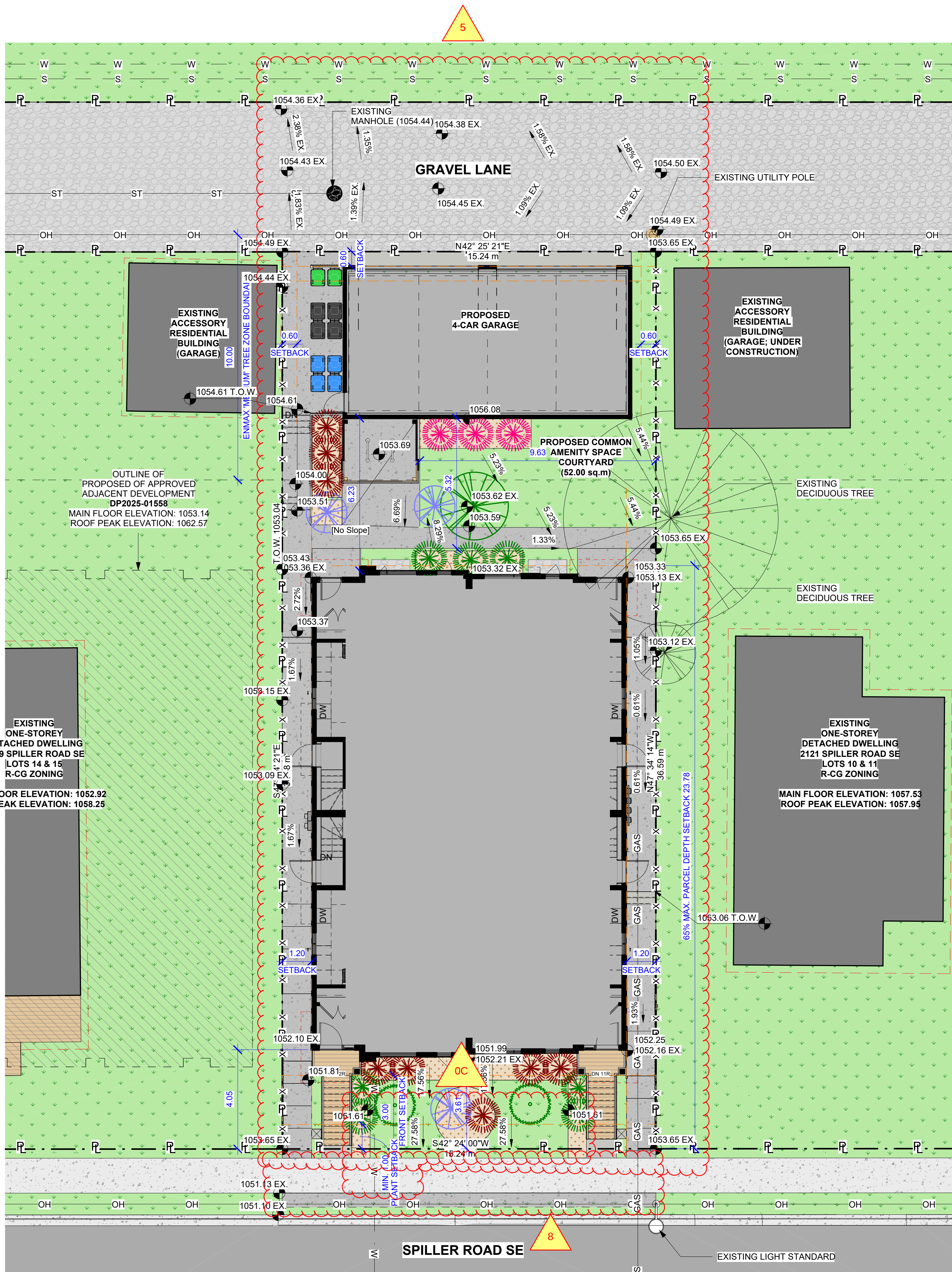
TOTAL SHRUBS PROVIDED: 18

SITE AREA CALCULATIONS

SITE AREA (m²): #	557.69m²	
SITE AREA (ACRES):	0.14ac	
SITE AREA (HECTARES):	0.06ha	
BUILDING FOOTPRINT AREA (m²):	321.58m²	
UNCOVERED PARKING AREA (m²):	0m²	
WASTE / RECYCLING AREA (m²):	6.35m²	
TOTAL LANDSCAPE AREA PROVIDED (m²):	229.76m²	

