

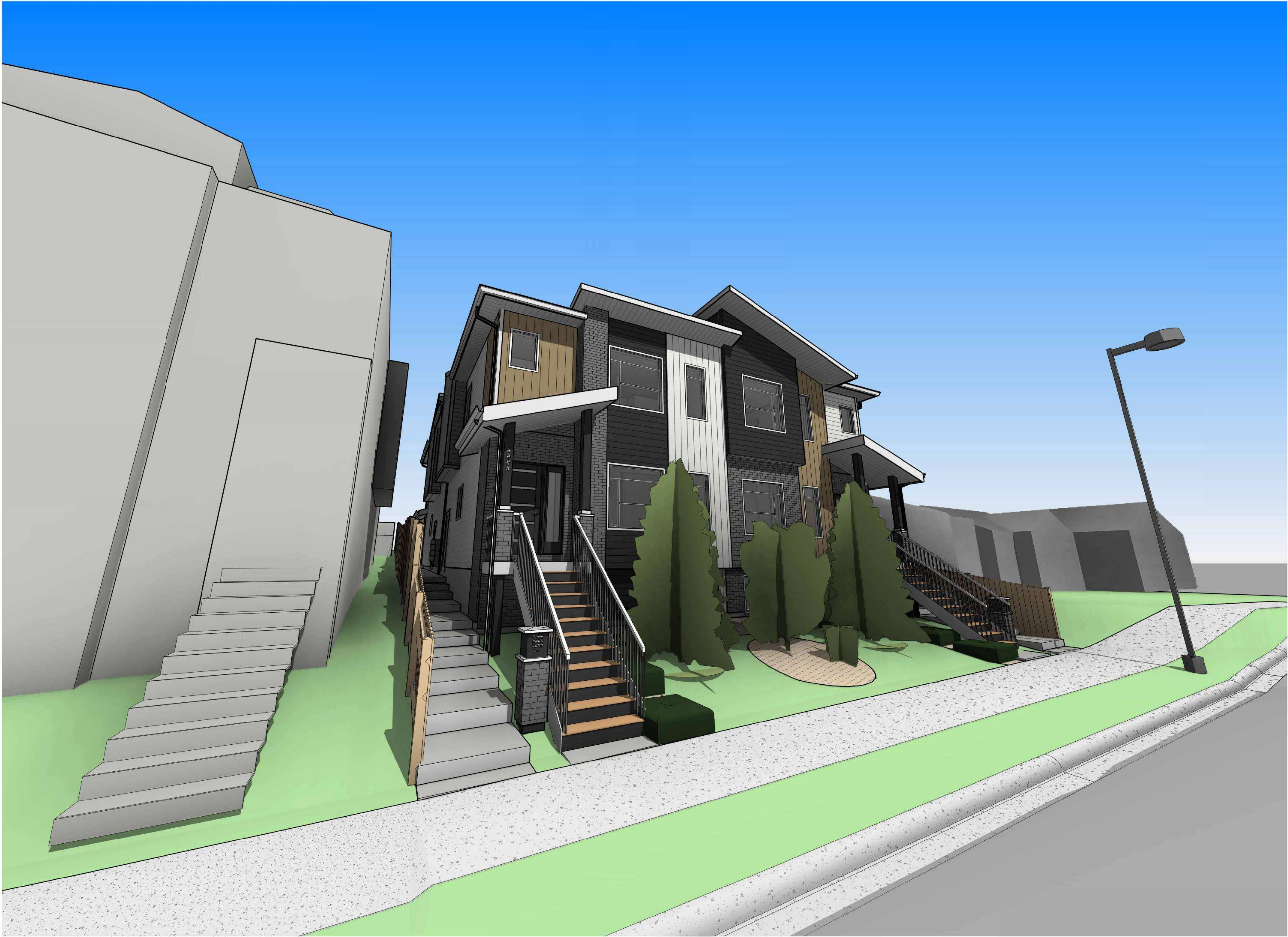
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Registered REVIT LT 2026

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ISSUE DATE: YY/MM/DD
ISSUED FOR DP: 25/10/3



<u>DRAWING LIST</u>	
SHEET NUMBER	SHEET NAME
DP0.0	COVER SHEET
DP0.1	LIMITING DISTANCE CALCULATIONS
DP1.0	BLOCK PLAN & STREET SCAP ELEVATION
DP1.1	EXISTING SITE PLAN
DP1.2	PROPOSED SITE PLAN
DP1.3	PROPOSED LANDSCAPE PLAN
DP1.4	ENLARGED PLAN & SITE DETAILS
DP1.5	SITE SECTIONS & ELEVATIONS
DP2.0	LOWER FLOOR PLAN (SECONDARY SUITE)
DP2.1	MAIN FLOOR PLAN
DP2.2	UPPER FLOOR PLAN
DP3.0	ELEVATIONS
DP3.1	ELEVATIONS
DP4.0	BUILDING SECTIONS
DP5.0	GARAGE PLANS & ELEVATIONS

PROJECT NAME:

2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:

2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:

COVER SHEET

DATE (yy/mm/dd):	FILE #:
2025-10-31 8:54:05 AM	2530

RAWN BY:	CHECKED BY:
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RAWING #
DP0.0

LOT STAMP:

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EAST ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	44.79 m²
LIMITING DISTANCE:	>8 m
ALLOWABLE UNPROTECTED OPENINGS	44.79 m² (100)%
ACTUAL UNPROTECTED OPENINGS:	11.43 m² (25.52%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

NORTH ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	63.49 m²
LIMITING DISTANCE:	3.75 m
ALLOWABLE UNPROTECTED OPENINGS	4.44 m² (7)%
ACTUAL UNPROTECTED OPENINGS:	3.07 m² (4.84%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

WEST ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	36.91 m²
LIMITING DISTANCE:	(SPV-003) >8 m
ALLOWABLE UNPROTECTED OPENINGS	36.91 m² (100)%
ACTUAL UNPROTECTED OPENINGS:	8.92 m² (24.17%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

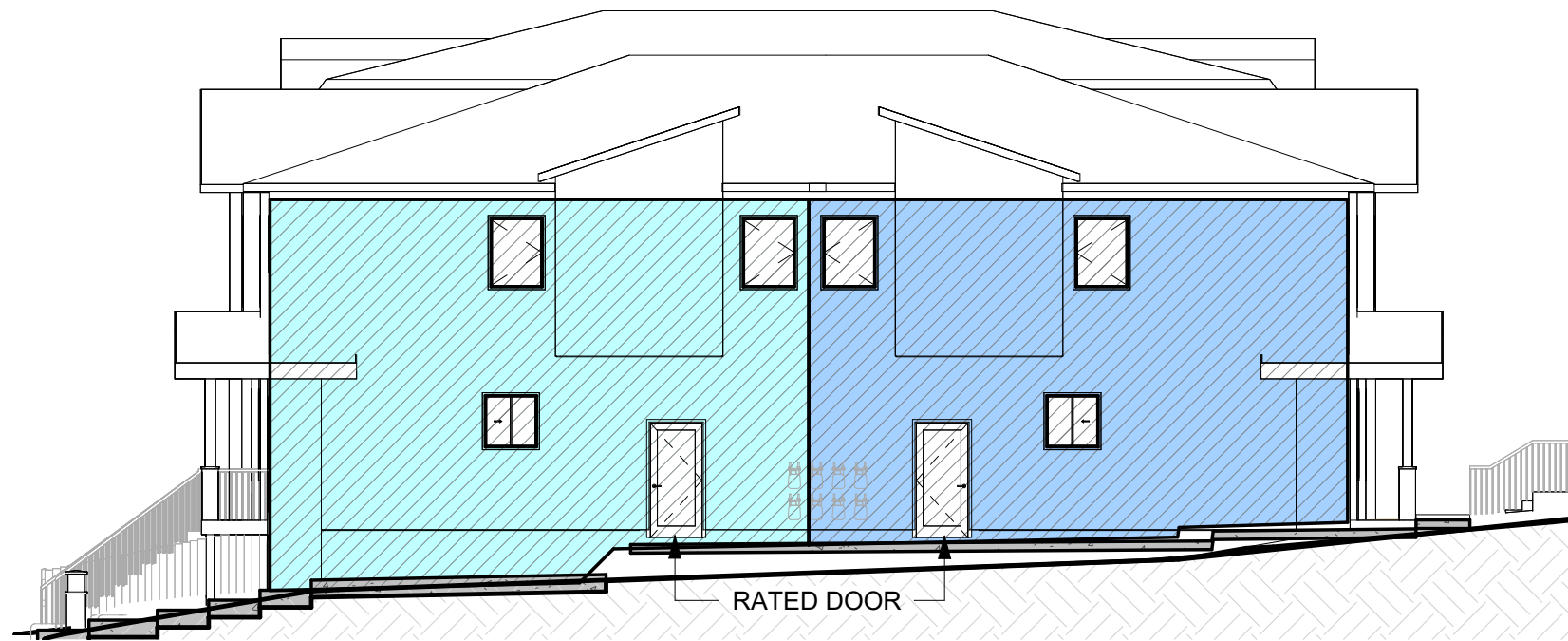
SOUTH ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	57.52 m²
LIMITING DISTANCE:	1.2 m
ALLOWABLE UNPROTECTED OPENINGS	4.03 m² (7)%
ACTUAL UNPROTECTED OPENINGS:	3.07 m² (5.34%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	



