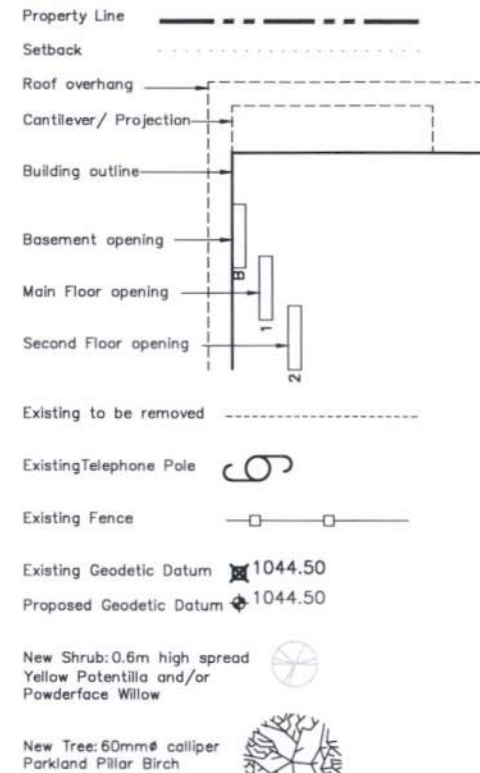


SHEET LIST:

- A1.0 SITE PLAN
A1.1 BLOCK PLAN
A2.0 STREET SCAPE
A3.0 GROUND FLOOR & MAIN FLOOR PLAN
A3.1 GARAGE FLOOR & ROOF PLAN
A3.2 SECOND FLOOR & ROOF PLAN
A4.0 FRONT (NORTH) & REAR (SOUTH) ELEV.
A4.1 RIGHT (WEST) ELEVATION
A4.2 LEFT (EAST) ELEVATION
A4.3 GARAGE ELEVATIONS

LEGEND



LUB 1P2007 Review:

22. "parcel coverage" means the cumulative building coverage of all buildings on a parcel excluding Accessory Residential Buildings which in aggregate are less than 10.0sqm. "building coverage" excludes: (e) decks, landings, uncovered stairs, and any external areas located below.
339.1. (Porch Area) is exempt from parcel coverage where:
(a)-(c) are met
339.2) Developed Area decks must not exceed:
(a) 1.5m above grade at any point, except where the deck is located on the same facade as the at-grade entrance to a walkout basement, and
(b) 0.3m above the main floor level of the closest main residential building on the parcel.

Permitted Uses:

- 526.(a) Accessory Residential Building
(b.1) Contextual Sing Detached Dwelling
(g) Secondary Suite

Density:

529. 2 units/0.02565ha= max. 75units/ha
534.(2)(d) Max. 60% for density of 60 units/ha or greater

Minimum Building Setbacks Req.:

	Proposed:
535. Max. Bldg. Depth 65% parcel depth	56.4%
537. Front Yard =	3.0m
538. Block Face =	N/A
539.(1) Side Yard =	1.2m
540.(2) Rear Yard =	1.2m

Building Height:

- 541.(1) Maximum building height 11.0m measured from grade
Provided: Average = 9.68m

Parking Stalls Required:

- 546.(2) 0.5/ unit x 2 units= 1 stall
Provided: 2 stalls

Landscaping:

- 542.(2) 1 tree + 3 shrubs/ 110.0sqm of parcel area
Provided: 2 trees +6 shrubs

Minimum Accessory Building Setback Req.:

- 345.(2) The minimum building setback for a side or rear setback may be reduced to zero when:
(b) constructed of maintenance-free materials and no overhang of eaves onto an adjacent parcel.
(6) The height must not exceed:
(a) 4.6m measured from the finished floor of the building

