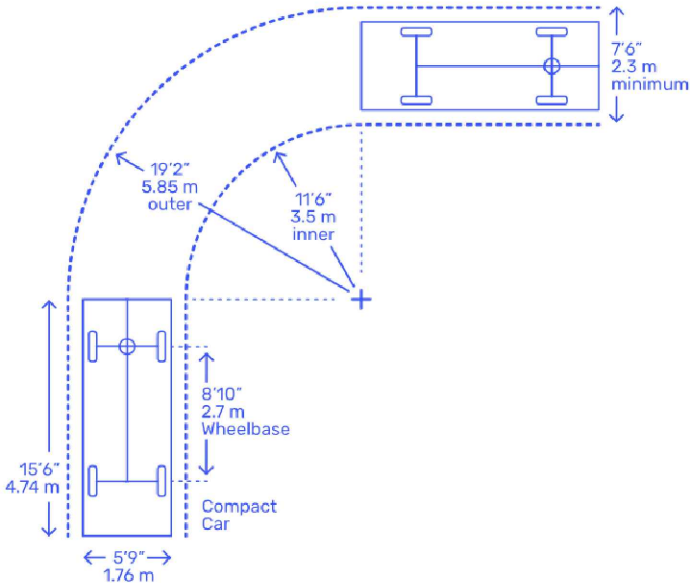


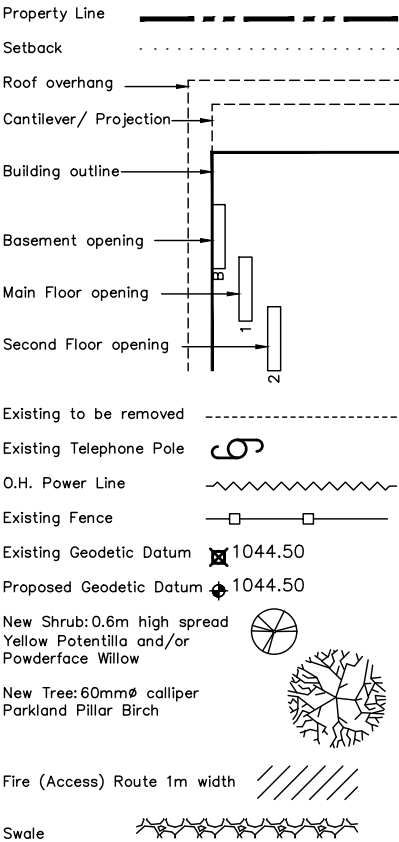
Passenger Turning Path - 90°



SHEET LIST:

- A1.0 SITE PLAN
- A1.1 BLOCK PLAN
- A2.0 STREET SCAPE
- A3.0 GROUND FLOOR & MAIN FLOOR PLAN
- A3.1 SECOND FLOOR & ROOF PLAN
- A3.2 GARAGE FLOOR & ROOF PLAN
- A4.0 FRONT (NORTH) & REAR (SOUTH) ELEV.
- A4.1 RIGHT (WEST) ELEVATION
- A4.2 LEFT (EAST) ELEVATION
- A4.3 GARAGE ELEVATIONS

LEGEND



LUB 1P2007 Review:

22. "parcel coverage" means the cumulative building coverage of all buildings on a parcel excluding, Accessory Residential Buildings which in aggregate are less than 10.0sqm. "building coverage" excludes: (e) decks, landings, uncovered stairs, and any external areas located below.
- 339.1. (Porch Area) is exempt from parcel coverage where:
- (a)-(c) are met
- 339.2) Developed Area decks must not exceed:
- (a) 1.5m above grade at any point, except where the deck is located on the same facade as the at-grade entrance to a walkout basement, and
  - (b) 0.3m above the main floor level of the closest main residential building on the parcel.

Permitted Uses:

- 526.(a) Accessory Residential Building
- (b.1) Contextual Sing Detached Dwelling
- (g) Secondary Suite

Density:

- 529. 2 units/0.02565ha= max. 75units/ha
- 534.(2)(d) Max. 60% for density of 60 units/ha or greater

Minimum Building Setbacks Req.:

|                                        | Proposed: |
|----------------------------------------|-----------|
| 535. Max. Bldg. Depth 65% parcel depth | 56.4%     |
| 537. Front Yard =                      | 3.0m      |
| 538. Block Face =                      | N/A       |
| 539.(1) Side Yard =                    | 1.2m      |
| 540.(2) Rear Yard =                    | 1.2m      |

Building Height:

- 541.(1) Maximum building height 11.0m measured from grade
- Provided: Average = 9.68m

Parking Stalls Required:

- 546.(2) 0.5/ unit x 2 units= 1 stall
- Provided: 2 stalls

Landscaping:

- 542.(2) 1 tree + 3 shrubs/ 110.0sqm of parcel area
- Provided: 2 trees +6 shrubs

Minimum Accessory Building Setback Req.:

- 345.(2) The minimum building setback for a side or rear setback may be reduced to zero when:
- (b) constructed of maintenance-free materials and no overhang of eaves onto an adjacent parcel.
- (b) The height must not exceed:
- (a) 4.6m measured from the finished floor of the building

Site Information

Address: 1037 - 19TH AVENUE SE

Legal Description: Lot: 19, Block 5, Plan 4040N

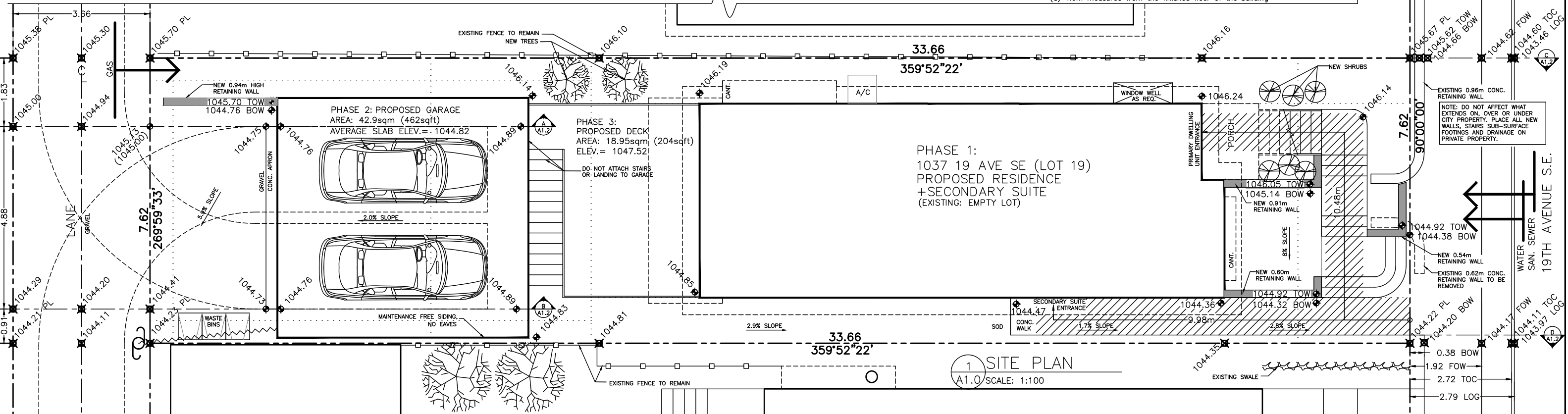
Land Use Designation: R-CG

Parcel Area: 256.5sqm (2,760.9sqft)

House Area: 71.4sqm (768.7sqft)

Garage Area: 42.9sqm (462.0sqft)

Parcel Coverage: Building Area(s)/Parcel Area  
=114.3/256.5sqm =44.6%



NOTES:

- This drawing is the property of the Designer and unauthorized reproduction is prohibited under the Copyright Act.
- Electronic files when provided are instruments of service and the sole property of Jayda Karsten Designs. No alterations or reproduction shall be made without authorized consent.
- The Contractor shall check and verify all dimensions and report any discrepancies to the Designer prior to construction. Do not scale this drawing.
- This drawing shall not be used for construction unless issued for construction.
- All dimensions are in imperial unless noted otherwise

CONSULTANTS:

PROJECT:

1037 19 AVE SE  
CALGARY, AB  
LOT 19, BLOCK 5, PLAN 4040N

CLIENT:

J. KARSTEN  
308 - 320 24 AVE SW  
CALGARY, AB

DRAWING TITLE:

SITE PLAN  
C/W FIRE ACCESS ROUTE  
& GARAGE ACCESS ROUTE

ISSUED

| DATE       | DESCRIPTION               |
|------------|---------------------------|
| 2025/10/27 | ISSUED FOR DP             |
| 2025/12/22 | R1 - PRIOR TO DP DECISION |
| 2026/03/04 | R2 - PRIOR TO DP DECISION |
| 2026/03/25 | R3 - PRIOR TO DP DECISION |

PROJECT NUMBER: 2024-002

DRAWN BY: JK

DATE: 2025.10.27

SCALE: AS SHOWN

REVIEWED BY: JK

Jayda  
Karsten  
Drafting & Design

A1.0

C:\Users\Jayda\OneDrive\Desktop\J.K. RESIDENCE 2026 DP-R4.dwg

NOTES:

- This drawing is the property of the Designer and unauthorized reproduction is prohibited under the Copyright Act.
- Electronic files when provided are instruments of service and the sole property of Jayda Karsten Designs. No alterations or reproduction shall be made without authorized consent.
- The Contractor shall check and verify all dimensions and report any discrepancies to the Designer prior to construction. Do not scale this drawing.
- This drawing shall not be used for construction unless issued for construction.
- All dimensions are in imperial unless noted otherwise

CONSULTANTS:

PROJECT:

1037 19 AVE SE  
CALGARY, AB  
LOT 19, BLOCK 5, PLAN 4040N

CLIENT:

J. KARSTEN  
308 - 320 24 AVE SW  
CALGARY, AB

DRAWING TITLE:

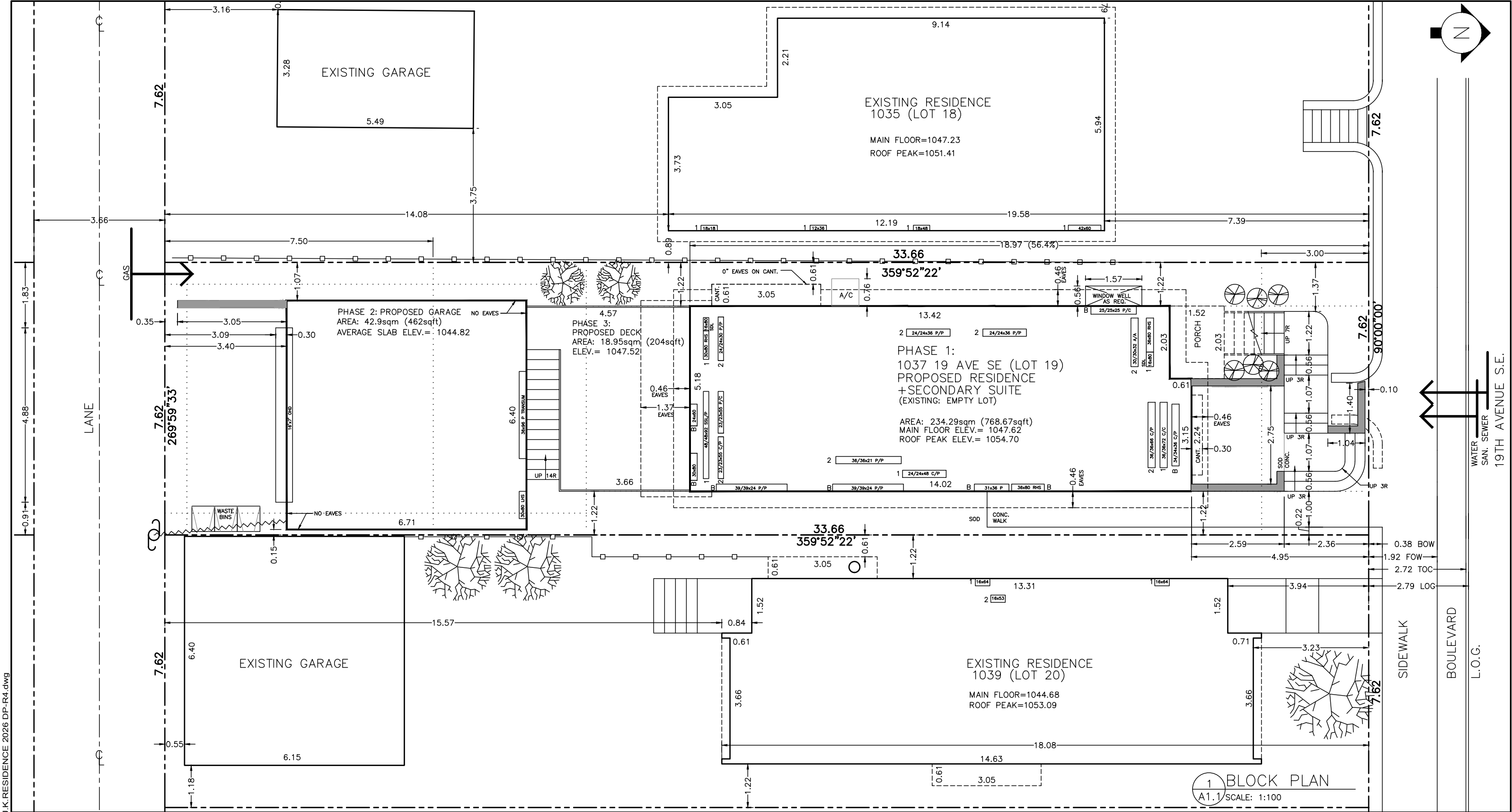
BLOCK PLAN

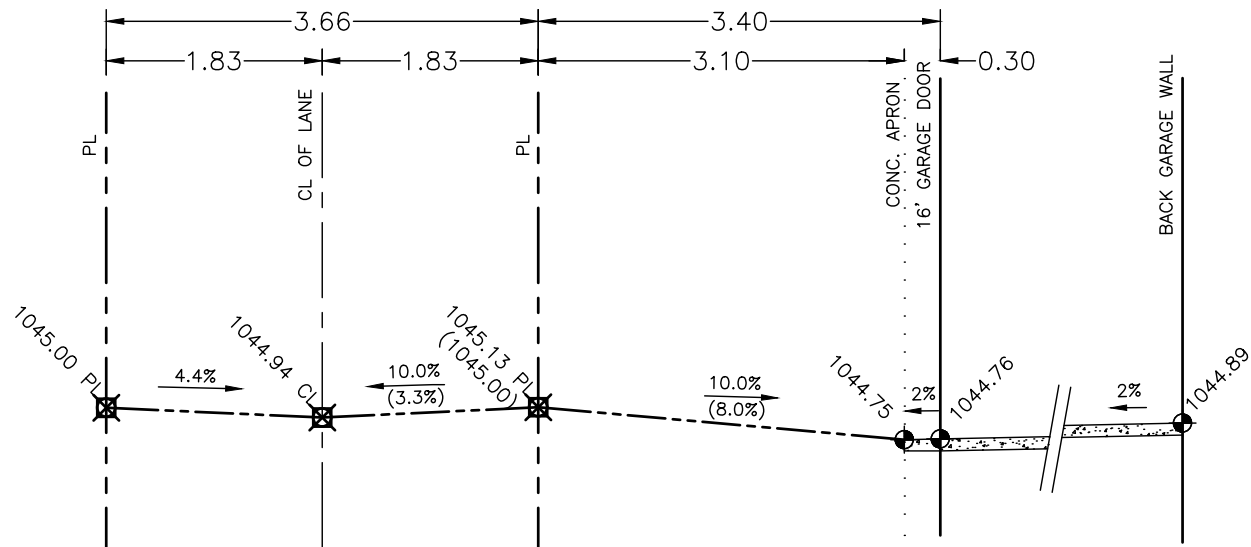
ISSUED

| DATE       | DESCRIPTION               |
|------------|---------------------------|
| 2025/10/27 | ISSUED FOR DP             |
| 2025/12/22 | R1 - PRIOR TO DP DECISION |
| 2026/03/04 | R2 - PRIOR TO DP DECISION |
| 2026/03/25 | R3 - PRIOR TO DP DECISION |