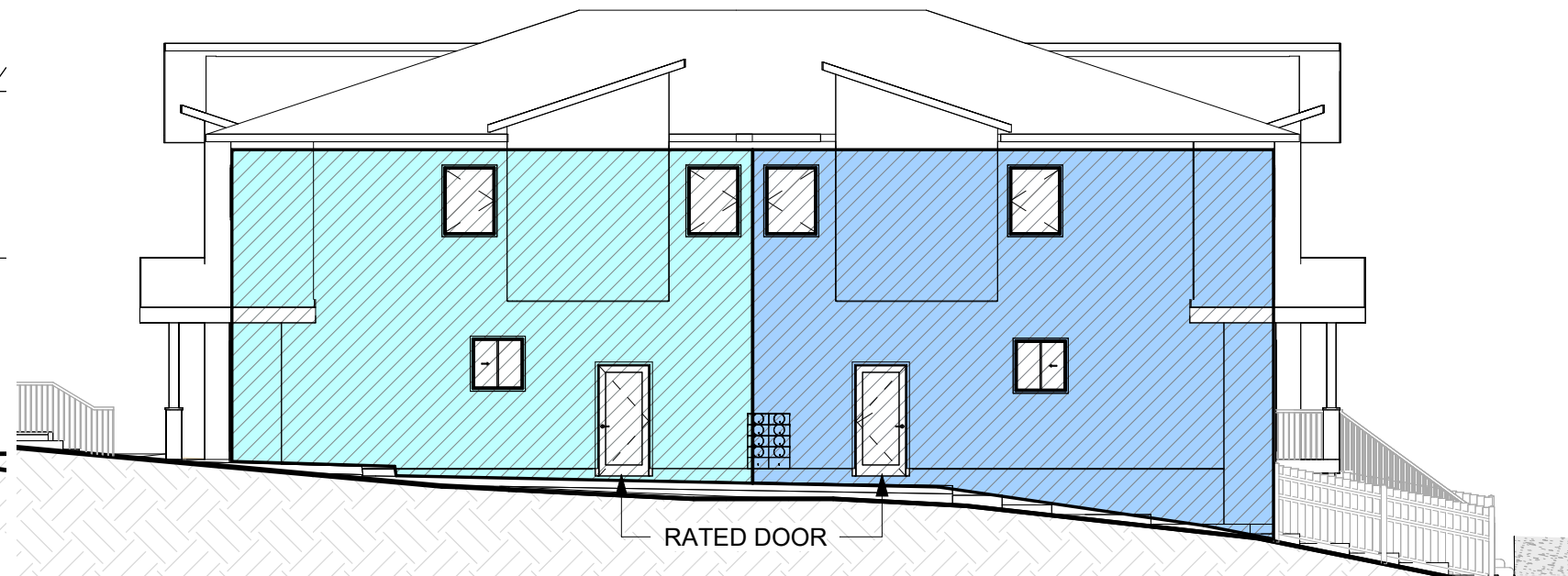
1 EAST ELEVATION LIMITING DISTANCE
SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION LIMITING DISTANCE
SCALE: 3/32" = 1'-0"



3 WEST ELEVATION LIMITING DISTANCE
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION LIMITING DISTANCE
SCALE: 3/32" = 1'-0"

EAST ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	44.79 m²
LIMITING DISTANCE:	>8 m
ALLOWABLE UNPROTECTED OPENINGS	44.79 m² (100)%
ACTUAL UNPROTECTED OPENINGS:	11.43 m² (25.52%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

NORTH ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	57.52 m²
LIMITING DISTANCE:	1.2 m
ALLOWABLE UNPROTECTED OPENINGS	4.03 m² (7)%
ACTUAL UNPROTECTED OPENINGS:	3.07 m² (5.34%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

WEST ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	36.91 m²
LIMITING DISTANCE:	(SPV-003) >8 m
ALLOWABLE UNPROTECTED OPENINGS	36.91 m² (100)%
ACTUAL UNPROTECTED OPENINGS:	8.92 m² (24.17%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

SOUTH ELEVATION LIMITING DISTANCE CALCULATION

(Based on Table 9.10.15.4)

GROUP/DIVISION:	C
SPRINKLERED (YES/NO):	No
REQUIRED FIRE RATING (MINUTES):	0 min.
FIRE DEPARTMENT RESPONSE TIME:	< 10 min.
EXPOSED BUILDING FACE AREA:	62.41 m²
LIMITING DISTANCE:	1.2 m
ALLOWABLE UNPROTECTED OPENINGS	4.37 m² (7)%
ACTUAL UNPROTECTED OPENINGS:	3.07 m² (4.92%)
PERMITTED COMBUSTIBLE / NON-COMBUSTIBLE MATERIALS	
• PERMITTED STRUCTURE:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED STRUCTURE:	COMBUSTIBLE
• PERMITTED CLADDING:	COMBUSTIBLE / NON-COMBUSTIBLE
• PROVIDED CLADDING:	COMBUSTIBLE
APPLICABLE WALLS:	

#	REVISION	BY	DATE
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PROJECT NAME:

2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:

2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:

LIMITING DISTANCE
CALCULATIONS

DATE (yy/mm/dd):

2025-10-31 8:54:08 AM

FILE #:

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GENERAL INFORMATION:

MUNICIPAL ADDRESS:	2125 SPILLER ROAD SE
LEGAL ADDRESS:	LOTS: 12 & 13 BLOCK: 3 PLAN: 6260AM
DEVELOPMENT PERMIT:	TBD
BUILDING PERMIT:	TBD

SITE INFORMATION:

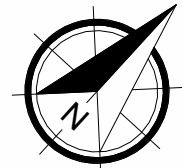
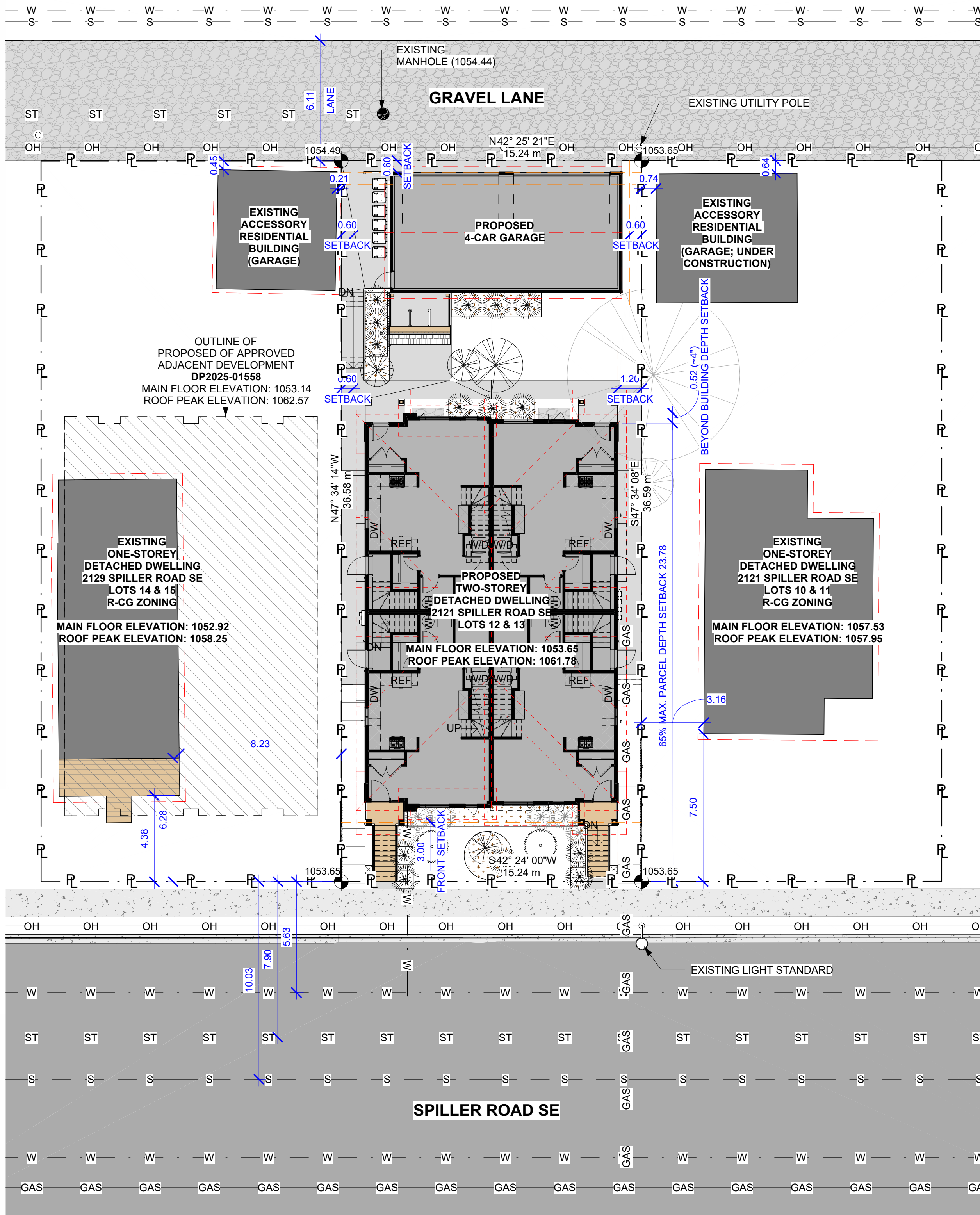
ZONING:	R-CG
USES:	TOWNHOUSE & SECONDARY SUITES
PARCEL AREA:	557.69 sq.m (0.055769 ha.)
EXISTING BUILDING(S):	EXISTING DWELLING 86.57 sq.m
EXISTING BUILDING AREA:	EXISTING ACCESSORY BUILDING 13.28 sq.m
TOTAL EXISTING BUILDING AREA: (ALL EXISTING STRUCTURES TO BE REMOVED)	99.85 sq.m
PROPOSED BUILDING(S):	
PROPOSED TOWNHOUSE BUILDING BUILDING AREA FOOTPRINT:	250.03 sq.m
FLOOR AREAS ABOVE GRADE (GFA)	MAIN FLOOR 250.03 m ² 2691.33 ft ² UPPER FLOOR 257.22 m ² 2768.67 ft ² 507.25 m ² 5460 ft ²
PROPOSED GARAGE BUILDING AREA FOOTPRINT:	GARAGE 71.38 m ² 768.33 ft ²
CUMULATIVE MOBILITY LOCKERS:	<10.0 sq.m
GROSS FLOOR AREA:	321.58 sq.m
FLOOR AREA RATIO:	1.074 F.A.R.
ALLOWABLE PARCEL COVERAGE:	60% LUB1P2007 - 534(2)
PROPOSED PARCEL COVERAGE:	BUILDING AREA / PARCEL AREA = % 321.41 sq.m / 557.69 sq.m = 57.63 %
TOTAL NUMBER OF UNITS:	4 DWELLING UNITS + 4 SUITES
DENSITY [# UNITS / PARCEL AREA(ha)]	71.72
SETBACKS:	
FRONT YARD:	MIN. 3.00 m LUB1P2007 - 537
REAR YARD (BUILDING):	MIN. 1.2 m LUB1P2007 - 540
REAR YARD (ACCESSORY. BLDG.):	MIN. 0.6 m LUB1P2007 - 345(1)(b)
SIDE YARD (BUILDING):	MIN. 1.2 m LUB1P2007 - 539(1)
SIDE YARD (ACCESSORY. BLDG.):	MIN. 0.6 m LUB1P2007 - 345(1)(b)
BUILDING HEIGHT:	MAX. 1062.57 LUB1P2007 - 541(2) - DP2025-01558

SITE PLAN LEGEND:

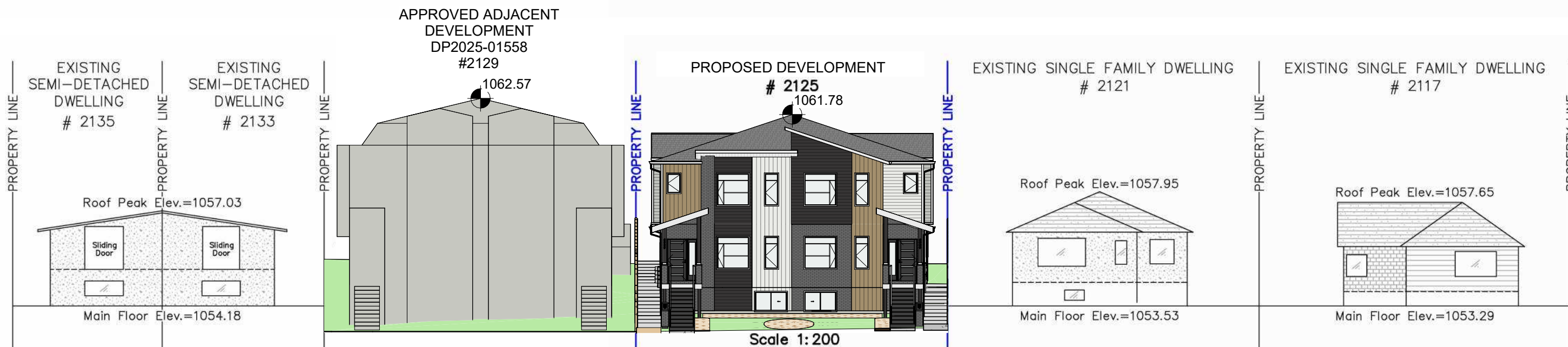
PROPOSED DWELLING:	
NEIGHBORING DWELLINGS	
WOOD DECK / PATIO	
PROPERTY LINE:	
SETBACK:	
FENCE LINE:	
OUTLINE OF ROOF:	
CANTILEVER ABOVE:	
UTILITY RIGHT AWAY:	
OVERHEAD POWER LINES:	
U.G. SANITARY LINE:	
U.G. WATER LINE:	
U.G. STORM LINE:	
U.G. GAS LINE:	
GRADE DATUM:	EXISTING GRADE (5.12) PROPOSED GRADE (6.34)
NO CHANGE GRADE DATUM MARKER:	N/C PROPOSED GRADE (6.34)
EXISTING TREES TO REMAIN	
EXISTING SHRUBS TO REMAIN	
PROPOSED TREES	
PROPOSED SHRUBS	

SITE PLAN ABBREVIATIONS:

FG:	FRONT OF GRADE
RG:	REAR GRADE
TR:	TOP OF ROOF
TJ:	TOP OF JOIST
TFW:	TOP OF FOUNDATION WALL
TF:	TOP OF FOOTING



1 BLOCK PLAN
DP1.0 SCALE: 1:150



2 STREETSCAPE
DP1.0 SCALE: 1:200



#185, 1209 - 59 AVENUE SE
CALGARY, ALBERTA T2H 2P6
PH: (403) 452 - 4393

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ISSUED FOR DP: 25/10/31

#	REVISION	BY	DATE
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PROJECT NAME:
2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:
2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:
BLOCK PLAN & STREET
SCAPE ELEVATION

DATE (yy/mm/dd): 2025-10-31 8:54:25 AM	FILE #: 2530
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DP1.0

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GENERAL INFORMATION:

MUNICIPAL ADDRESS: 2125 SPILLER ROAD SE
LEGAL ADDRESS: LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM
DEVELOPMENT PERMIT: TBD
BUILDING PERMIT: TBD

EXISTING SITE PLAN LEGEND:

EXISTING BUILDING TO REMAIN:

EXISTING BUILDING TO BE DEMOLISHED:

PROPERTY LINE:

SETBACK:

FENCE LINE:

OUTLINE OF ROOF:

CANTILEVER ABOVE:

UTILITY RIGHT AWAY:

OVERHEAD POWER LINES:

U.G. SANITARY LINE:

U.G. WATER LINE:

U.G. STORM LINE:

U.G. GAS LINE:

GRADE DATUM: EXISTING GRADE (5.12)
 PROPOSED GRADE (6.34)

NO CHANGE GRADE DATUM MARKER: N/C
 PROPOSED GRADE (6.34)

EXISTING CONIFEROUS TREE TO REMAIN:

EXISTING CONIFEROUS TREE TO BE REMOVED:

EXISTING DECIDUOUS TREE TO REMAIN:

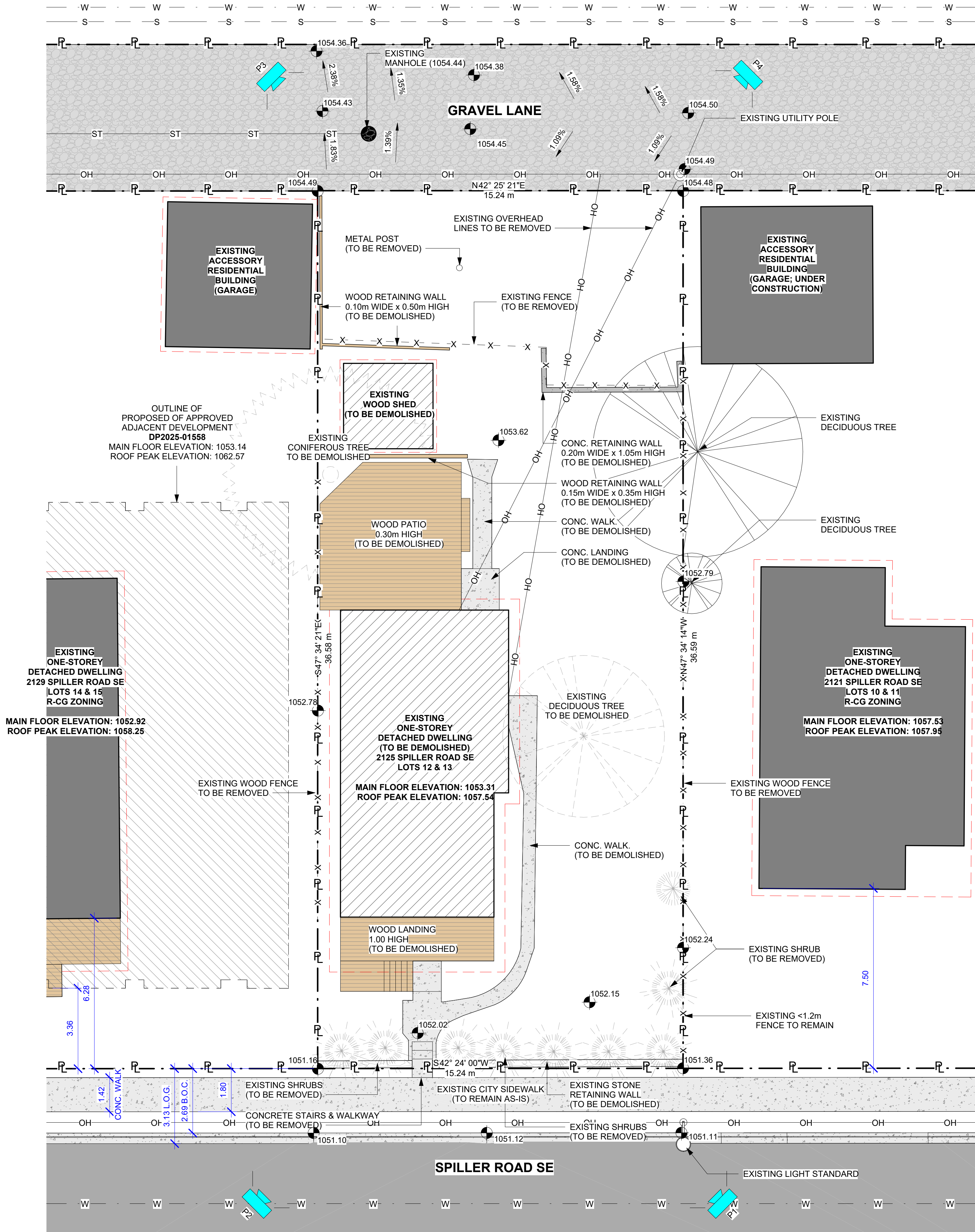
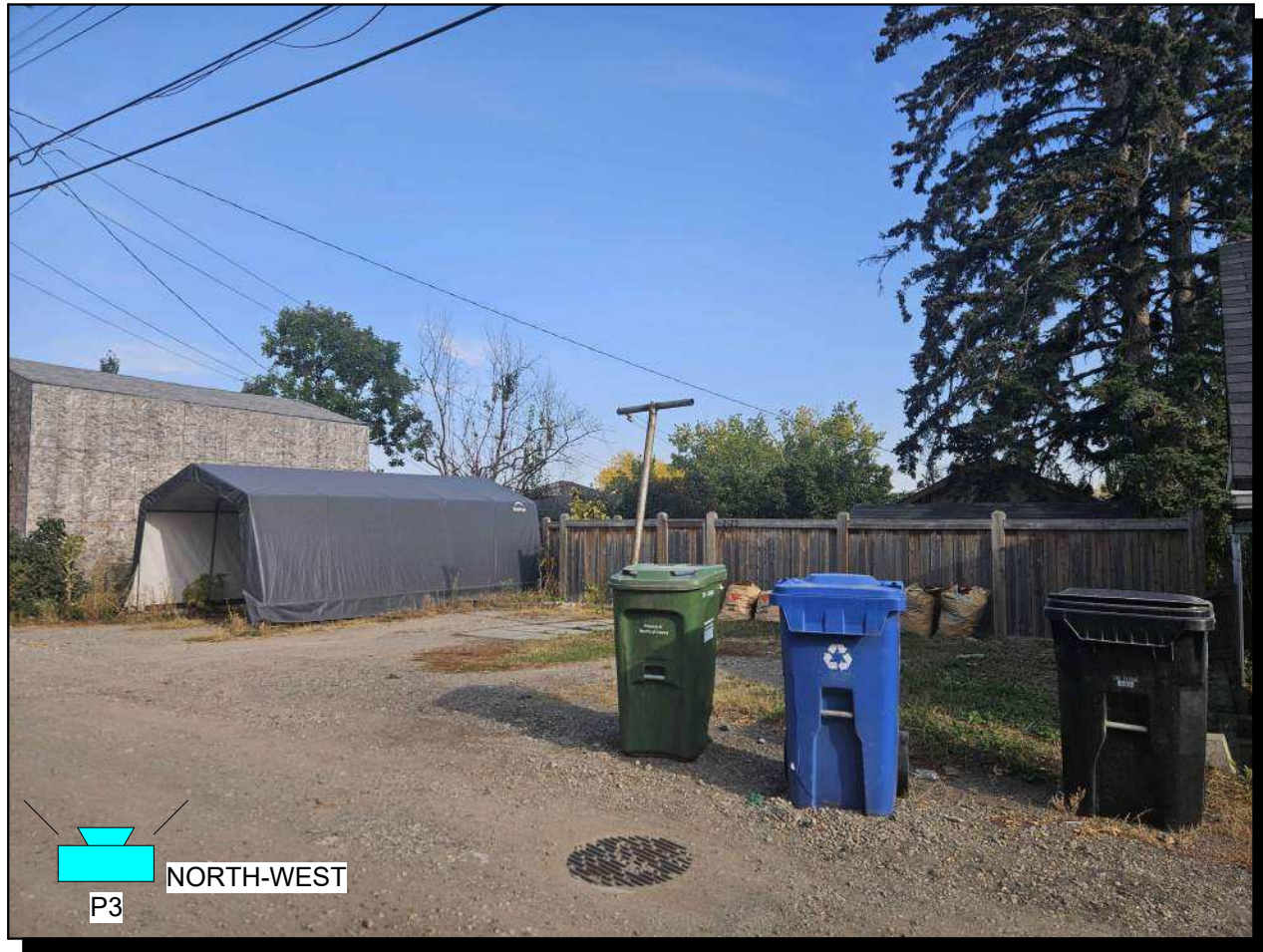
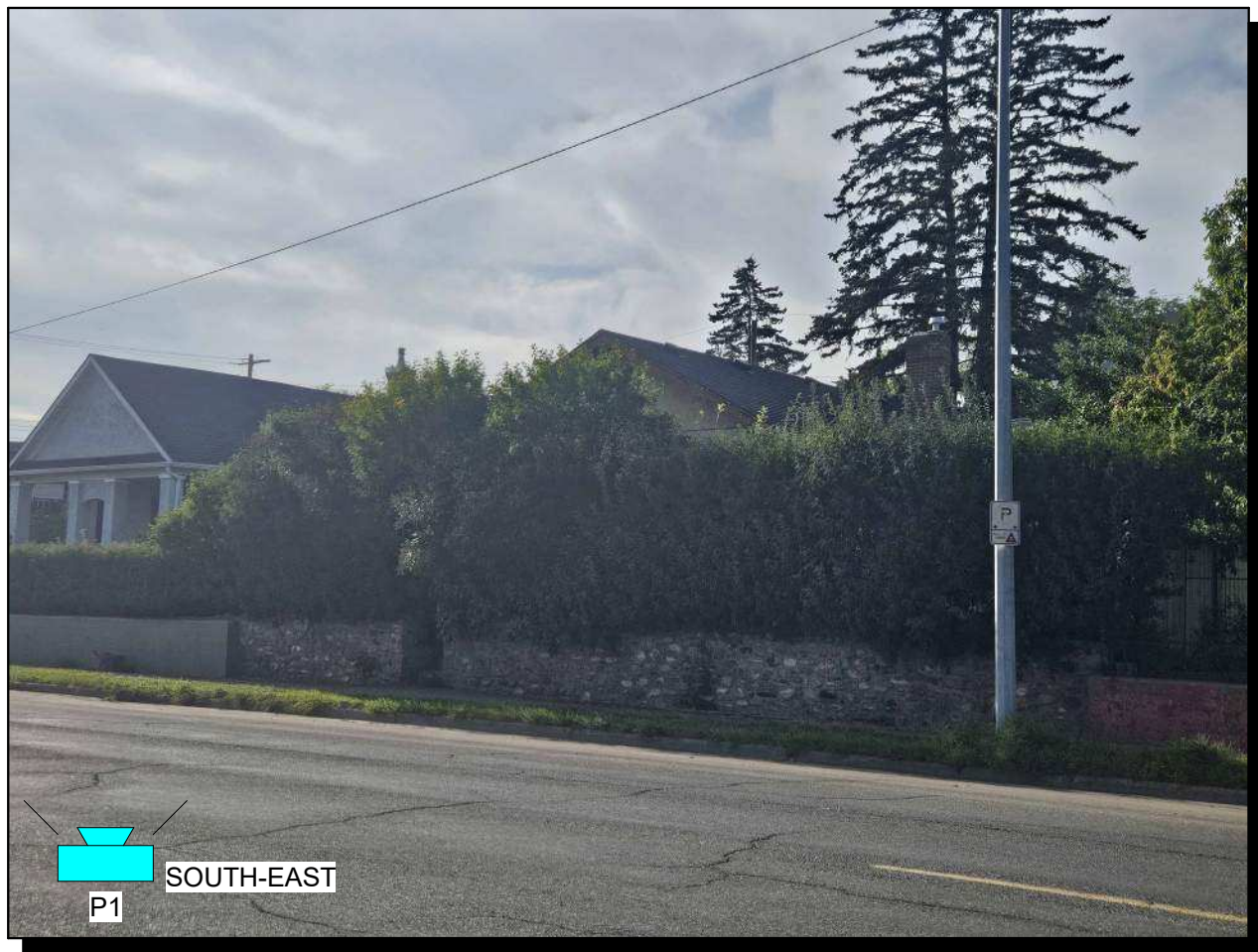
EXISTING DECIDUOUS TREE TO BE REMOVED:

EXISTING SHRUB TO REMAIN:

EXISTING SHRUB TO BE REMOVED:

EXISTING SITE PLAN LEGEND:

- ALL EXISTING SITE PLAN ELEMENTS TO REMAIN UNLESS NOTED OTHERWISE.
- ALL EXISTING TREES & SHRUBS WITHIN SUBJECT PARCEL TO BE REMOVED PRIOR TO CONSTRUCTION, UNLESS NOTED OTHERWISE.
- ALL EXISTING RETAINING WALLS WITHIN SUBJECT PARCEL TO BE REMOVED PRIOR TO CONSTRUCTION, UNLESS NOTED OTHERWISE.
 - EXISTING SITE GRADING TO BE REHABILITATED AS REQUIRED TO MATCH GRADE AT PROPERTY LINE / PUBLIC WALKWAY



1
DP1.1
EXISTING SITE PLAN
SCALE: 1 : 100



#185, 1209 - 59 AVENUE SE
CALGARY, ALBERTA T2H 2P6
PH: (403) 452 - 4393

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PROJECT NAME:
2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:
2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:
EXISTING SITE PLAN

DATE (yy/mm/dd): 2025-10-31 8:54:27 AM	FILE #: 2530
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DP1.1

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GENERAL INFORMATION:

MUNICIPAL ADDRESS:	2125 SPILLER ROAD SE
LEGAL ADDRESS:	LOTS: 12 & 13 BLOCK: 3 PLAN: 6260AM
DEVELOPMENT PERMIT:	TBD
BUILDING PERMIT:	TBD

SITE INFORMATION:

ZONING:	R-CG		
USES:	TOWNHOUSE & SECONDARY SUITES		
PARCEL AREA:	557.69 sq.m (0.055769 ha.)		
EXISTING BUILDING(S)	EXISTING DWELLING	86.57 sq.m	
EXISTING BUILDING AREA:	EXISTING ACCESSORY BUILDING	13.28 sq.m	
TOTAL EXISTING BUILDING AREA: (ALL EXISTING STRUCTURES TO BE REMOVED)		99.85 sq.m	
PROPOSED BUILDING(S)			
PROPOSED TOWNHOUSE BUILDING			
BUILDING AREA FOOTPRINT:	250.03 sq.m		
FLOOR AREAS ABOVE GRADE (GFA)		250.03 m ²	2691.33 ft ²
	UPPER FLOOR	257.22 m ²	2768.67 ft ²
		507.25 m ²	5460 ft ²
PROPOSED GARAGE			
BUILDING AREA FOOTPRINT:	GARAGE	71.38 m ²	768.33 ft ²
CUMULATIVE MOBILITY LOCKERS:	<10.0 sq.m		
GROSS FLOOR AREA:	321.58 sq.m		
FLOOR AREA RATIO:	1.074 F.A.R.		
ALLOWABLE PARCEL COVERAGE:	60% LUB1P2007 - 534(2)		
PROPOSED PARCEL COVERAGE:	BUILDING AREA / PARCEL AREA = % 321.41 sq.m / 557.69 sq.m = 57.63 %		

TOTAL NUMBER OF UNITS:	4 DWELLING UNITS + 4 SUITES		
DENSITY [# UNITS / PARCEL AREA(ha)]	71.72		
SETBACKS:			
FRONT YARD:	MIN. 3.00 m	LUB1P2007 - 537	
REAR YARD (BUILDING):	MIN. 1.2 m	LUB1P2007 - 540	
REAR YARD (ACCESSORY. BLDG.):	MIN. 0.6 m	LUB1P2007 - 345(1)(b)	
SIDE YARD (BUILDING):	MIN. 1.2 m	LUB1P2007 - 539(1)	
SIDE YARD (ACCESSORY. BLDG.):	MIN. 0.6 m	LUB1P2007 - 345(1)(b)	
BUILDING HEIGHT:	MAX. 1062.57 LUB1P2007 - 541(2) - DP2025-01558		

SITE PLAN LEGEND:

PROPOSED DWELLING:

NEIGHBORING DWELLINGS:

WOOD DECK / PATIO:

PROPERTY LINE:

SETBACK:

FENCE LINE:

OUTLINE OF ROOF:

CANTILEVER ABOVE:

UTILITY RIGHT AWAY:

OVERHEAD POWER LINES:

U.G. SANITARY LINE:

U.G. WATER LINE:

U.G. STORM LINE:

U.G. GAS LINE:

GRADE DATUM:

NO CHANGE GRADE DATUM MARKER:

EXISTING GRADE (5.12)

PROPOSED GRADE (6.34)

N/C

PROPOSED GRADE (6.34)

EXISTING TREES TO REMAIN:

EXISTING SHRUBS TO REMAIN:

PROPOSED TREES:

PROPOSED SHRUBS:

SITE PLAN ABBREVIATIONS:

FG:	FRONT OF GRADE
RG:	REAR GRADE
TR:	TOP OF ROOF
TJ:	TOP OF JOIST
TFW:	TOP OF FOUNDATION WALL
TF:	TOP OF FOOTING

WASTE, RECYCLING & COMPOST CALCULATIONS

# OF DWELLING UNITS (0.24 m³ PER UNIT):	4
# OF SECONDARY SUITES (0.24 m³ PER UNIT):	4
# OF COMMERCIAL UNITS (1.00 m³ PER UNIT):	0
TOTAL PROJECTED WASTE VOLUME (m³):	1.92
COMBINED VOLUME OF GARBAGE BINS (m³):	0.72
COMBINED VOLUME OF RECYCLING BINS (m³):	0.72
COMBINED VOLUME OF COMPOST BINS (m³):	0.72
COMBINED TOTAL VOLUME OF GARBAGE/RECYCLING/COMPOST (m³):	2.16
NUMBER OF PICKUPS PER WEEK	1 / WEEK

PARKING CALCULATIONS:

USE:	TOWNHOMES
RESIDENT PARKING	
CALCULATION REQUIREMENTS:	0.5/UNIT
# OF UNITS:	8
FLOOR AREA (m²):	N/A
# STALLS REQUIRED:	4
# STALLS PROVIDED:	4
VISITOR PARKING	
CALCULATION REQUIREMENTS:	N/A
# OF UNITS:	8
FLOOR AREA (m²):	N/A
# STALLS REQUIRED:	N/A
# STALLS PROVIDED:	N/A
NOTE: RESIDENT PARKING = 0.5 STALLS / UNIT PER LUB 1P2007 546 - TABLE 2.1 (RAMSAY)	