Site Information

Address: 1037 - 19TH AVENUE SE

Legal Description: Lot: 19, Block 5, Plan 4040N

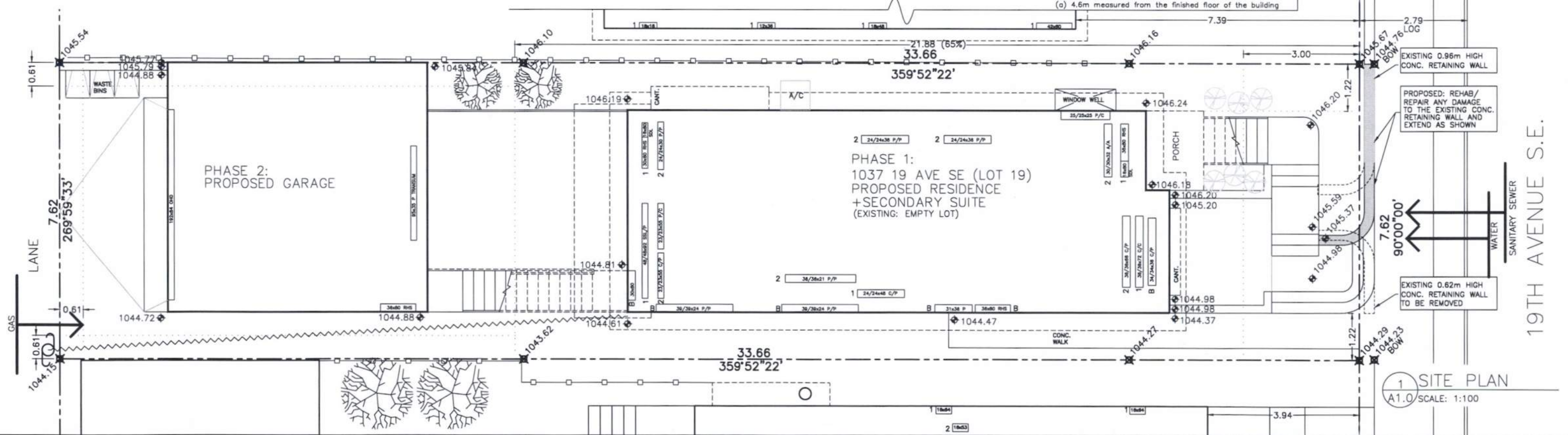
Land Use Designation: R-CG

Parcel Area: 256.5sqm (2,760.9sqft)

House Area: 71.4sqm (768.7sqft)

Garage Area: 42.9sqm (462.0sqft)

Parcel Coverage: Building Area(s)/Parcel Area
=114.3/256.5sqm =44.6%



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CONSULTANTS:

PROJECT:

1037 19 AVE SE
CALGARY, AB
LOT 19, BLOCK 5, PLAN 4040N

CLIENT:

J. KARSTEN
308 - 320 24 AVE SW
CALGARY, AB

DRAWING TITLE:

SITE PLAN

ISSUED

DATE	DESCRIPTION
2025/10/27	ISSUED FOR DP

PROJECT NUMBER: 2024-002

DRAWN BY: JK

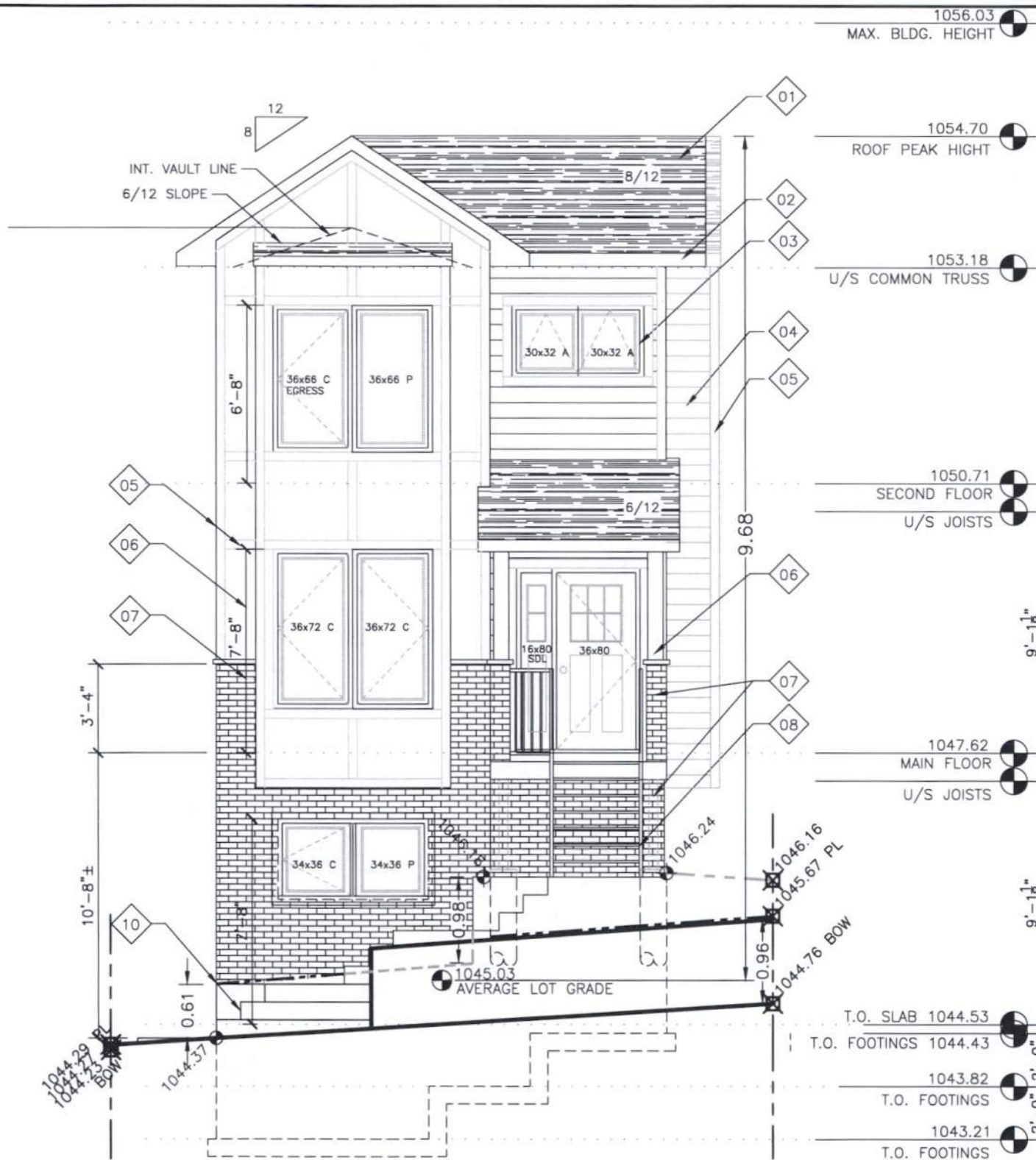
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SCALE: AS SHOWN