LANDSCAPE AREA BREAKDOWN

MAX. PERMITTED HARD SURFACE LANDSCAPING AREA (m ²):	160.832m ²	70.00%
TOTAL HARD SURFACE LANDSCAPING AREA (m ²):	131.12m ²	57.07%
MIN. PERMITTED SOFT SURFACE LANDSCAPE AREA (m ²):	68.928m ²	30.00%
TOTAL SOFT SURFACE LANDSCAPE AREA (m ²):	98.64m ²	42.93%



AMENDED DRAWINGS
DP No Date Received
DP2025-06273 JAN 21, 2026
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1
DP1.3
LANDSCAPE PLAN
SCALE: 1 : 100



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CALGARY, ALBERTA T2H 2P6
PH: (403) 452 - 4393

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ISSUED FOR DR#1: 26/01/21

8	SIDEWALK WIDENING	PC	26/01/21
5	STORM WATER & GRADING	PC	26/01/21
0C	PLANTING REQUIREMENTS	PC	26/01/21
#	REVISION	BY	DATE

PROJECT NAME:
2125 SPILLER ROAD SE TOWNHOMES

ADDRESS:
2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:
PROPOSED LANDSCAPE PLAN

DATE (yy/mm/dd): 2026-01-21 12:32:03 PM
FILE #: 2530

DRAWN BY: PC
CHECKED BY: RH

IF THIS BAR IS NOT 25mm LONG, PLEASE ADJUST YOUR PLOTTING SCALE.

25mm

DRAWING #
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ISSUE DATE: YY/MM/DD
ISSUED FOR DP: 25/10/2011
ISSUED FOR DR#1 26/01/2012

[illegible]

#	REVISION	BY	DATE
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PROJECT NAME:

2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS

2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
 LOTS: 12 & 13
 BLOCK: 3
 PLAN: 6260AM

DRAWING TITLE:

SITE DETAILS

DATE (yy/mm/dd):	FILE #:
2026-01-21 12:32:12 PM	2530

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PC	RH

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NOTE: ORIGINAL LEVEL OF TREE BASE TO BE LEVEL WITH FINISH GRADE

NOTE: FOR TREES WITH 2000mm HIGH AND UNDER

NOTE: SUPPORT @ 60% OF PLANT HEIGHT WITH

NOTE: ORIGINAL LEVEL OF
TREE BASE TO BE LEVEL
WITH FINISH GRADE

NOTE: FOR TREES WITH
2000mm HIGH AND OVER

NOTE: SUPPORT @ 60% OF PLANT HEIGHT AT 45° WITH 3 EQUALLY SPACED 3.8mm GALVANIZED GUY WIRE ENCASED IN REINFORCED RUBBER HOSE

NOTE: ORIGINAL LEVEL OF TREE BASE TO BE LEVEL WITH FINISH GRADE

NOTE: FOR TREES WITH
50mm CALIPER AND
UNDER

NOTE: ORIGINAL LEVEL
OF TREE BASE TO BE
LEVEL WITH FINISH
GRADE

NOTE: FOR TREES WITH
50mm CALIPER AND OVER

NOTE: SUPPORT @ 60%
OF PLANT HEIGHT AT 45°
WITH 3 EQUALLY SPACED
3.8mm GALVANIZED GUY
WIRE ENCASED IN
REINFORCED RUBBER
HOSE