SITE PLAN GENERAL NOTES

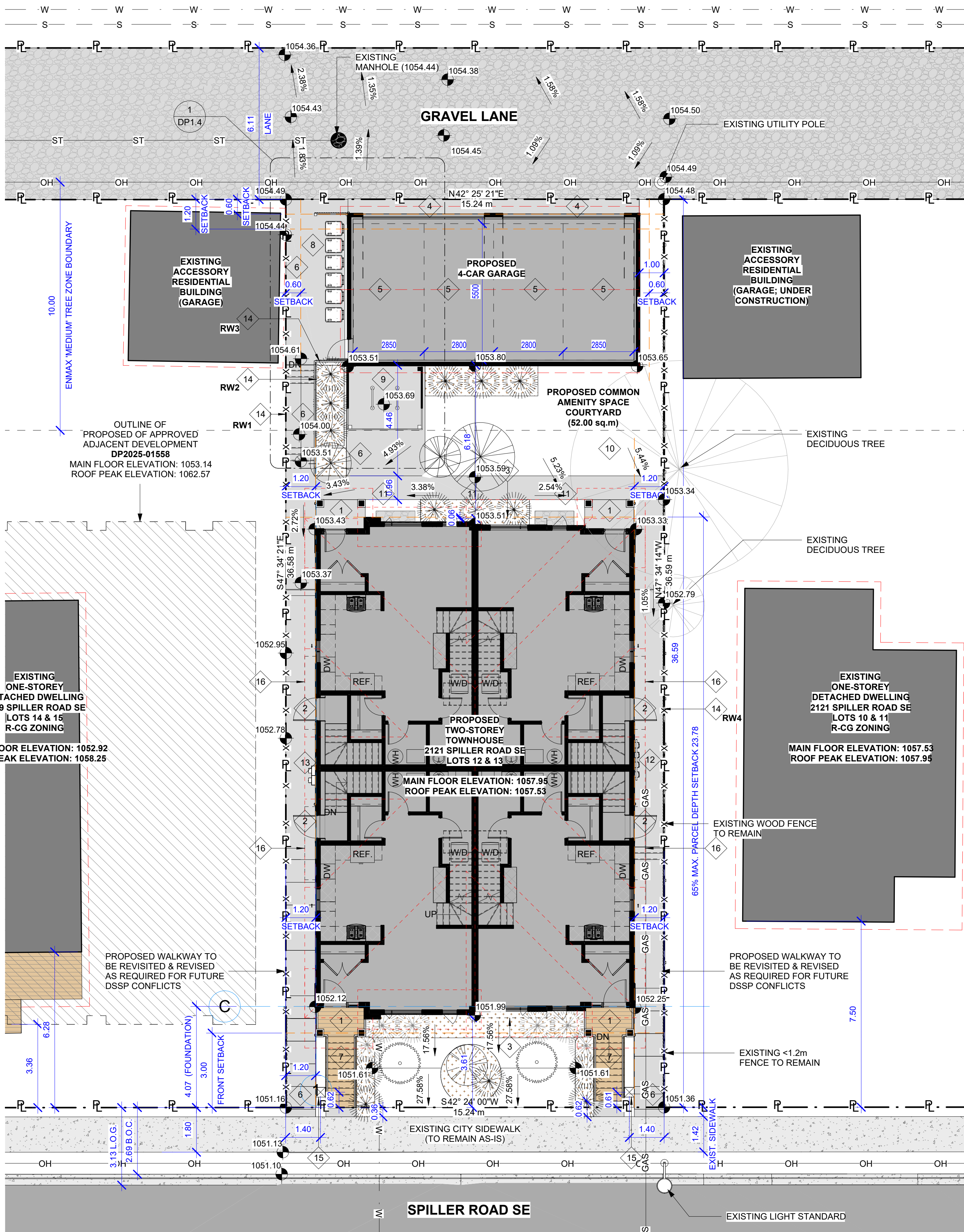
- ALL SITE PLAN ELEMENTS TO BE CONSIDERED AS EXISTING UNLESS NOTED OTHERWISE.
- ALL EXISTING SITE STRUCTURES & ELEMENTS BEYOND SUBJECT PARCEL PROPERTY LINE TO REMAIN AS-IS.
- WASTE & RECYCLING COMPOST BINS TO BE LOCATED WITHIN PARCEL & MOVED TO LANE FOR COLLECTION.
- REFER TO LANDSCAPE PLAN FOR LANDSCAPING & PLANTING DESCRIPTIONS
- DWELLING UNITS (4) TO HAVE GARAGE MOTOR VEHICLE PARKING STALLS (4 TOTAL)
- SECONDARY SUITES (4) TO BE PROVIDED w/ CLASS-ONE BICYCLE STALLS (4 TOTAL)

SITE PLAN KEYNOTES

- PROPOSED DWELLING UNIT ENTRY PORCH/LANDING/PATIO (2.45 sq.m)
- PROPOSED SECONDARY SUITE ENTRY
- LINE OF PROPOSED FLOORS ABOVE
- PROPOSED CONCRETE GARAGE APRON BETWEEN PROPOSED GARAGE PROPERTY LINE - TO SPAN FULL LENGTH OF GARAGE.
- PROPOSED MOTOR VEHICLE PARKING STALL, FOR DWELLING UNITS ONLY
- PROPOSED CONCRETE WALKWAY
- PROPOSED TREATED WOOD STAIRS
- PROPOSED WASTE AND RECYCLING ENCLOSURE - SEE 1 / DP1.4
- PROPOSED FREE-STANDING CLASS-ONE BICYCLE STALL ENCLOSURE - SEE 1 / DP1.4
- PROPOSED TENANT COURTYARD (COMMON AMENITY SPACE)
- PROPOSED WINDOW WELL LOCATION
- PROPOSED GAS METER LOCATION
- PROPOSED ELECTRICAL METER LOCATION
- PROPOSED RETAINING WALL(S) - REFER TO DP1.5
- FREE-STANDING DIRECTIONAL SIGNAGE POST (TO INDICATE REAR/SECONDARY SUITE UNIT LOCATION & DIRECTION)
- OUTLINE OF CANTILEVERED FLOOR ABOVE, c/w SOFFIT LIGHTS

RETAINING WALL SCHEDULE

RETAINING WALL #	LOCATION	MATERIAL	MAX. HT.
RW1	SOUTH PROPERTY LINE	CONCRETE	0.71m
RW2	REAR COMMON AMENITY COURTYARD WALKWAY	CONCRETE	0.61m
RW3	REAR COMMON AMENITY COURTYARD WALKWAY (PART OF GARAGE FOUNDATION)	CONCRETE	1.47m
RW4	NORTH PROPERTY LINE	TREATED WOOD	0.52m



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CALGARY, ALBERTA T2H 2P6
PH: (403) 452 - 4393

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Registered REVIT LT 2026

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ISSUE DATE: YY/MM/DD
ISSUED FOR DP: 25/10/31

#	REVISION	BY	DATE
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PROJECT NAME:
2125 SPILLER ROAD SE TOWNHOMES

ADDRESS:
2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

DRAWING TITLE:
PROPOSED SITE PLAN

DATE (yy/mm/dd): 2025-10-31 8:54:28 AM	FILE #: 2530
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DRAWN BY: PC	CHECKED BY: RH
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DRAWING #
DP1.2

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LANDSCAPE PLAN GENERAL NOTES

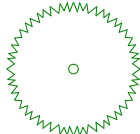
- LANDSCAPE PLAN DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL SITE PLAN & SITE DETAIL DRAWINGS.
- PROPOSED LANDSCAPE AREAS ARE TO BE PREPARED PRIOR TO THE INTRODUCTION OF VEGETATION ON SITE, AS REQUIRED AND RECOMMENDED BY NURSERY SUPPLIER.
- PROPOSED PLANTS & SHRUBS AT THE TIME OF PLANTING ARE TO BE WATERED & PROTECTED AS REQUIRED & RECOMMENDED BY NURSERY SUPPLIER.
- EXISTING TREES & SHRUBS LOCATED WITHIN THE PARCEL ARE TO BE PROTECTED WITH A HIGHLY VISIBLE FENCED PERIMETER & WATERED AT A MINIMUM OF ONCE PER WEEK DURING THE COURSE OF CONSTRUCTION.
- DECIDUOUS TREES AT TIME OF PLANTING TO HAVE A CALLIPER OF MIN. 60mm. CONIFEROUS TREES AT TIME OF PLANTING TO HAVE A HEIGHT OF MIN. 2.0m
- PROPOSED LANDSCAPED AREAS ARE TO BE SERVICED BY LOW-WATER IRRIGATION SYSTEM.