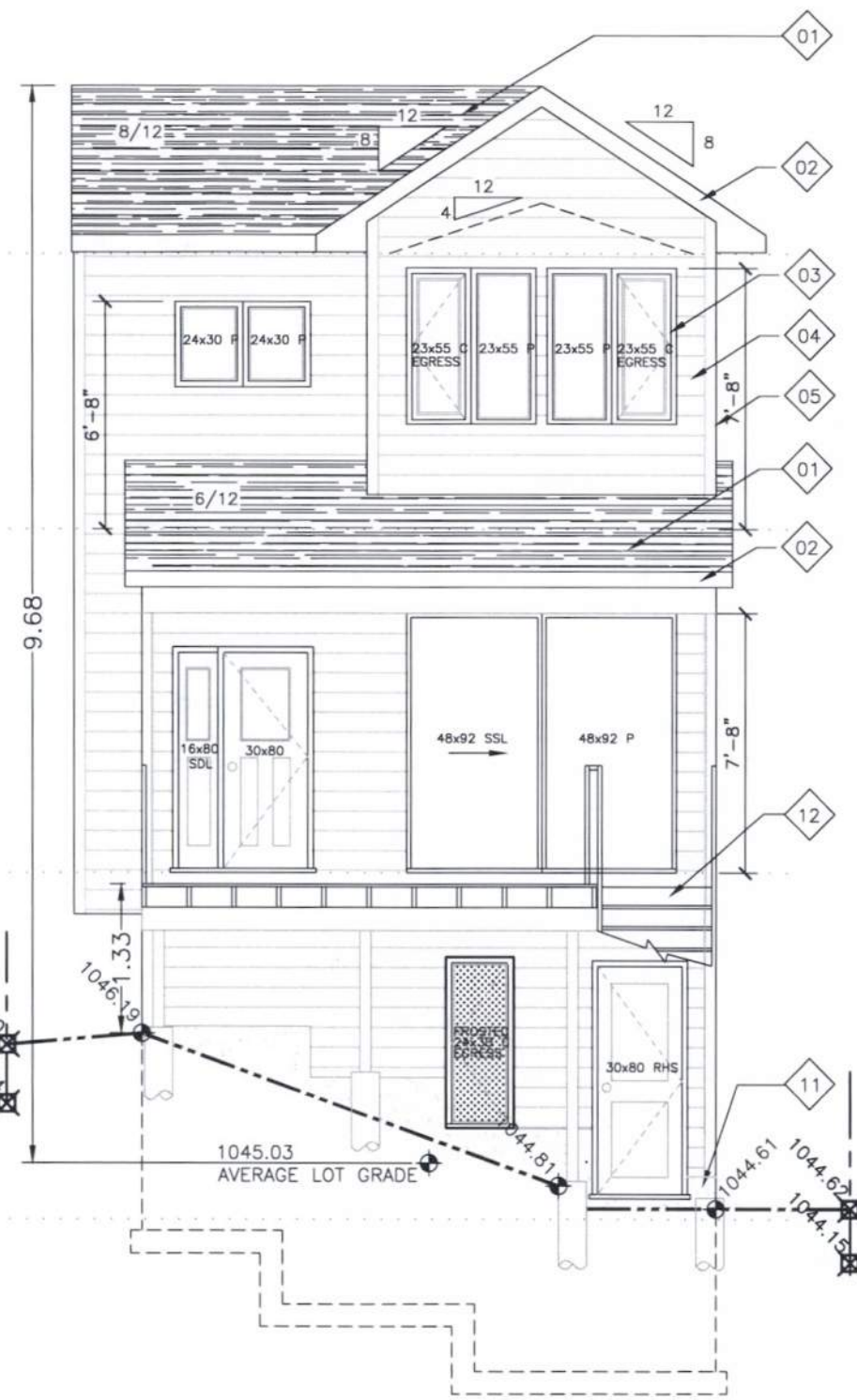
REVIEWED BY: JK

Jayda
Karsten
Drafting & Design

A1.0



1 FRONT ELEVATION (NORTH)
A4.0 SCALE: 3/16":1'-0"



2 REAR ELEVATION (SOUTH)
A4.0 SCALE: 3/16":1'-0"

FINISH SCHEDULE	
01	IKO ASPHALT SHINGLES - DOUBLE BLACK
02	PREFINISHED ALUMINUM FASCIA AND SOFFIT - BLACK
03	ALUMINUM CLAD PVC WINDOWS - BLACK
04	HARDIE BOARD 8.25" SIDING - PEARL GRAY: CEDARMILL TEXTURE
05	HARDIE BOARD TRIM - 3.5" ARCTIC WHITE: ROUGHSAWN TEXTURE
06	HARDIE PANEL - ARCTIC WHITE: SMOOTH TEXTURE
07	HEBRON BRICK VENEER - GARNET: SMOOTH