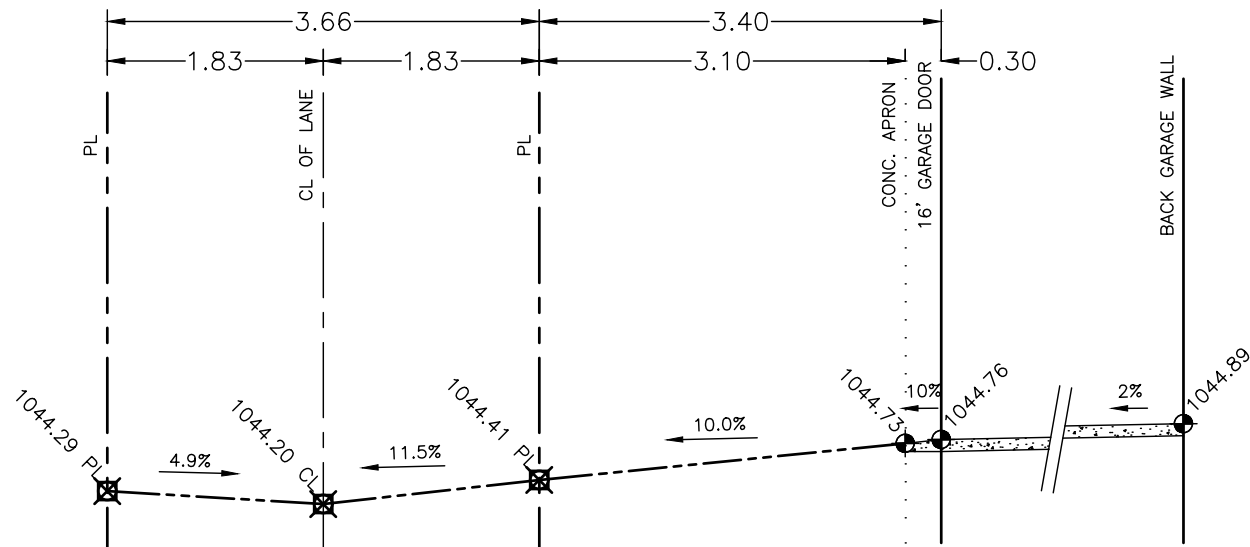
PROJECT NUMBER: 2024-002

|              |            |
|--------------|------------|
| DRAWN BY:    | JK         |
| DATE:        | 2025.10.27 |
| SCALE:       | AS SHOWN   |
| REVIEWED BY: | JK         |

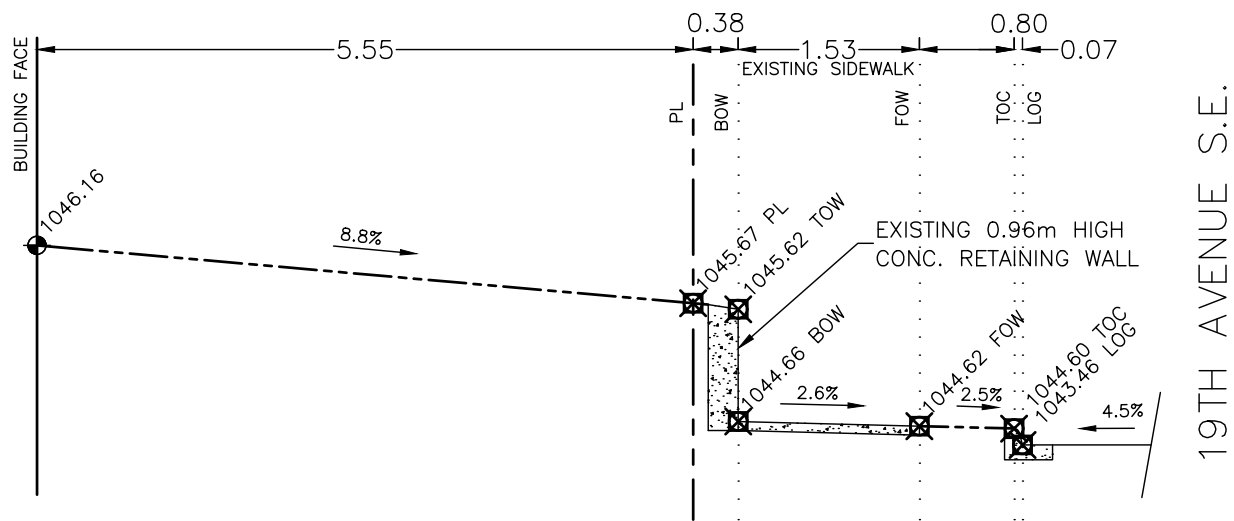




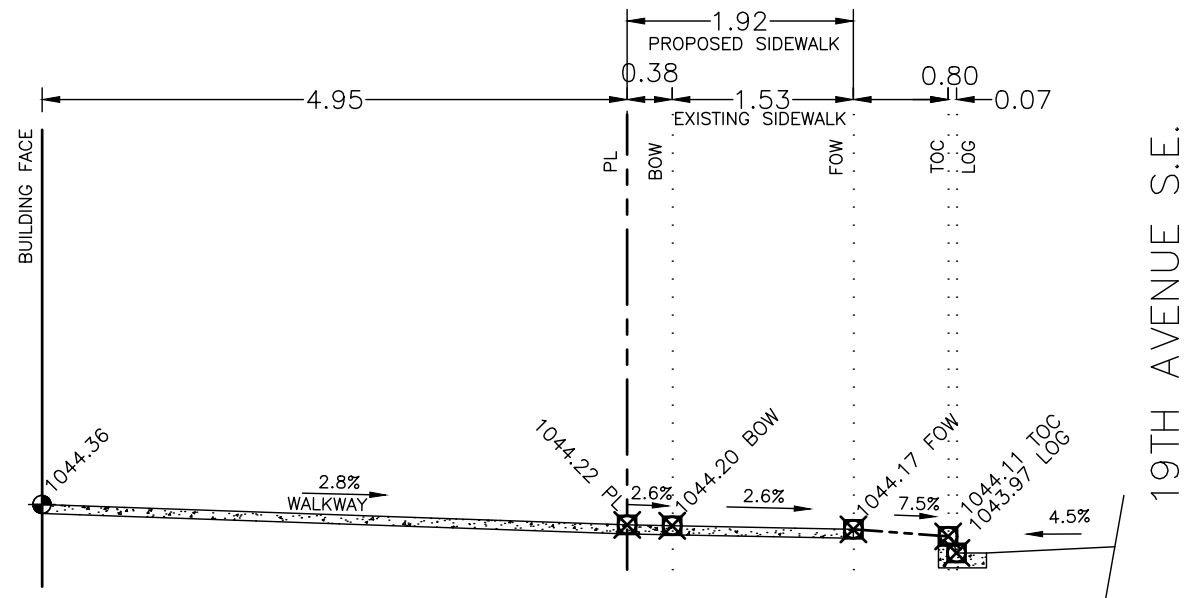
A LANE CROSS SECTION (WEST)  
A1.2 SCALE: 3/16":1'-0"



B LANE CROSS SECTION (EAST)  
A1.2 SCALE: 3/16":1'-0"



C FRONT CROSS SECTION (WEST)  
A1.2 SCALE: 3/16":1'-0"



D FRONT CROSS SECTION (EAST)  
A1.2 SCALE: 3/16":1'-0"

Jayda  
Karsten  
Drafting & Design

NOTES:

- This drawing is the property of the Designer and unauthorized reproduction is prohibited under the Copyright Act.
- Electronic files when provided are instruments of service and the sole property of Jayda Karsten Designs. No alterations or reproduction shall be made without authorized consent.
- The Contractor shall check and verify all dimensions and report any discrepancies to the Designer prior to construction. Do not scale this drawing.
- This drawing shall not be used for construction unless issued for construction.
- All dimensions are in imperial unless noted otherwise.

CONSULTANTS:

PROJECT:

1037 19 AVE SE  
CALGARY, AB  
LOT 19, BLOCK 5, PLAN 4040N

CLIENT:

J. KARSTEN  
308 - 320 24 AVE SW  
CALGARY, AB

DRAWING TITLE:

LANE & SIDEWALK CROSS  
SECTIONS

ISSUED

| DATE       | DESCRIPTION               |
|------------|---------------------------|
| 2025/10/27 | ISSUED FOR DP             |
| 2025/12/22 | R1 - PRIOR TO DP DECISION |
| 2026/03/04 | R2 - PRIOR TO DP DECISION |
| 2026/03/25 | R3 - PRIOR TO DP DECISION |