SPACING AS PER
LANDSCAPE PLAN

PRUNE ONLY DEAD,
BROKEN, OR DISEASED
LIMBS TO MAINTAIN
NATURAL FORM TO SHRUB

FINISH GRADE 38mm
BELOW MOW STRIP

REMOVE ROOT BALL
FROM CONTAINER

CONTINUOUS 450mm DEEP
SHRUB BED. PLANTING SO
MIX AS PER SPECIFICATION

25mm

1
DP1.5

CONIFEROUS - PLANTING DETAIL

SCALE: 1 : 25

2
DP1.5

DECIDUOUS - PLANTING DETAIL

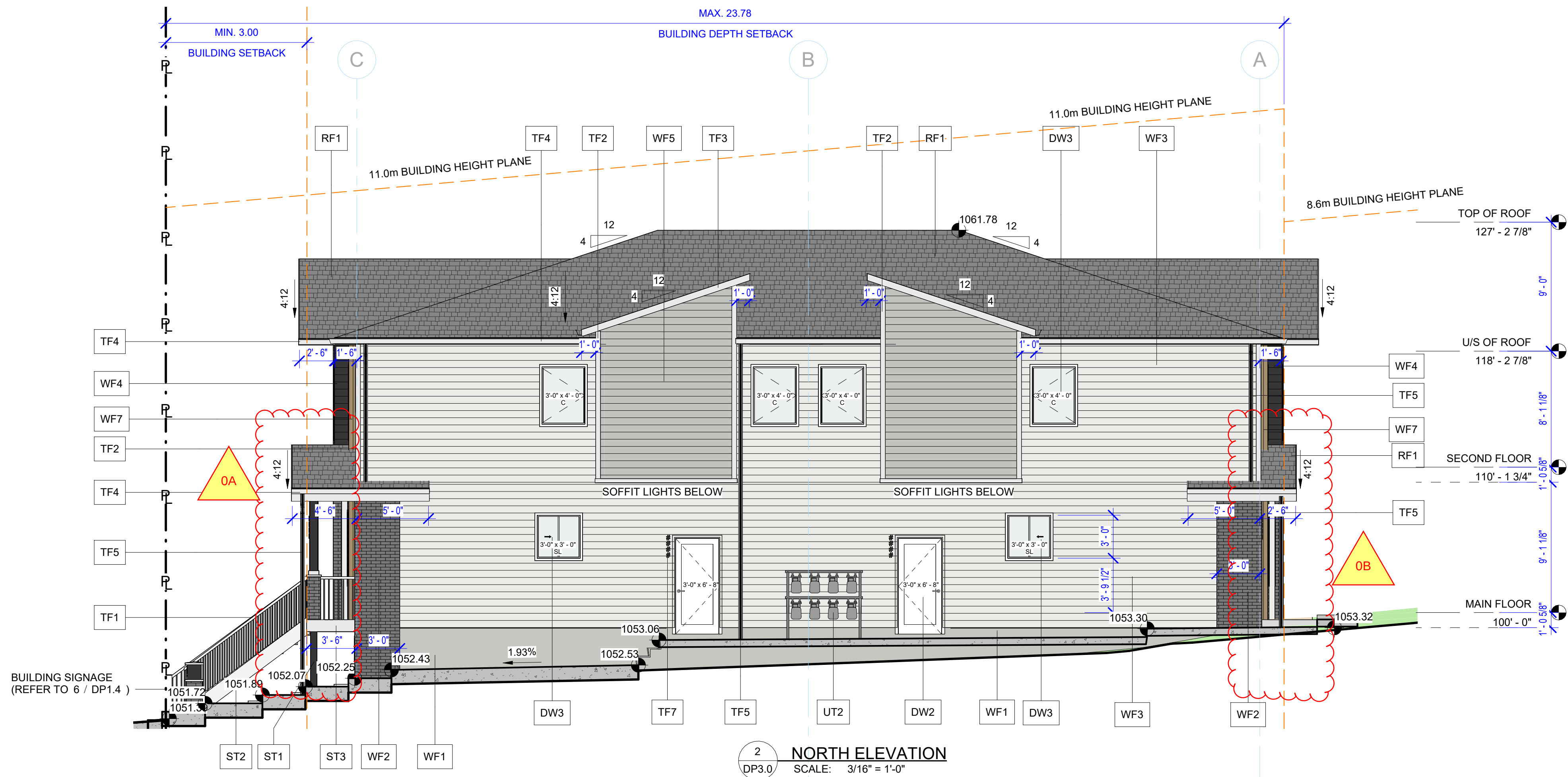
SCALE: 1 : 25

3
DP1.5

SHRUB - PLANTING DETAIL

SCALE: 1 : 25

TAG	MATERIAL
WF1	CONCRETE FOUNDATION PARGING COLOUR: GRAY
WF2	GREY BRICK VENEER COLOUR: GRAY
WF3	'HARDIE' HORIZONTAL FIBER CEMENT LAPSING COLOUR: 'ARCTIC WHITE'
WF4	'HARDIE' HORIZONTAL FIBER CEMENT LAPSING COLOUR: 'IRON GRAY'
WF5	'HARDIE' HORIZONTAL FIBER CEMENT LAPSING COLOUR: 'PEARL GRAY'
WF6	'HARDIE' BOARD & BATTEN FIBER CEMENT SIDING COLOUR: 'ARCTIC WHITE'
WF7	'HARDIE' BOARD & BATTEN FIBER CEMENT SIDING COLOUR: 'KHAKI BROWN'
WF8	'SMART TRIM' COMPOSITE WOOD CLADDING COLOUR: 'DARK GREY' (TO MATCH HARDIE 'IRON GRAY')
ST1	PAINTED EXTERIOR TREATED WOOD COLUMN COLOUR: DARK GREY (TO MATCH HARDIE 'IRON GRAY')
ST2	PRESSURE TREATED WOOD STAIRS COLOUR: STAINED & PAINTED
ST3	WOOD PORCH ENTRY LANDING COLOUR: WHITE FASCIA
ST4	PRE-FINISHED METAL WINDOW WELL
TF1	PAINTED METAL GUARD RAILS COLOUR: WHITE
TF2	4" SMART BOARD TRIM COLOUR: WHITE
TF3	PRE-FINISHED METAL FASCIA COLOUR: WHITE
TF4	PRE-FINISHED EAVESTROUGH COLOUR: WHITE
TF5	PRE-FINISHED DOWNSPOUT COLOUR: WHITE
TF6	PRE-FINISHED METAL SOFFIT COLOUR: WHITE
TF7	UNIT SIGNAGE COLOUR: WHITE AND/OR METALLIC SILVER
DW1	EXTERIOR DWELLING UNIT ENTRY DOOR c/w SIDELITE COLOUR: BLACK PANEL / TRIM
DW2	EXTERIOR FIRE-RATED SUITE UNIT ENTRY DOOR COLOUR: WHITE PANEL / TRIM
DW3	THERMALLY BROKEN VINYL WINDOWS COLOUR: WHITE FRAME / TRIM
RF1	ASPHALT SHINGLES COLOUR: GRAY
UT1	ELECTRICAL UTILITY METERS
UT2	GAS UTILITY METERS



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ISSUED FOR DP: 25/10/31
ISSUED FOR DR#1: 26/01/21

OB	BLDG. DEPTH	PC	26/01/21
OA	BLDG. SETBACK FROM PL.	PC	26/01/21
#	REVISION	BY	DATE

PROJECT NAME:
2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:
2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:
ELEVATIONS