08	PREFINISHED METAL STAIRS, STRINGERS AND RAILINGS - BLACK
09	PREFINISHED METAL ROOF - GALVANIZED/GRAY
10	CONCRETE STEPS AND RETAINING WALL
11	CONCRETE PAVING
12	P.T. LEDGER BOARD C/W FLASHING

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1037 19 AVE SE
CALGARY, AB
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CLIENT:

J. KARSTEN
308 - 320 24 AVE SW
CALGARY, AB

DRAWING TITLE:
FRONT (NORTH) ELEVATION
REAR (SOUTH) ELEVATION

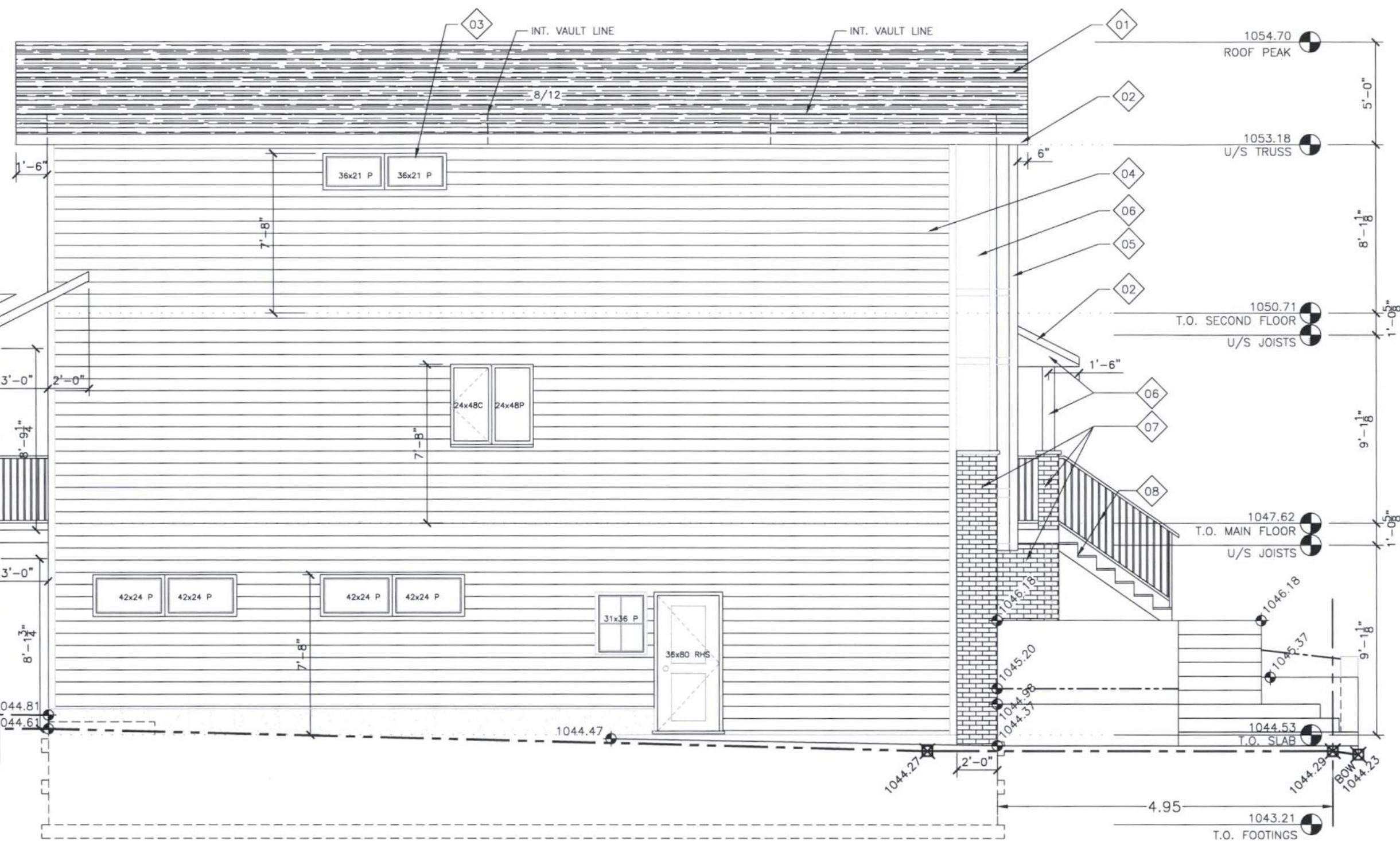
ISSUED	
DATE	DESCRIPTION
2025/10/27	ISSUED FOR DP