PROJECT NUMBER: 2024-002

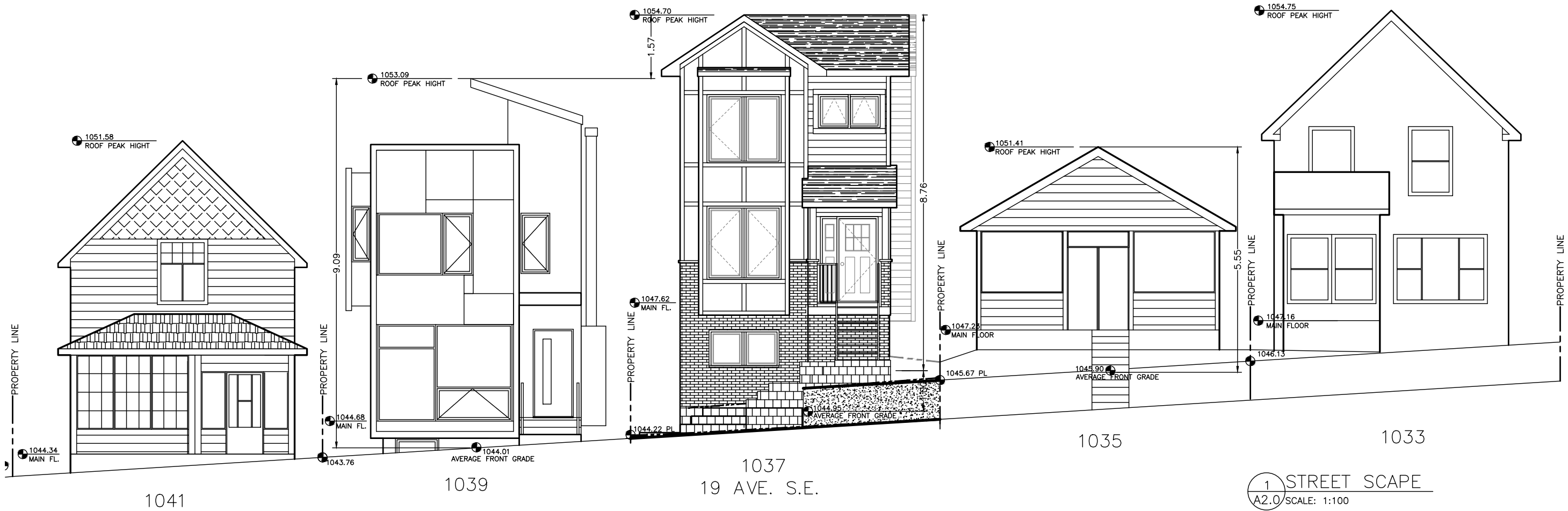
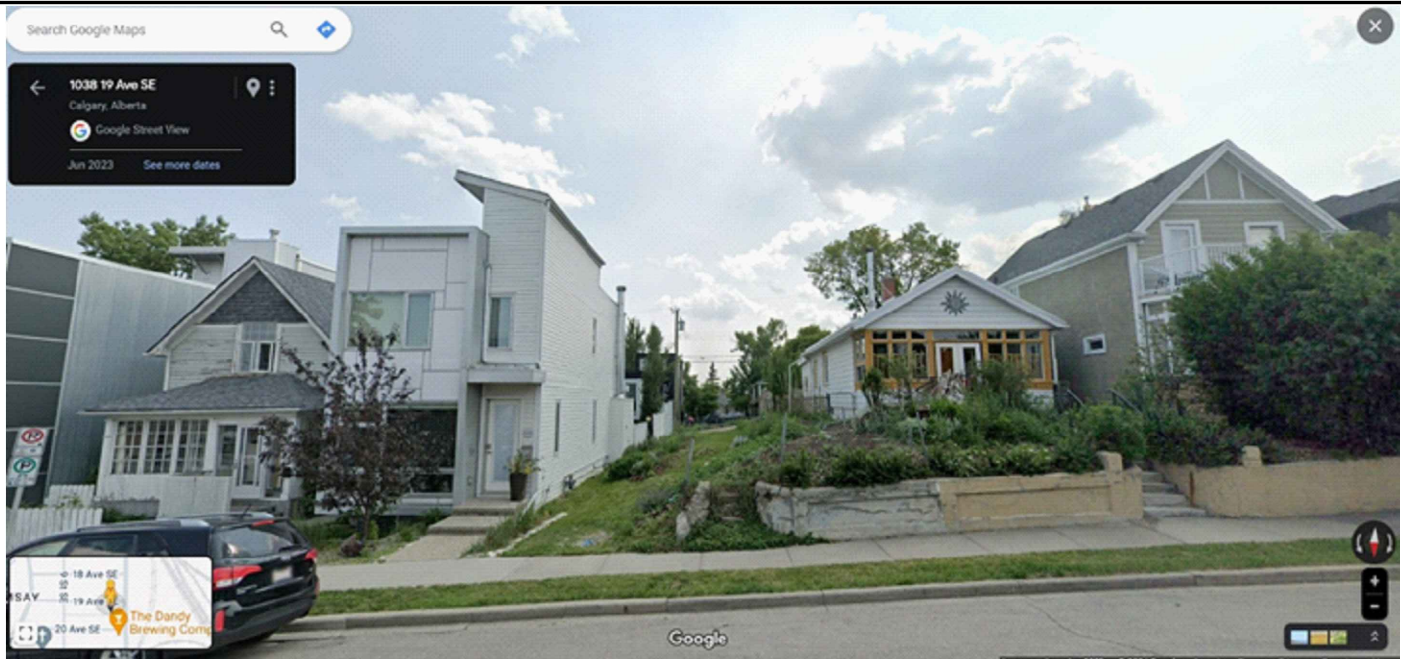
DRAWN BY: JK

DATE: 2025.10.27

SCALE: AS SHOWN

REVIEWED BY: JK

A1.2



Jayda  
Karsten  
Drafting & Design

NOTES:

- This drawing is the property of the Designer and unauthorized reproduction is prohibited under the Copyright Act.
- Electronic files when provided are instruments of service and the sole property of Jayda Karsten Designs. No alterations or reproduction shall be made without authorized consent.
- The Contractor shall check and verify all dimensions and report any discrepancies to the Designer prior to construction. Do not scale this drawing.
- This drawing shall not be used for construction unless issued for construction.
- All dimensions are in imperial unless noted otherwise

CONSULTANTS:

PROJECT:

1037 19 AVE SE  
CALGARY, AB  
LOT 19, BLOCK 5, PLAN 4040N

CLIENT:

J. KARSTEN  
308 - 320 24 AVE SW  
CALGARY, AB

DRAWING TITLE:

STREET SCAPE

ISSUED

| DATE       | DESCRIPTION               |
|------------|---------------------------|
| 2025/10/27 | ISSUED FOR DP             |
| 2025/12/22 | R1 - PRIOR TO DP DECISION |
| 2026/03/04 | R2 - PRIOR TO DP DECISION |
| 2026/03/25 | R3 - PRIOR TO DP DECISION |