DATE (yy/mm/dd): 2026-01-21 12:32:30 PM	FILE #: 2530
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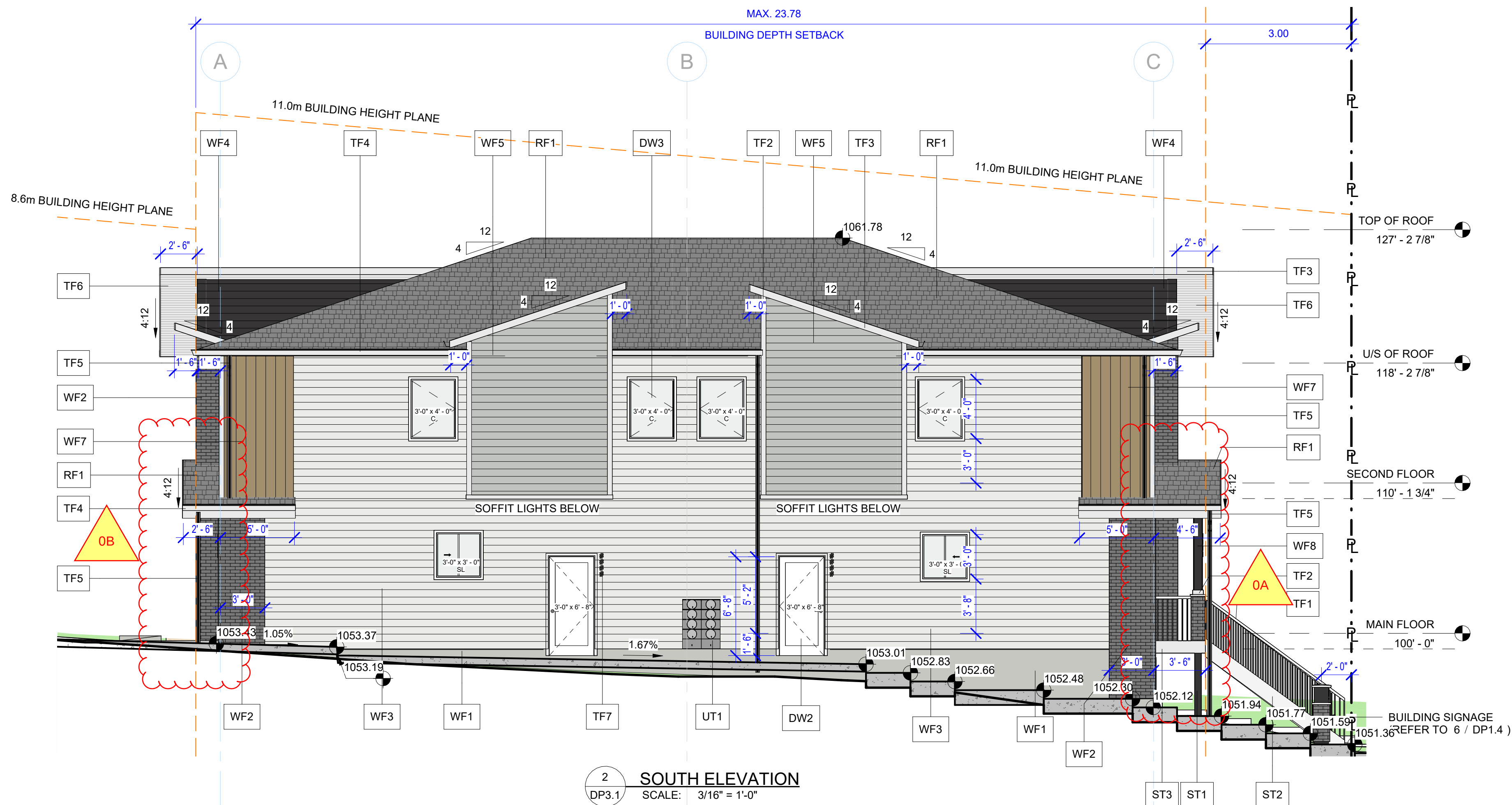
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YOUR PLOTTING SCALE.