PROJECT NUMBER: 2024-002	
DRAWN BY:	JK
DATE:	2025.10.27
SCALE:	AS SHOWN
REVIEWED BY:	JK

A4.0

FINISH SCHEDULE

- 01 IKO ASPHALT SHINGLES – DOUBLE BLACK
- 02 PREFINISHED ALUMINUM FASCIA AND SOFFIT – BLACK
- 03 ALUMINUM CLAD PVC WINDOWS – BLACK
- 04 HARDIE BOARD 8.25" SIDING – PEARL GRAY: CEDARMILL TEXTURE
- 05 HARDIE BOARD TRIM – 3.5" ARCTIC WHITE: ROUGHSAWN TEXTURE
- 06 HARDIE PANEL – ARCTIC WHITE: SMOOTH TEXTURE
- 07 HEBRON BRICK VENEER – GARNET: SMOOTH
- 08 PREFINISHED METAL STAIRS, STRINGERS AND RAILINGS – BLACK
- 09 PREFINISHED METAL ROOF – GALVANIZED/GRAY
- 10 CONCRETE STEPS AND RETAINING WALL
- 11 CONCRETE PAVING
- 12 P.T. LEDGER BOARD C/W FLASHING



SPATIAL SEPARATION CALCULATION (HOUSE):
 L=46'-0" (14.02m) X H=28'-2" (8.59m)
 RATIO= 1.56:1 AREA: 1296sqft (120.43sqm)
 LIMITING DIST.=1.2m PERCENTAGE= 7%
 TOTAL ALLOWABLE UNPROTECTED OPENINGS=
 90.6sqft (8.43sqm)
 ACTUAL UNPROTECTED OPENINGS=
 84.22sqft (7.82sqm)

1 LEFT ELEVATION (EAST)
A4.1 SCALE: 3/16"=1'-0"

CONTINUED ON SHEET A4.3

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Drafting & Design

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CONSULTANTS

PROJECT

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CALGARY, AB
LOT 19, BLOCK 5, PLAN 4040N