LANDSCAPE PLAN LEGEND

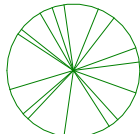
CONCRETE PAVER	
DECORATIVE ROCK	
EXISTING CONCRETE	
GRASS	
GRAVEL	
MULCH	
PERMEABLE PAVERS	
PROPOSED CONCRETE	
ROAD	
WINDOW WELL	
WOOD DECK	

TREE LEGEND

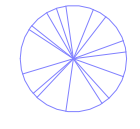
TREE SPECIES: MONTGOMERY BLUE SPRUCE
LATIN NAME: PICEA PUNGENS
CONIFEROUS
HEIGHT: 2.0m (3.0m MATURE HEIGHT)
QUANTITY: 2



TREE SPECIES: USSURIAN PEAR
LATIN NAME: PYRUS USSURIENSIS
DECIDUOUS
HEIGHT: 2,000mm
QUANTITY: 1



TREE SPECIES: SWEDISH COLUMNAR ASPEN
LATIN NAME: POPULUS TREMULA ERECTA
DECIDUOUS
HEIGHT: 2,000mm
QUANTITY: 3

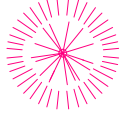


SHRUB LEGEND

SHRUB SPECIES: DWARF BLUE GLOBE SPRUCE
LATIN NAME: PICEA PUNGENS 'GLOBOSA'
CONIFEROUS
HEIGHT: 600mm
QUANTITY: 9



SHRUB SPECIES: FRAGRANT SUMAC
LATIN NAME: RHUS AROMATICA AITON
DECIDUOUS
HEIGHT: 1,000mm
QUANTITY: 3



SHRUB SPECIES: RUBY CAROUSEL BARBERRY
LATIN NAME: BERBERIS THUNBERGII 'BAILONE'
DECIDUOUS
HEIGHT: 1,000mm
QUANTITY: 8



LANDSCAPE PLAN TOTALS

TOTAL TREES REQUIRED: 557.69m² / 110m² x 1.0 TREES = 6.0 TREES

TOTAL SHRUBS REQUIRED: 557.69m² / 100m² x 3.0 SHRUBS = 16.0 SHRUBS

PROPOSED TREES

SPECIES: MONTGOMERY BLUE SPRUCE
QUANTITY: 2

SPECIES: USSURIAN PEAR
QUANTITY: 1

SWEDISH COLUMNAR ASPEN
QUANTITY: 3

TOTAL TREES PROVIDED: 6

PROPOSED SHRUBS

SPECIES: DWARF BLUE GLOBE SPRUCE
QUANTITY: 9

SPECIES: FRAGRANT SUMAC
QUANTITY: 3

SPECIES: RUBY CAROUSEL BARBERRY
QUANTITY: 8

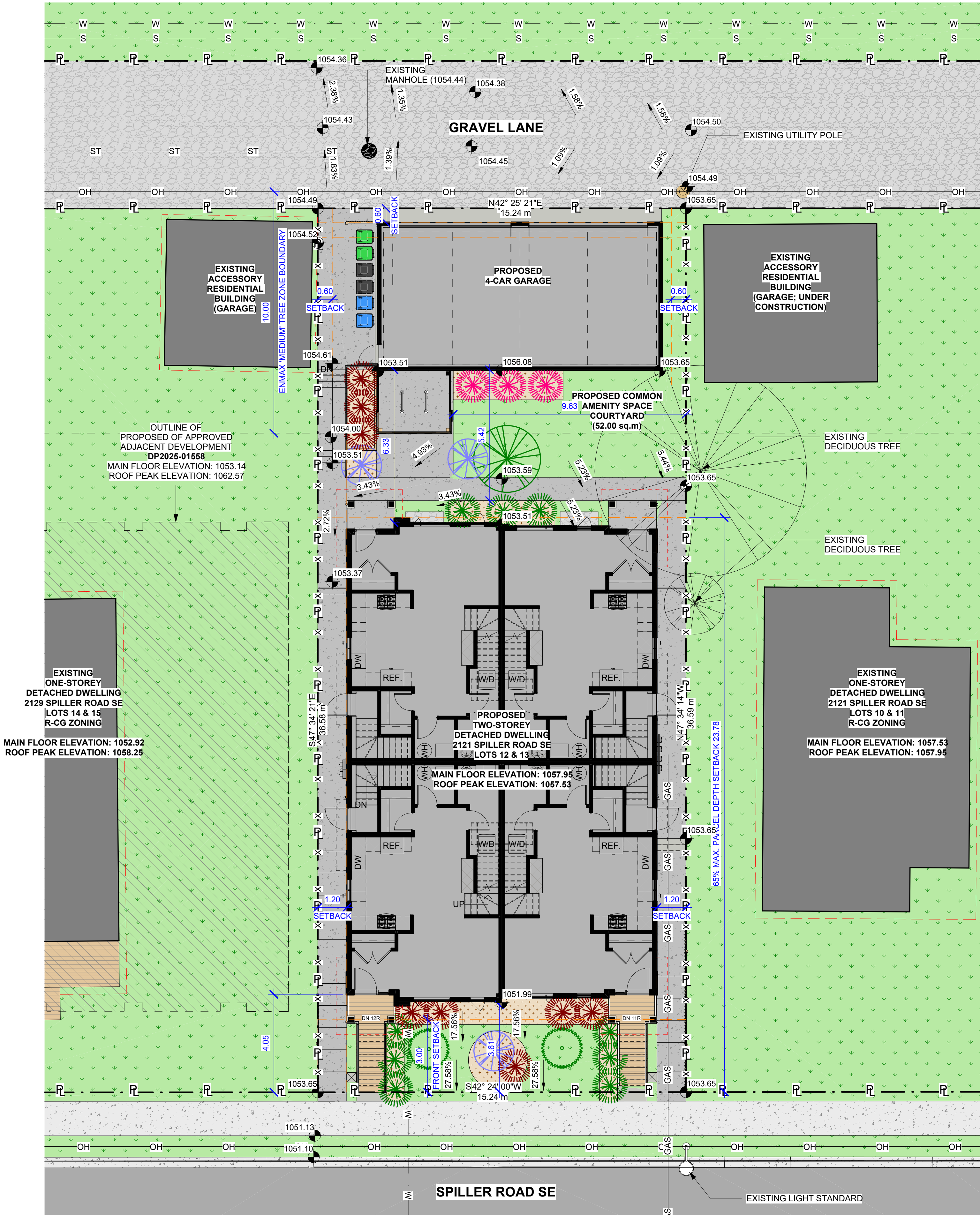
TOTAL SHRUBS PROVIDED: 20

SITE AREA CALCULATIONS

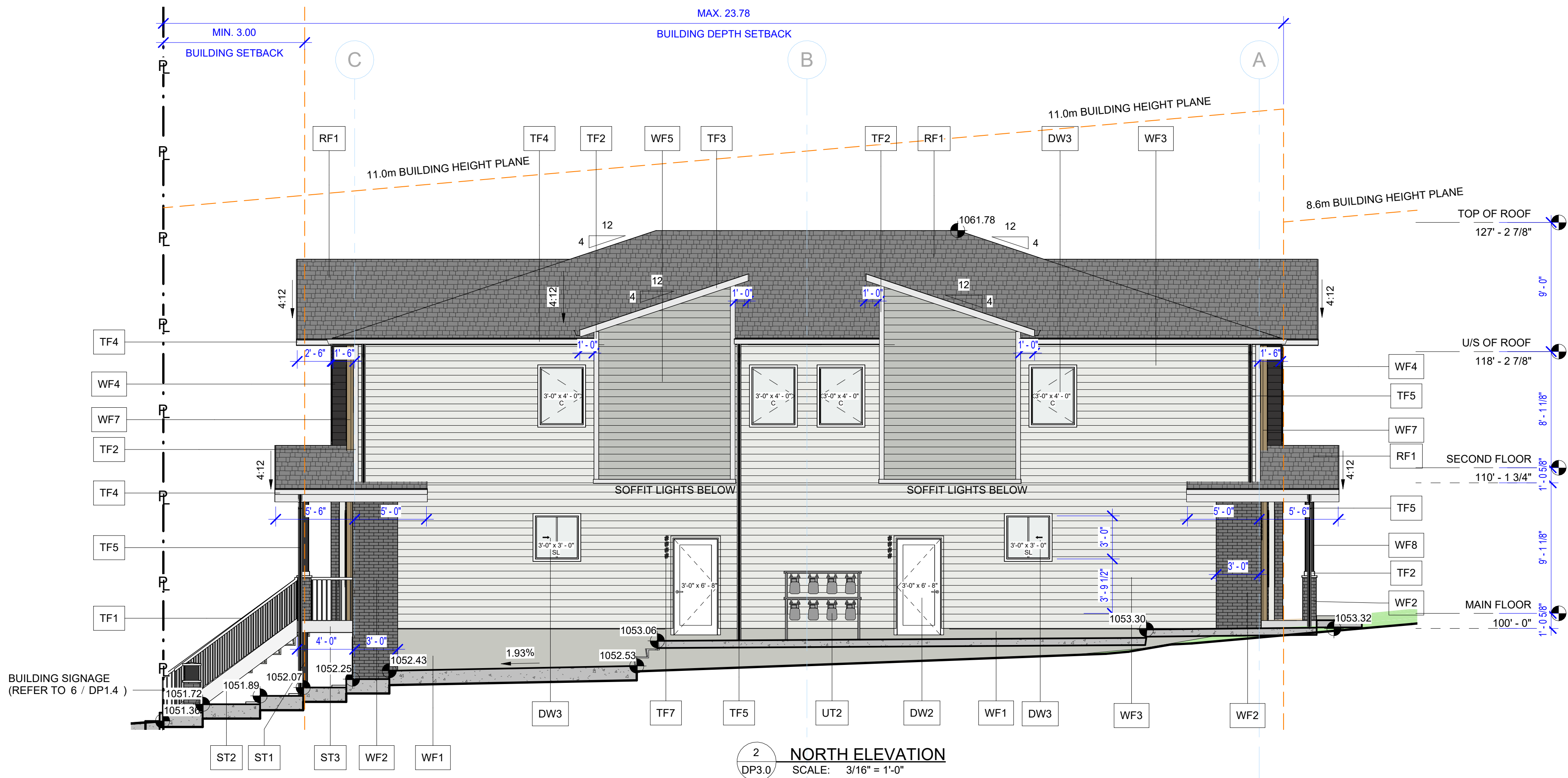
SITE AREA (m ²): #	557.69m ²	
SITE AREA (ACRES):	0.14ac	
SITE AREA (HECTARES):	0.06ha	
BUILDING FOOTPRINT AREA (m ²):	321.58m ²	
UNCOVERED PARKING AREA (m ²):	0m ²	
WASTE / RECYCLING AREA (m ²):	6.35m ²	
TOTAL LANDSCAPE AREA PROVIDED (m ²):	229.76m ²	41.20%