25mm

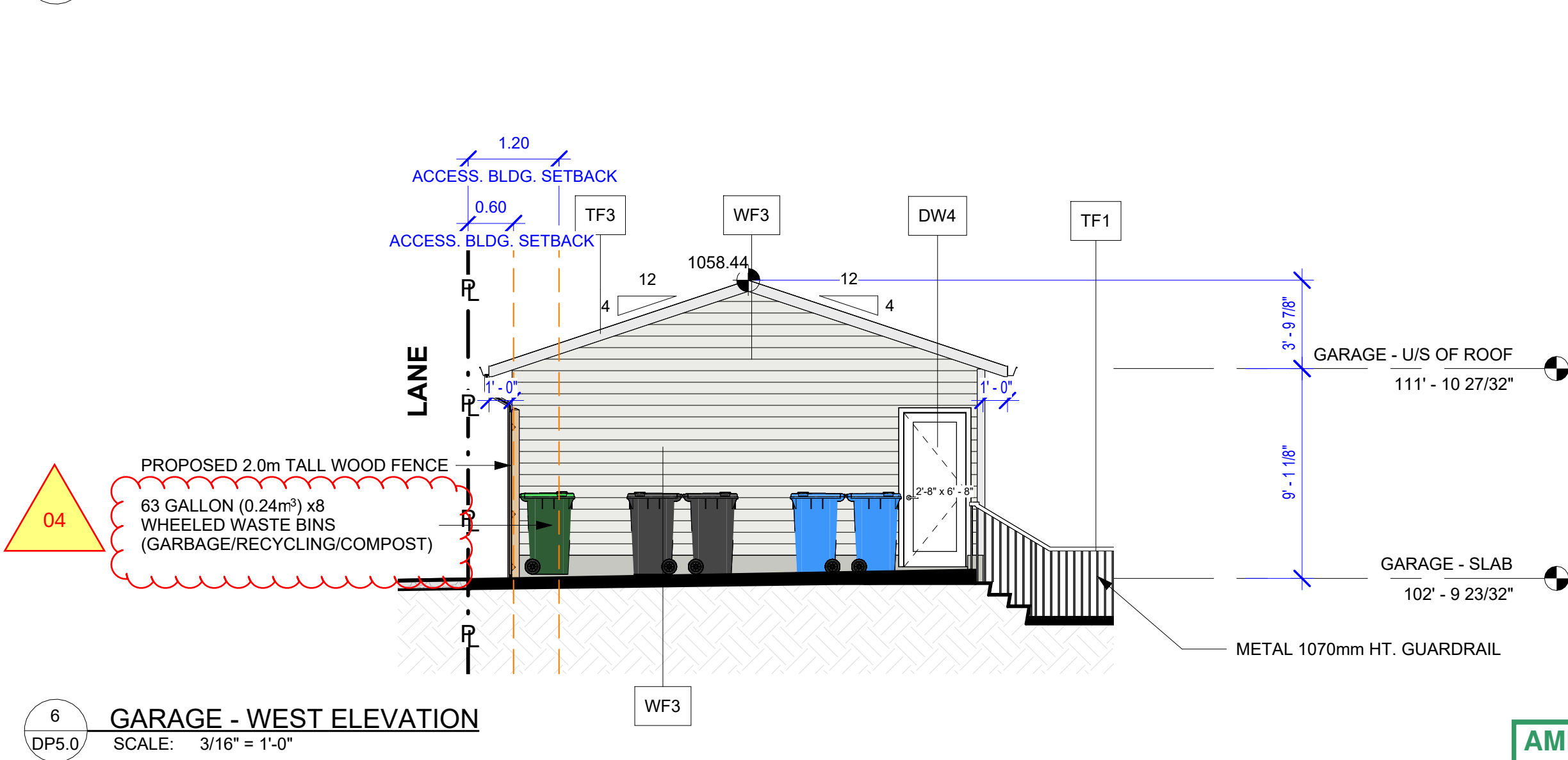