CLIENT

J. KARSTEN
308 - 320 24 AVE SW
CALGARY, AB

DRAWING TITLE

LEFT (EAST) ELEVATION

ISSUED

DATE	DESCRIPTION
2025/10/27	ISSUED FOR I

PROJECT NUMBER: 2024-002

DRAWN BY: JN

DATE: 20

SCALE	AN
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REVIEWED BY: _____

REVIEWED BY: _____

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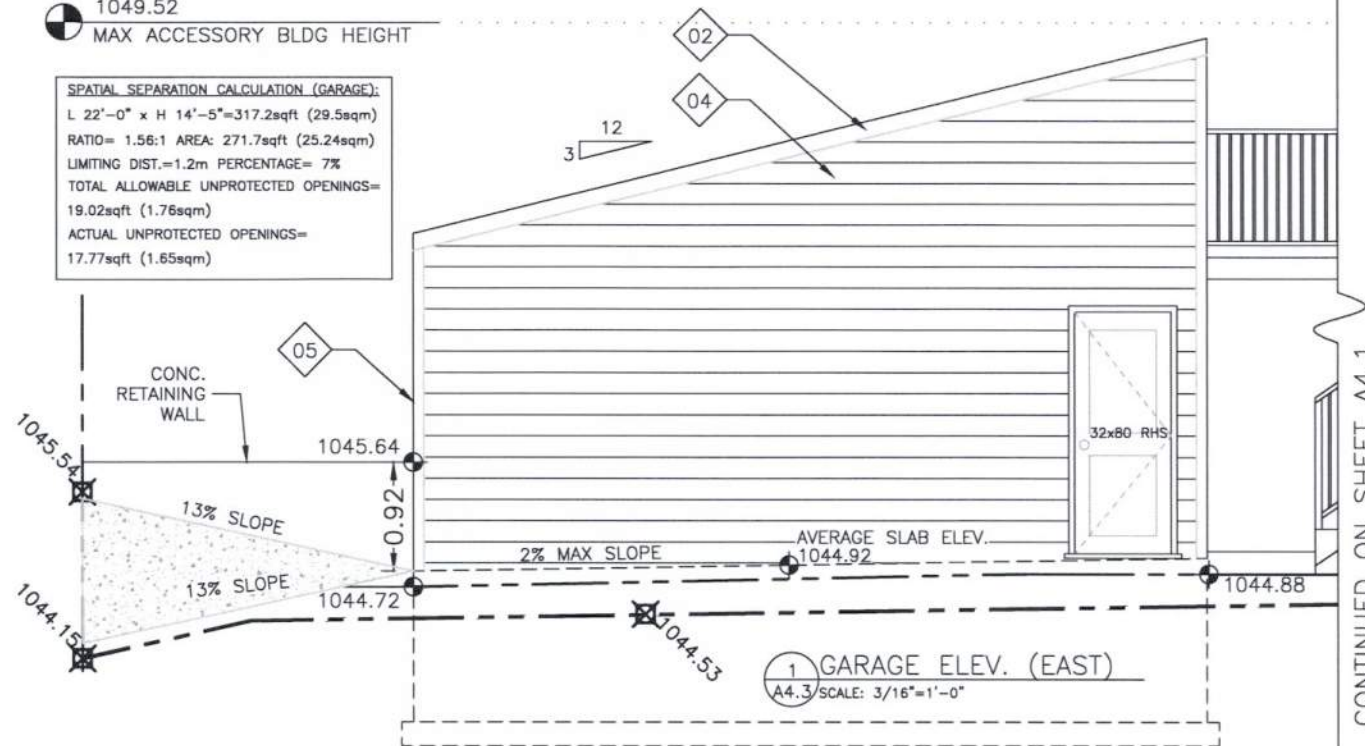
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A4.1