PROJECT NUMBER: 2024-002

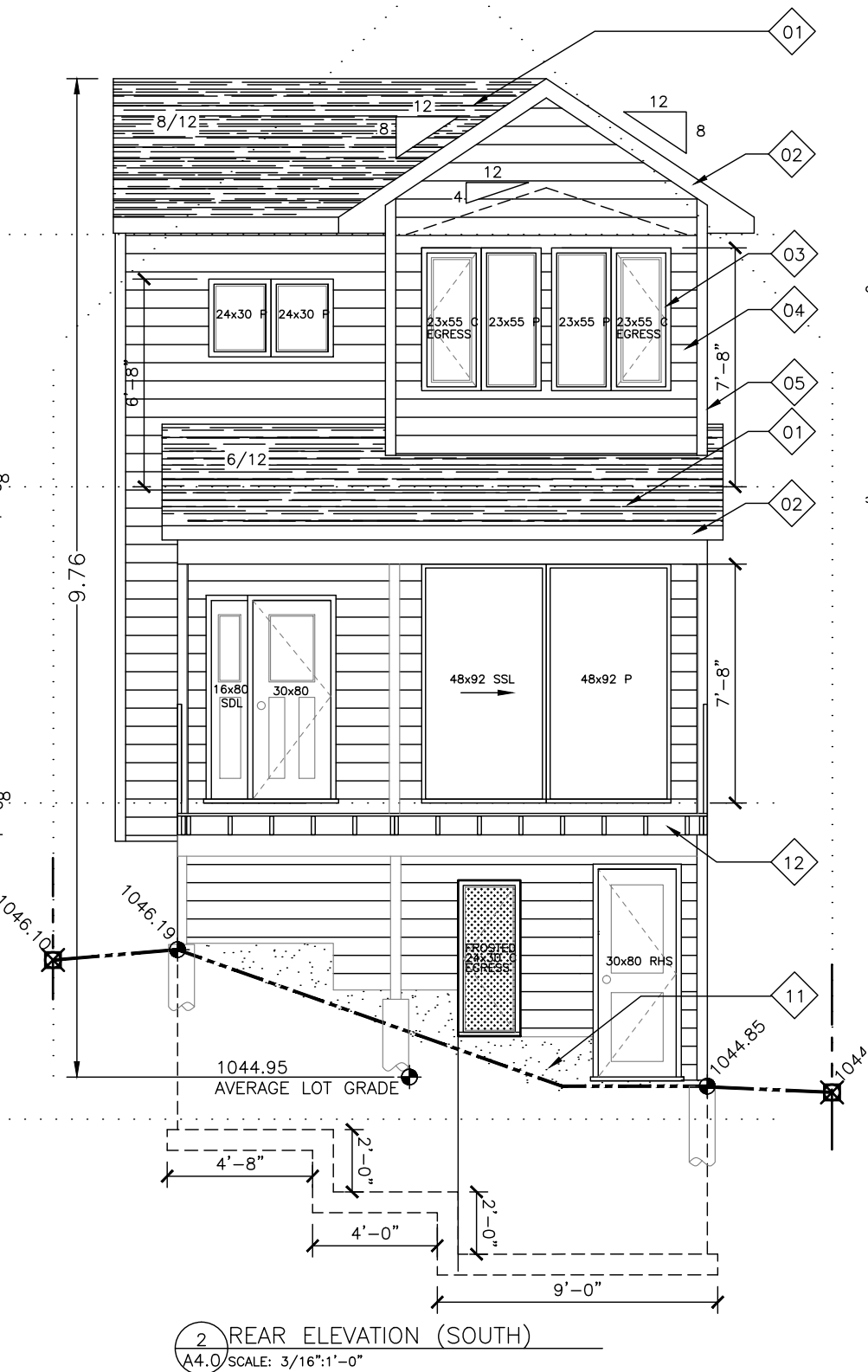
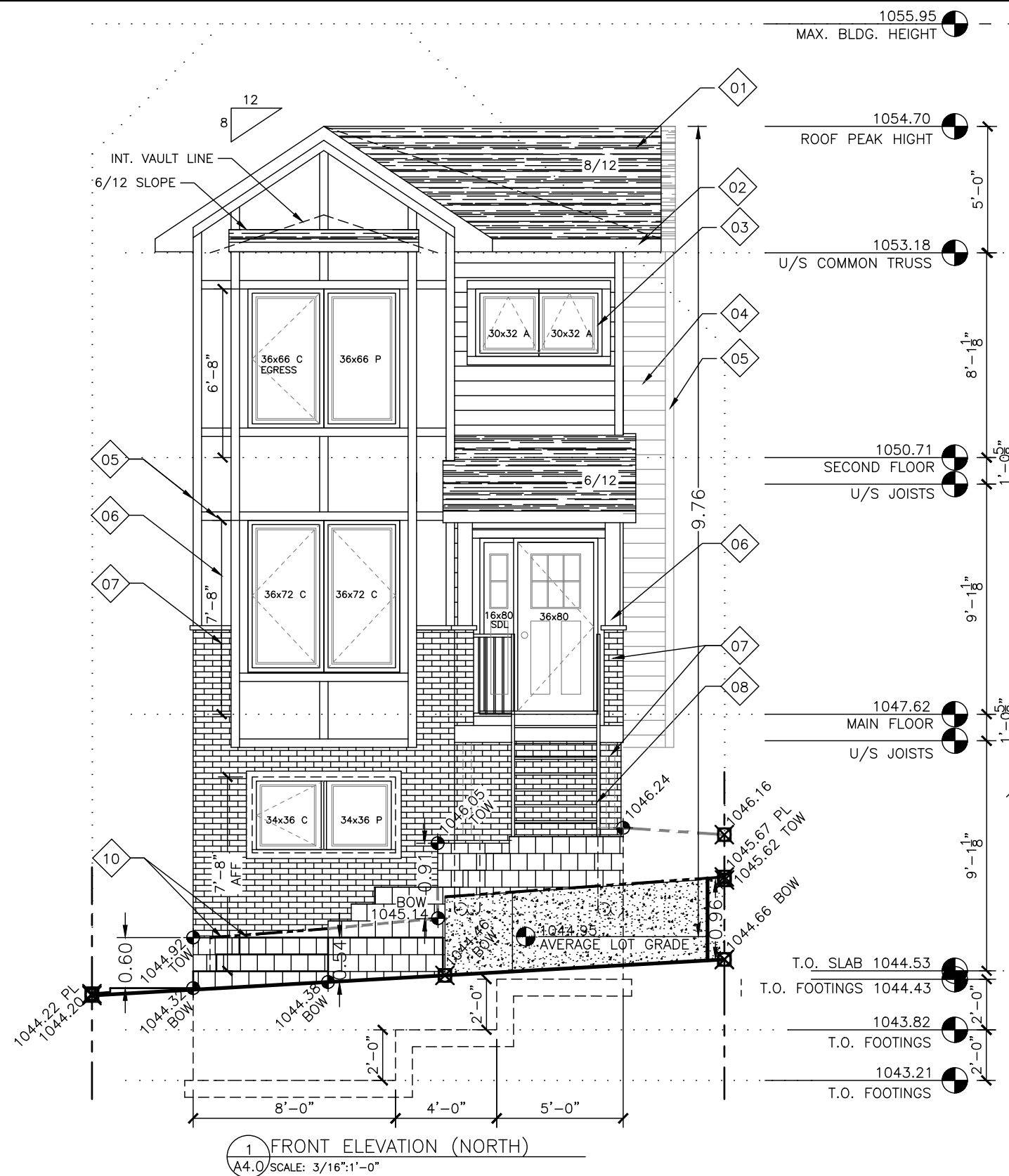
DRAWN BY: JK

DATE: 2025.10.27

SCALE: AS SHOWN

REVIEWED BY: JK

A2.0



### FINISH SCHEDULE

- 01 IKO ASPHALT SHINGLES – DOUBLE BLACK
- 02 PREFINISHED ALUMINUM FASCIA AND SOFFIT – BLACK
- 03 ALUMINUM CLAD PVC WINDOWS – BLACK
- 04 HARDIE BOARD 8.25" SIDING – PEARL GRAY: CEDARMILL TEXTURE
- 05 HARDIE BOARD TRIM – 3.5" ARCTIC WHITE: ROUGHSAWN TEXTURE
- 06 HARDIE PANEL – ARCTIC WHITE: SMOOTH TEXTURE
- 07 HEBRON BRICK VENEER – GARNET: SMOOTH
- 08 PRE-FINISHED METAL STAIRS, STRINGERS AND RAILINGS – BLACK
- 09 PRE-FINISHED METAL ROOF/ CLADDING – GALVANIZED/GRAY
- 10 BLOCK OR CONC. STEPS AND/OR RETAINING WALL
- 11 CONCRETE PAVING
- 12 P.T. LEDGER BOARD C/W FLASHING

NOTES:

- This drawing is the property of the Designer and unauthorized reproduction is prohibited under the Copyright Act.
- Electronic files when provided are instruments of service and the sole property of Jayda Karsten Designs. No alternations or reproduction shall be made without authorized consent.
- The Contractor shall check and verify all dimensions and report any discrepancies to the Designer prior to construction. Do not scale this drawing.
- This drawing shall not be used for construction unless issued for construction.
- All dimensions are in imperial unless noted otherwise

CONSULTANTS:

PROJECT:

1037 19 AVE SE  
CALGARY, AB  
LOT 19, BLOCK 5, PLAN 4040N

CLIENT:

**J. KARSTEN**  
308 - 320 24 AVE SW  
CALGARY, AB

DRAWING TITLE:

FRONT (NORTH) ELEVATION  
REAR (SOUTH) ELEVATION

ISSUED

| DATE       | DESCRIPTION               |
|------------|---------------------------|
| 2025/10/27 | ISSUED FOR DP             |
| 2025/12/22 | R1 - PRIOR TO DP DECISION |
| 2026/03/04 | R2 - PRIOR TO DP DECISION |
| 2026/03/25 | R3 - PRIOR TO DP DECISION |

PROJECT NUMBER: 2024-002

DRAWN BY: JK

DATE: 2025.10.27

SCALE: AS SHOWN

REVIEWED BY: JK

Jayda  
Karsten  
Drafting & Design

## A4.0

FINISH SCHEDULE

- 01 IKO ASPHALT SHINGLES — DOUBLE BLACK
- 02 PREFINISHED ALUMINUM FASCIA AND SOFFIT — BLACK
- 03 ALUMINUM CLAD PVC WINDOWS — BLACK
- 04 HARDIE BOARD 8.25" SIDING — PEARL GRAY: CEDARMILL TEXTURE
- 05 HARDIE BOARD TRIM — 3.5" ARCTIC WHITE: ROUGHSAWN TEXTURE
- 06 HARDIE PANEL — ARCTIC WHITE: SMOOTH TEXTURE
- 07 HEBRON BRICK VENEER — GARNET: SMOOTH
- 08 PRE-FINISHED METAL STAIRS, STRINGERS AND RAILINGS — BLACK
- 09 PRE-FINISHED METAL ROOF/ CLADDING — GALVANIZED/GRAY
- 10 BLOCK OR CONC. STEPS AND/OR RETAINING WALL
- 11 CONCRETE PAVING
- 12 P.T. LEDGER BOARD C/W FLASHING