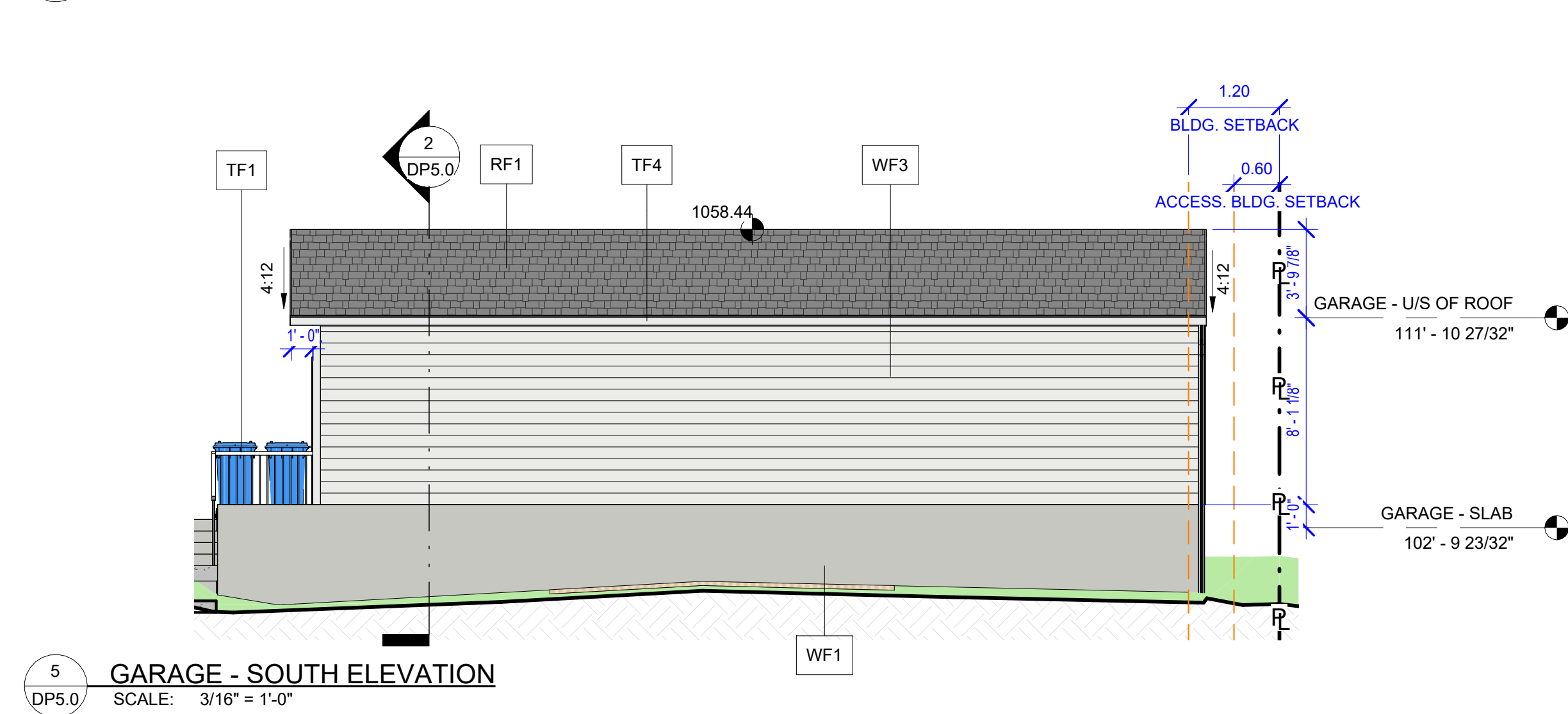
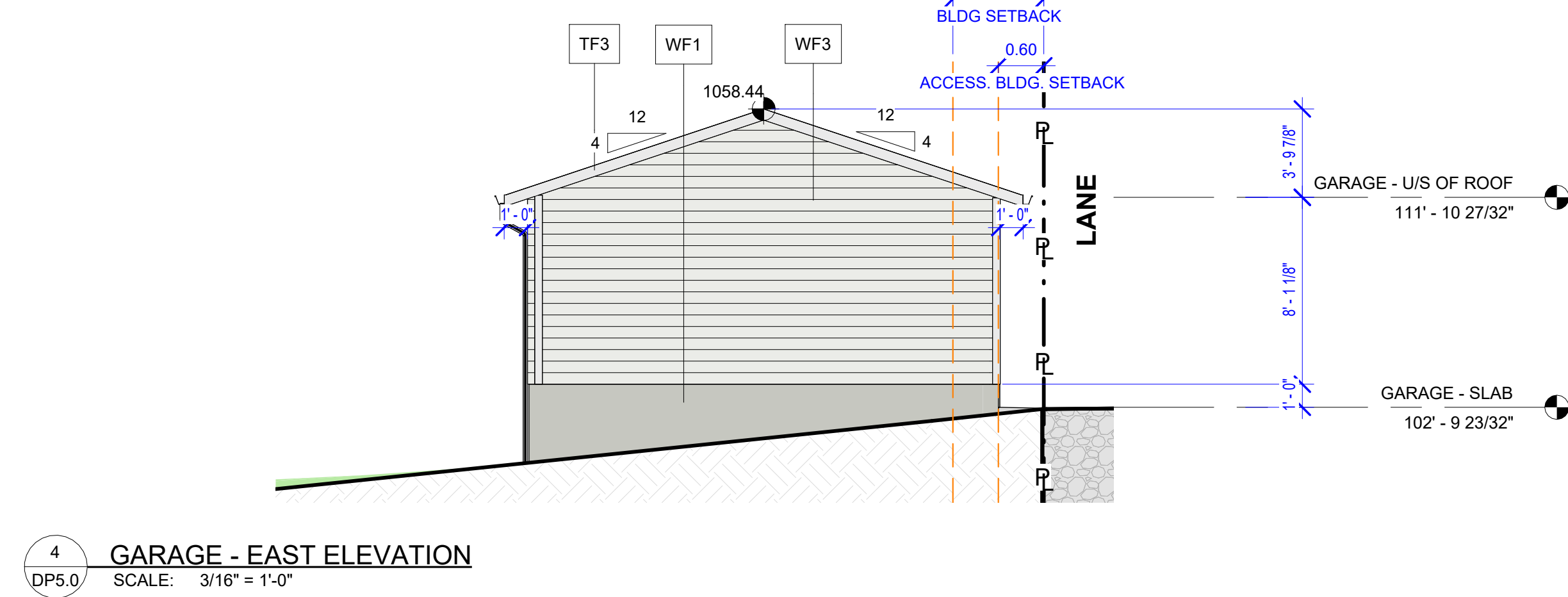