1049.52
MAX ACCESSORY BLDG HEIGHT

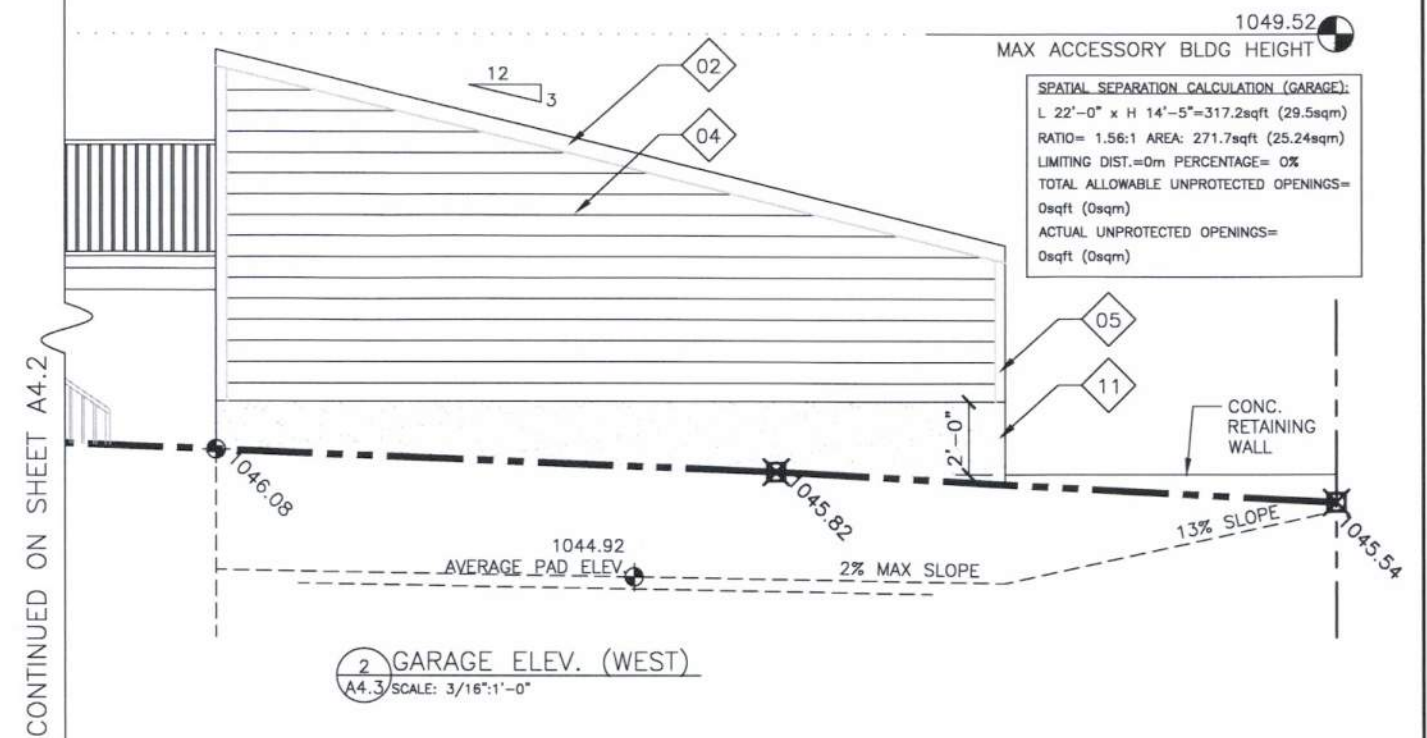
SPATIAL SEPARATION CALCULATION (GARAGE):
L 22'-0" x H 14'-5"=317.2sqft (29.5sqm)
RATIO= 1.56:1 AREA: 271.7sqft (25.24sqm)
LIMITING DIST.=1.2m PERCENTAGE= 7%
TOTAL ALLOWABLE UNPROTECTED OPENINGS=
19.02sqft (1.76sqm)
ACTUAL UNPROTECTED OPENINGS=
17.77sqft (1.65sqm)



1 GARAGE ELEV. (EAST)
A4.3 SCALE: 3/16"=1'-0"

1049.52
MAX ACCESSORY BLDG HEIGHT

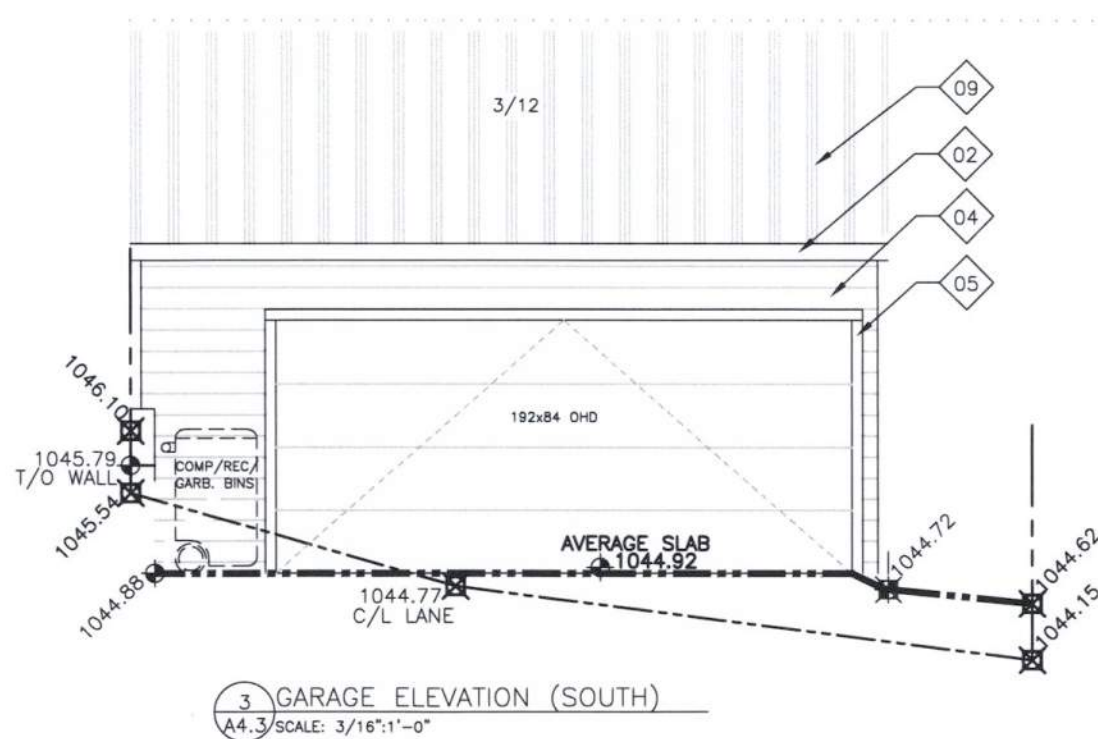
SPATIAL SEPARATION CALCULATION (GARAGE):
L 22'-0" x H 14'-5"=317.2sqft (29.5sqm)
RATIO= 1.56:1 AREA: 271.7sqft (25.24sqm)
LIMITING DIST.=0m PERCENTAGE= 0%
TOTAL ALLOWABLE UNPROTECTED OPENINGS=
0sqft (0sqm)
ACTUAL UNPROTECTED OPENINGS=
0sqft (0sqm)