1055.95  
MAX BLDG HEIGHT

1054.70  
ROOF PEAK

1053.18  
U/S TRUSS

1050.71  
T.O. SECOND FLOOR  
U/S JOISTS

1047.62  
T.O. MAIN FLOOR  
U/S JOISTS

1043.21  
T.O. FOOTINGS

1 LEFT ELEVATION (EAST)  
A4.1/SCALE: 3/16"=1'-0"

**SPATIAL SEPARATION CALCULATION (HOUSE):**  
L=46'-0" (14.02m) X H=28'-2" (8.59m)  
RATIO= 1.56:1 AREA: 1296sqft (120.43sqm)  
LIMITING DIST.=1.2m PERCENTAGE= 7%  
TOTAL ALLOWABLE UNPROTECTED OPENINGS=  
90.6sqft (8.43sqm)  
ACTUAL UNPROTECTED OPENINGS=  
84.22sqft (7.82sqm)

NOTES:

- This drawing is the property of the Designer and unauthorized reproduction is prohibited under the Copyright Act.
- Electronic files when provided are instruments of service and the sole property of Jayda Karsten Designs. No alterations or reproduction shall be made without authorized consent.
- The Contractor shall check and verify all dimensions and report any discrepancies to the Designer prior to construction. Do not scale this drawing.
- This drawing shall not be used for construction unless issued for construction.
- All dimensions are in imperial unless noted otherwise

CONSULTANTS:

PROJECT:

1037 19 AVE SE  
CALGARY, AB  
LOT 19, BLOCK 5, PLAN 4040N

CLIENT:

J. KARSTEN  
308 - 320 24 AVE SW  
CALGARY, AB

DRAWING TITLE:

LEFT (EAST) ELEVATION

ISSUED

| DATE       | DESCRIPTION               |
|------------|---------------------------|
| 2025/10/27 | ISSUED FOR DP             |
| 2025/12/22 | R1 - PRIOR TO DP DECISION |
| 2026/03/04 | R2 - PRIOR TO DP DECISION |
| 2026/03/25 | R3 - PRIOR TO DP DECISION |

PROJECT NUMBER: 2024-002

DRAWN BY: JK  
DATE: 2025.10.27  
SCALE: AS SHOWN  
REVIEWED BY: JK

Jayda  
Karsten  
Drafting & Design

A4.1

C:\Users\jayda\OneDrive\Desktop\J.K.RESIDENCE 2026 DP-R4.dwg

NOTES:

- This drawing is the property of the Designer and unauthorized reproduction is prohibited under the Copyright Act.
- Electronic files when provided are instruments of service and the sole property of Jayda Karsten Designs. No alterations or reproduction shall be made without authorized consent.
- The Contractor shall check and verify all dimensions and report any discrepancies to the Designer prior to construction. Do not scale this drawing.
- This drawing shall not be used for construction unless issued for construction.
- All dimensions are in imperial unless noted otherwise

CONSULTANTS:

PROJECT:

KARSTEN RESIDENCE  
1037 19 AVE SE  
CALGARY, AB  
LOT 19, BLOCK 5, PLAN 4040N

CLIENT:

J. KARSTEN  
308 - 320 24 AVE SW  
CALGARY, AB

DRAWING TITLE:

RIGTH (WEST) ELEVATION

ISSUED

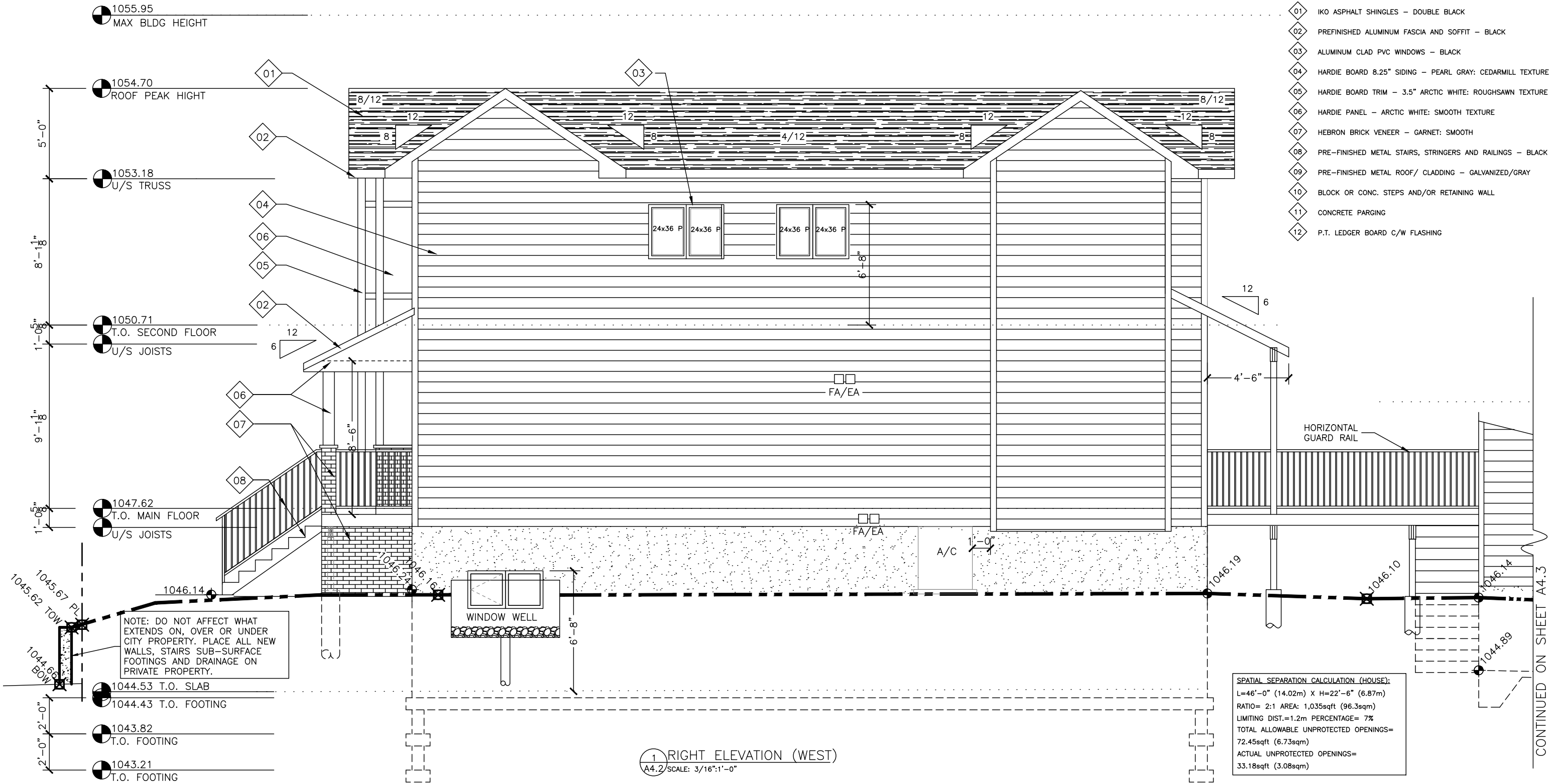
| DATE       | DESCRIPTION               |
|------------|---------------------------|
| 2025/10/27 | ISSUED FOR DP             |
| 2025/12/22 | R1 - PRIOR TO DP DECISION |
| 2026/03/04 | R2 - PRIOR TO DP DECISION |
| 2026/03/25 | R3 - PRIOR TO DP DECISION |