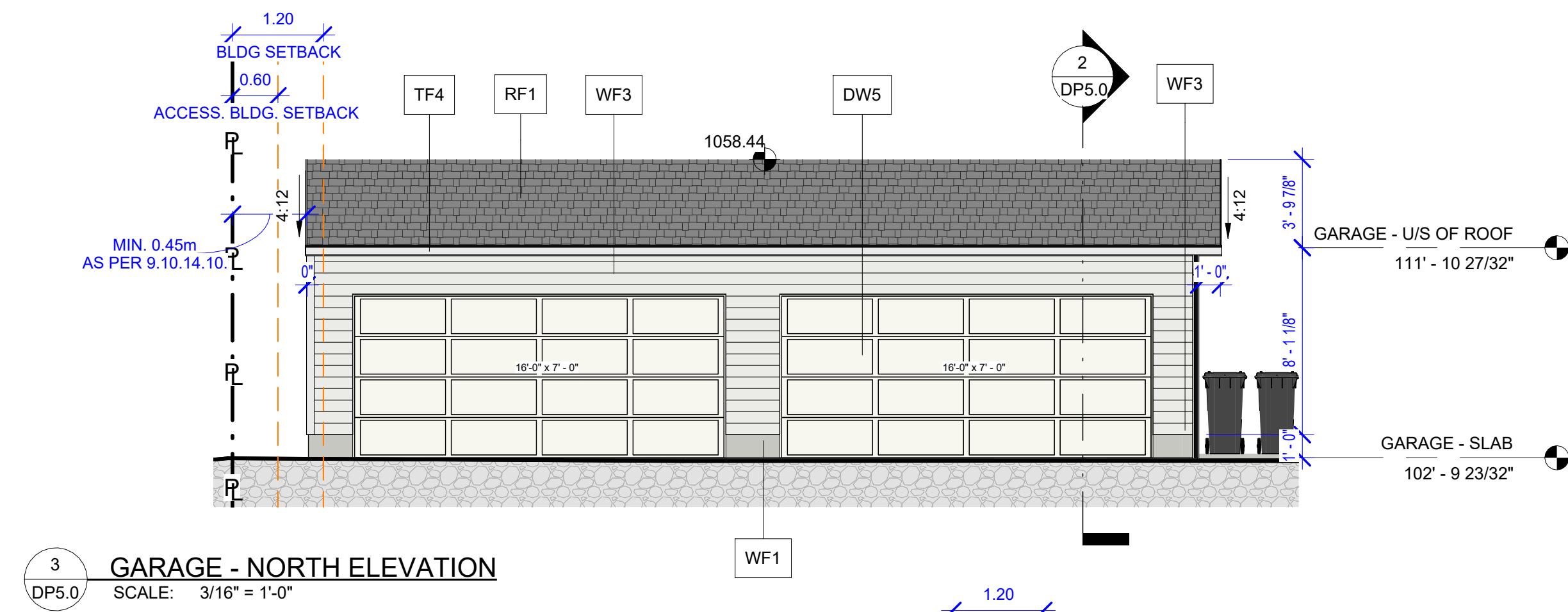
DRAWING #
DP3.0