LANDSCAPE AREA BREAKDOWN

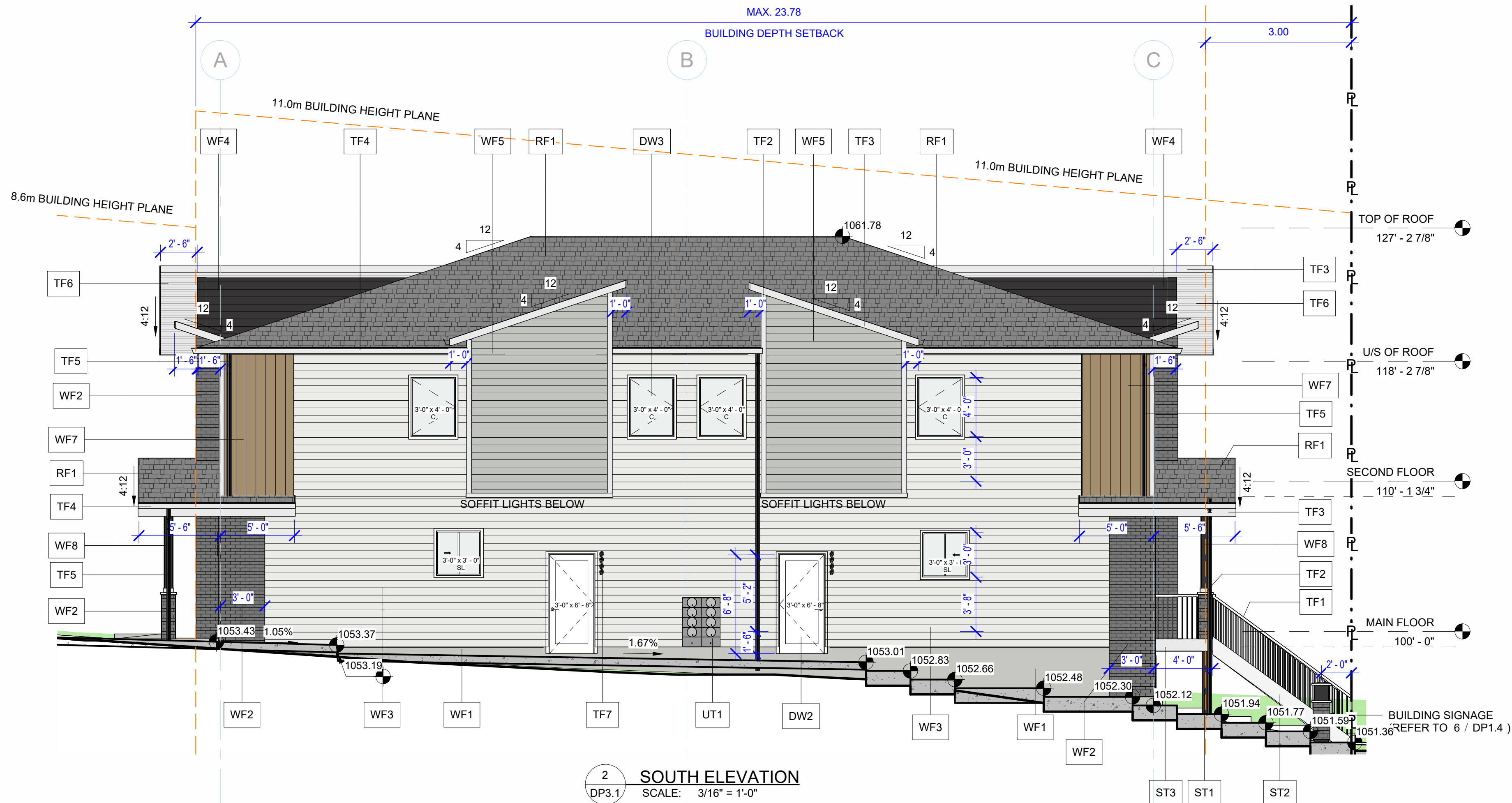
MAX. PERMITTED HARD SURFACE LANDSCAPING AREA (m ²):	160.832m ²	70.00%
TOTAL HARD SURFACE LANDSCAPING AREA (m ²):	131.12m ²	57.07%
MIN. PERMITTED SOFT SURFACE LANDSCAPE AREA (m ²):	68.928m ²	30.00%
TOTAL SOFT SURFACE LANDSCAPE AREA (m ²):	98.64m ²	42.93%



TAG	MATERIAL
WF1	CONCRETE FOUNDATION PARGING COLOUR: GRAY
WF2	GREY BRICK VENEER COLOUR: GRAY
WF3	'HARDIE' HORIZONTAL FIBER CEMENT LAPSING COLOUR: 'ARCTIC WHITE'
WF4	'HARDIE' HORIZONTAL FIBER CEMENT LAPSING COLOUR: 'IRON GRAY'
WF5	'HARDIE' HORIZONTAL FIBER CEMENT LAPSING COLOUR: 'PEARL GRAY'
WF6	'HARDIE' BOARD & BATTEN FIBER CEMENT SIDING COLOUR: 'ARCTIC WHITE'
WF7	'HARDIE' BOARD & BATTEN FIBER CEMENT SIDING COLOUR: 'KHAKI BROWN'
WF8	'SMART TRIM' COMPOSITE WOOD CLADDING COLOUR: 'DARK GREY' (TO MATCH HARDIE 'IRON GRAY')
ST1	PAINTED EXTERIOR TREATED WOOD COLUMN COLOUR: DARK GREY (TO MATCH HARDIE 'IRON GRAY')
ST2	PRESSURE TREATED WOOD STAIRS COLOUR: STAINED & PAINTED
ST3	WOOD PORCH ENTRY LANDING COLOUR: WHITE FASCIA
ST4	PRE-FINISHED METAL WINDOW WELL
TF1	PAINTED METAL GUARD RAILS COLOUR: WHITE
TF2	4" SMART BOARD TRIM COLOUR: WHITE
TF3	PRE-FINISHED METAL FASCIA COLOUR: WHITE
TF4	PRE-FINISHED EAVESTROUGH COLOUR: WHITE
TF5	PRE-FINISHED DOWNSPOUT COLOUR: WHITE
TF6	PRE-FINISHED METAL SOFFIT COLOUR: WHITE
TF7	UNIT SIGNAGE COLOUR: WHITE AND/OR METALLIC SILVER
DW1	EXTERIOR DWELLING UNIT ENTRY DOOR c/w SIDELITE COLOUR: BLACK PANEL / TRIM
DW2	EXTERIOR FIRE-RATED SUITE UNIT ENTRY DOOR COLOUR: WHITE PANEL / TRIM
DW3	THERMALLY BROKEN VINYL WINDOWS COLOUR: WHITE FRAME / TRIM
RF1	ASPHALT SHINGLES COLOUR: GRAY
UT1	ELECTRICAL UTILITY METERS
UT2	GAS UTILITY METERS



TAG	MATERIAL
WF1	CONCRETE FOUNDATION PARGING COLOUR: GRAY
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RF1	ASPHALT SHINGLES COLOUR: GRAY
UT1	ELECTRICAL UTILITY METERS
UT2	GAS UTILITY METERS



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2125 SPILLER ROAD SE
TOWNHOMES

ADDRESS:

2125 SPILLER ROAD SE, CALGARY AB, T2G 4G7
LOTS: 12 & 13
BLOCK: 3
PLAN: 6260AM

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