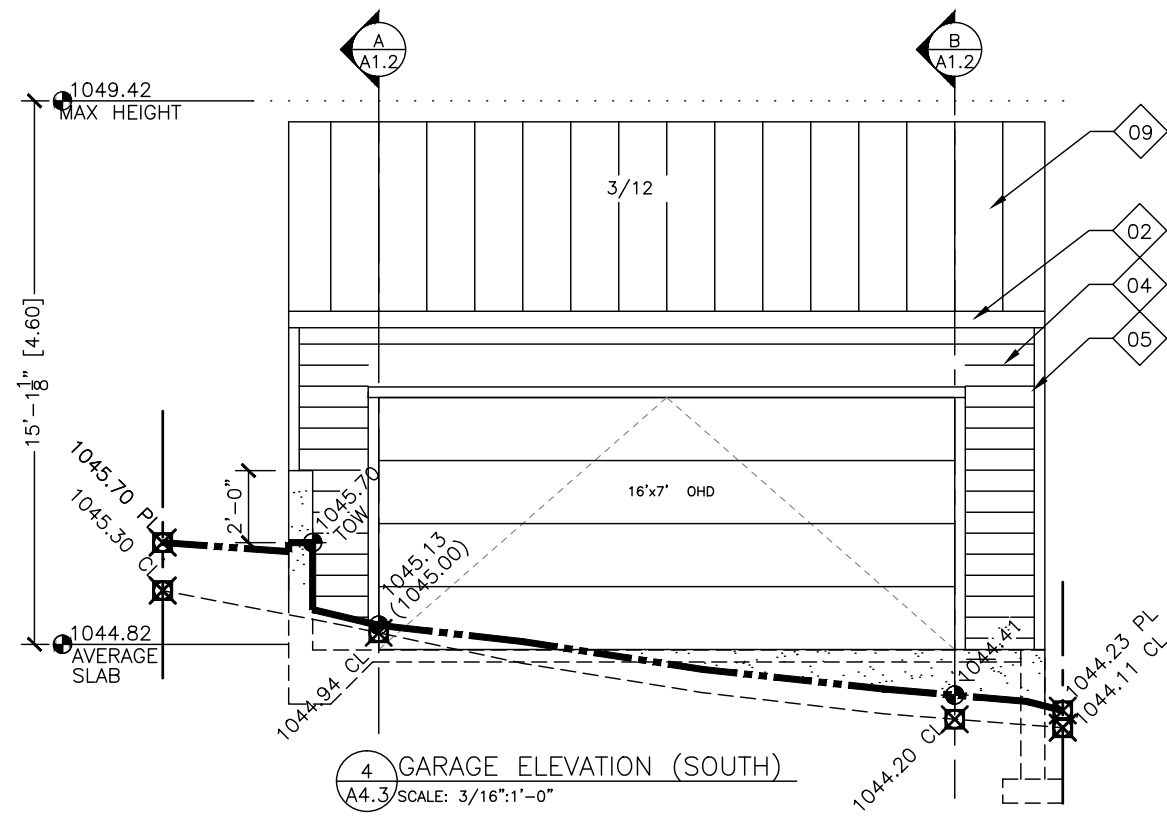
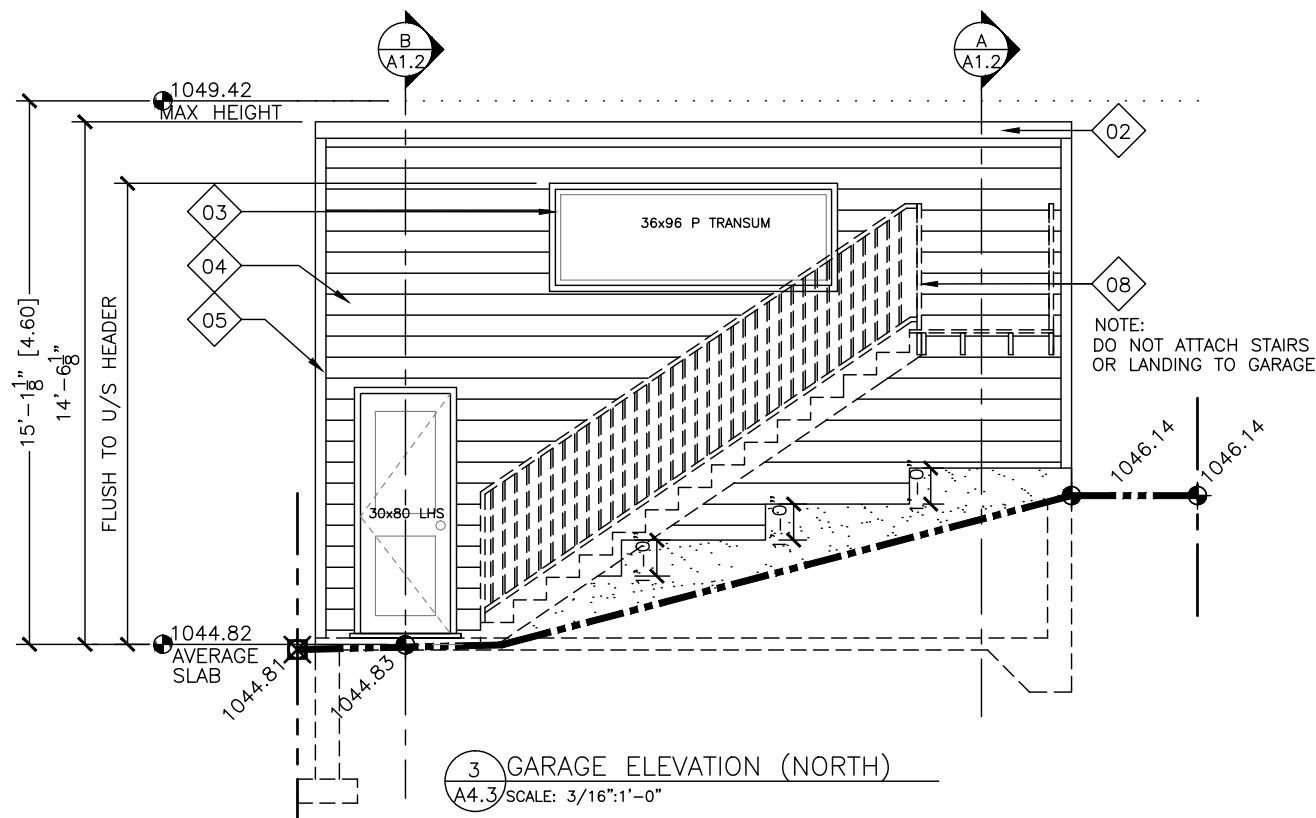
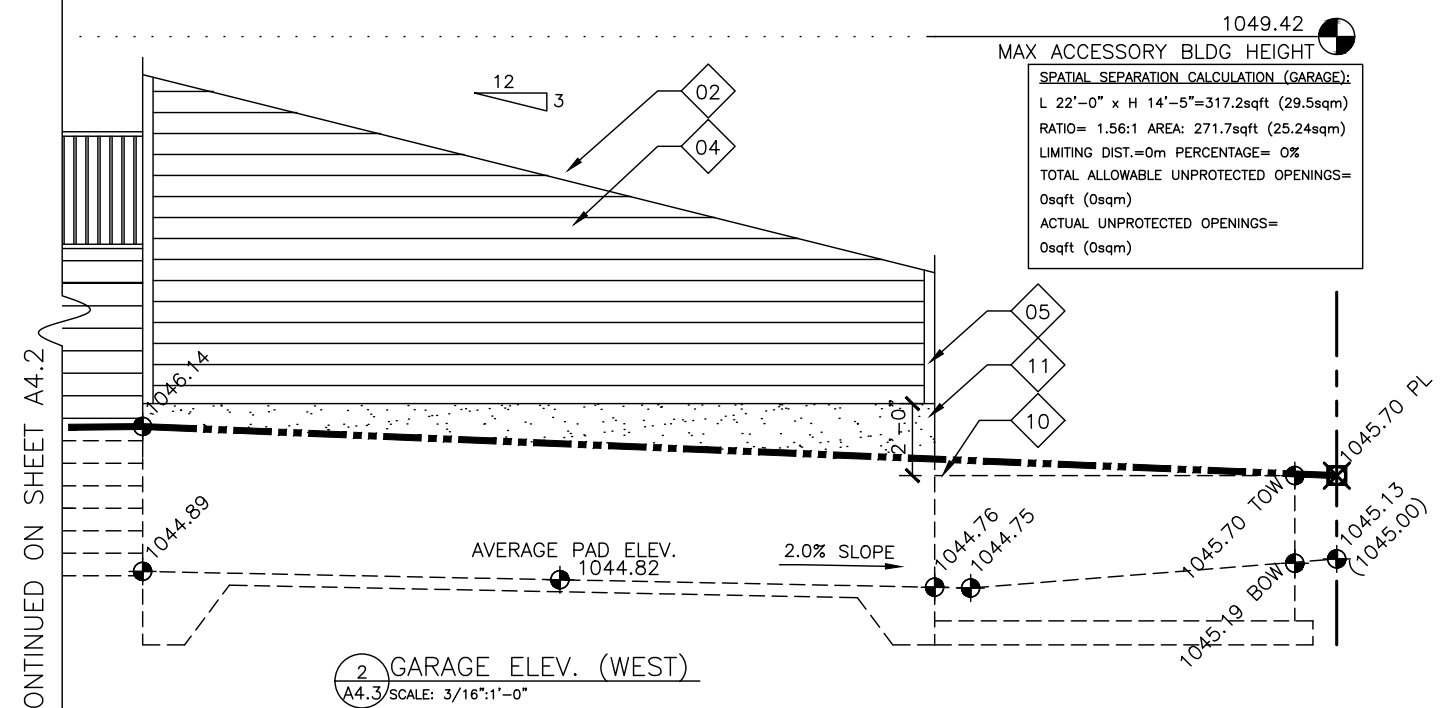
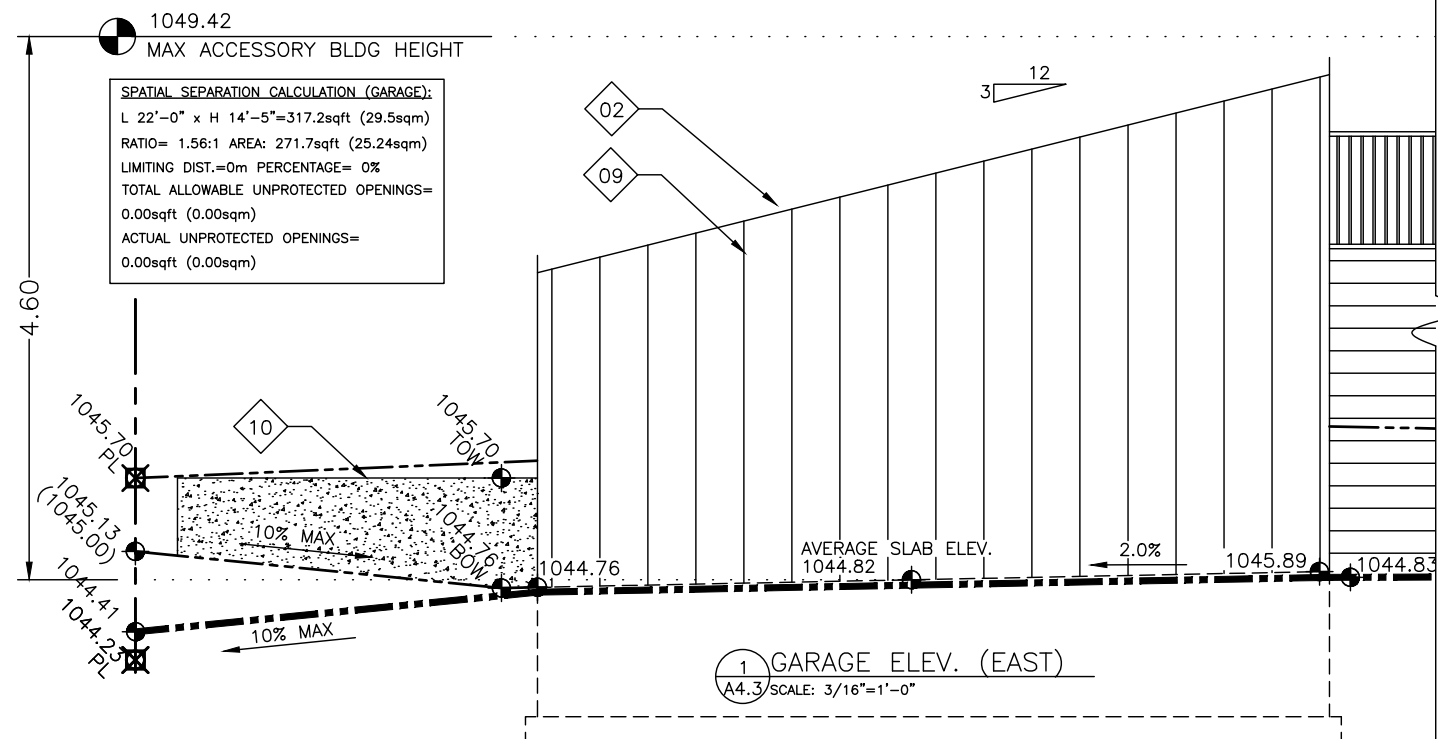
PROJECT NUMBER: 2024-002