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AMENDED DRAWINGS
DP No Date Received
DP2025-06273 JAN 21, 2026
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TAG	MATERIAL
WF1	CONCRETE FOUNDATION PARGING COLOR: GRAY
WF3	'HARDIE' HORIZONTAL FIBER CEMENT LAPSIDING COLOR: 'ARCTIC WHITE'
TF1	PAINTED METAL GUARD RAILS COLOUR: WHITE
TF2	4" SMART BOARD TRIM COLOUR: WHITE
TF3	PRE-FINISHED METAL FASCIA COLOUR: WHITE
TF4	PRE-FINISHED EAVESTROUGH COLOUR: WHITE
TF5	PRE-FINISHED DOWNSPOUT COLOUR: WHITE
RF1	ASPHALT SHINGLES COLOR: GRAY
DW4	GARAGE MAN DOOR COLOR: WHITE PANEL / TRIM
DW5	OVERHEAD GARAGE DOOR COLOR: WHITE PANEL / TRIM



AMENDED DRAWINGS
DP No Date Received
DP2025-06273 JAN 21, 2026
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ISSUED FOR DR#1: 26/01/21

7	GARAGE & LANE AISLE	PC	26/01/21
4	WASTE & RECYCLING	PC	26/01/21
#	REVISION	BY	DATE

PROJECT NAME:
2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:
2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:
GARAGE PLANS &
ELEVATIONS

DATE (yy/mm/dd): FILE #:
2026-01-21 12:32:51 PM 2530

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DRAWING #
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