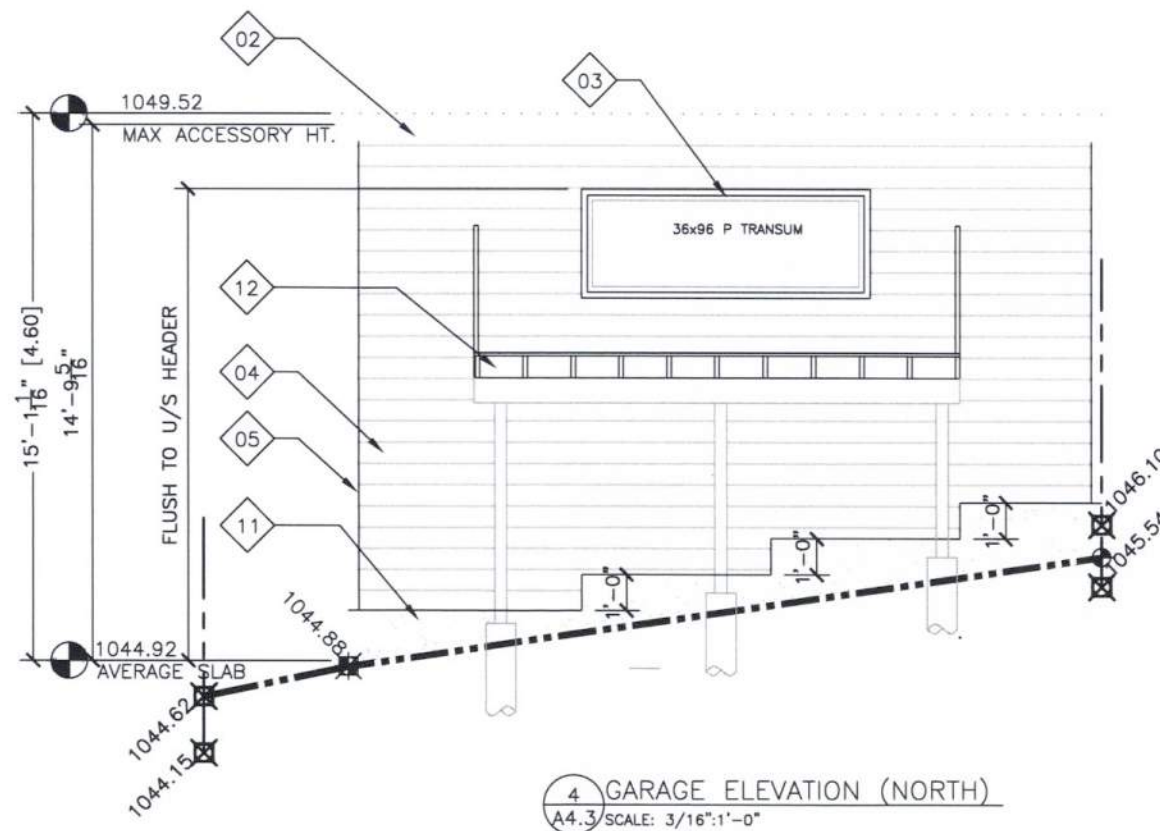
2 GARAGE ELEV. (WEST)
A4.3 SCALE: 3/16"=1'-0"

FINISH SCHEDULE

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3 GARAGE ELEVATION (SOUTH)
A4.3 SCALE: 3/16"=1'-0"



4 GARAGE ELEVATION (NORTH)
A4.3 SCALE: 3/16"=1'-0"

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J. KARSTEN
308 - 320 24 AVE SW
CALGARY, AB

DRAWING TITLE:

GARAGE ELEVATIONS

ISSUED

DATE DESCRIPTION
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DRAWN BY: JK

DATE: 2025.10.27

SCALE: AS SHOWN

REVIEWED BY: JK

A4.3