|              |            |
|--------------|------------|
| DRAWN BY:    | JK         |
| DATE:        | 2025.10.27 |
| SCALE:       | AS SHOWN   |
| REVIEWED BY: | JK         |

FINISH SCHEDULE

|    |                                                           |
|----|-----------------------------------------------------------|
| 01 | IKO ASPHALT SHINGLES - DOUBLE BLACK                       |
| 02 | PREFINISHED ALUMINUM FASCIA AND SOFFIT - BLACK            |
| 03 | ALUMINUM CLAD PVC WINDOWS - BLACK                         |
| 04 | HARDIE BOARD 8.25" SIDING - PEARL GRAY: CEDARMILL TEXTURE |
| 05 | HARDIE BOARD TRIM - 3.5" ARCTIC WHITE: ROUGHSAWN TEXTURE  |
| 06 | HARDIE PANEL - ARCTIC WHITE: SMOOTH TEXTURE               |
| 07 | HEBRON BRICK VENEER - GARNET: SMOOTH                      |
| 08 | PRE-FINISHED METAL STAIRS, STRINGERS AND RAILINGS - BLACK |
| 09 | PRE-FINISHED METAL ROOF/ CLADDING - GALVANIZED/GRAY       |
| 10 | BLOCK OR CONC. STEPS AND/OR RETAINING WALL                |
| 11 | CONCRETE PARGING                                          |
| 12 | P.T. LEDGER BOARD C/W FLASHING                            |





- ### FINISH SCHEDULE

- |    |                                                           |
|----|-----------------------------------------------------------|
| 01 | IKO ASPHALT SHINGLES - DOUBLE BLACK                       |
| 02 | PREFINISHED ALUMINUM FASCIA AND SOFFIT - BLACK            |
| 03 | ALUMINUM CLAD PVC WINDOWS - BLACK                         |
| 04 | HARDIE BOARD 8.25" SIDING - PEARL GRAY: CEDARMILL TEXTURE |
| 05 | HARDIE BOARD TRIM - 3.5" ARCTIC WHITE: ROUGHSAWN TEXTURE  |
| 06 | HARDIE PANEL - ARCTIC WHITE: SMOOTH TEXTURE               |
| 07 | HEBRON BRICK VENEER - GARNET: SMOOTH                      |
| 08 | PRE-FINISHED METAL STAIRS, STRINGERS AND RAILINGS - BLACK |
| 09 | PRE-FINISHED METAL ROOF/ CLADDING - GALVANIZED/GRAY       |
| 10 | BLOCK OR CONC. STEPS AND/OR RETAINING WALL                |
| 11 | CONCRETE PAVING                                           |
| 12 | P.T. LEDGER BOARD C/W FLASHING                            |

NOTES:

- This drawing is the property of the Designer and unauthorized reproduction is prohibited under the Copyright Act.
- Electronic files when provided are instruments of service and the sole property of Jayda Karsten Designs. No alternations or reproduction may be made without authorized consent.
- The Contractor shall check and verify all dimensions and report any discrepancies to the Designer prior to construction. Do not scale this drawing.
- This drawing shall not be used for construction unless issued for construction.
- All dimensions are in imperial unless noted otherwise

CONSULTANTS:

PROJECT:

**KARSTEN RESIDENCE**  
1037 19 AVE SE  
CALGARY, AB  
LOT 19, BLOCK 5, PLAN 4040N

CLIENT:

**J. KARSTEN**  
308 - 320 24 AVE SW  
CALGARY, AB

DRAWING TITLE:

## GARAGE ELEVATIONS

ISSUED

| DATE       | DESCRIPTION               |
|------------|---------------------------|
| 2025/10/27 | ISSUED FOR DP             |
| 2025/12/22 | R1 - PRIOR TO DP DECISION |
| 2026/03/04 | R2 - PRIOR TO DP DECISION |
| 2026/03/25 | R3 - PRIOR TO DP DECISION |

PROJECT NUMBER: 2024-002

DRAWN BY: JK

DATE: 2025.10.27

SCALE: AS SHOWN

REVIEWED BY: JK

---

Jayda  
Karsten  
Drafting & Design

### A4.3