

**SIXPLEX DWELLING**  
**652 + 654 24TH AVENUE NW**  
**CALGARY, ALBERTA**

**ISSUED FOR DEVELOPMENT PERMIT**

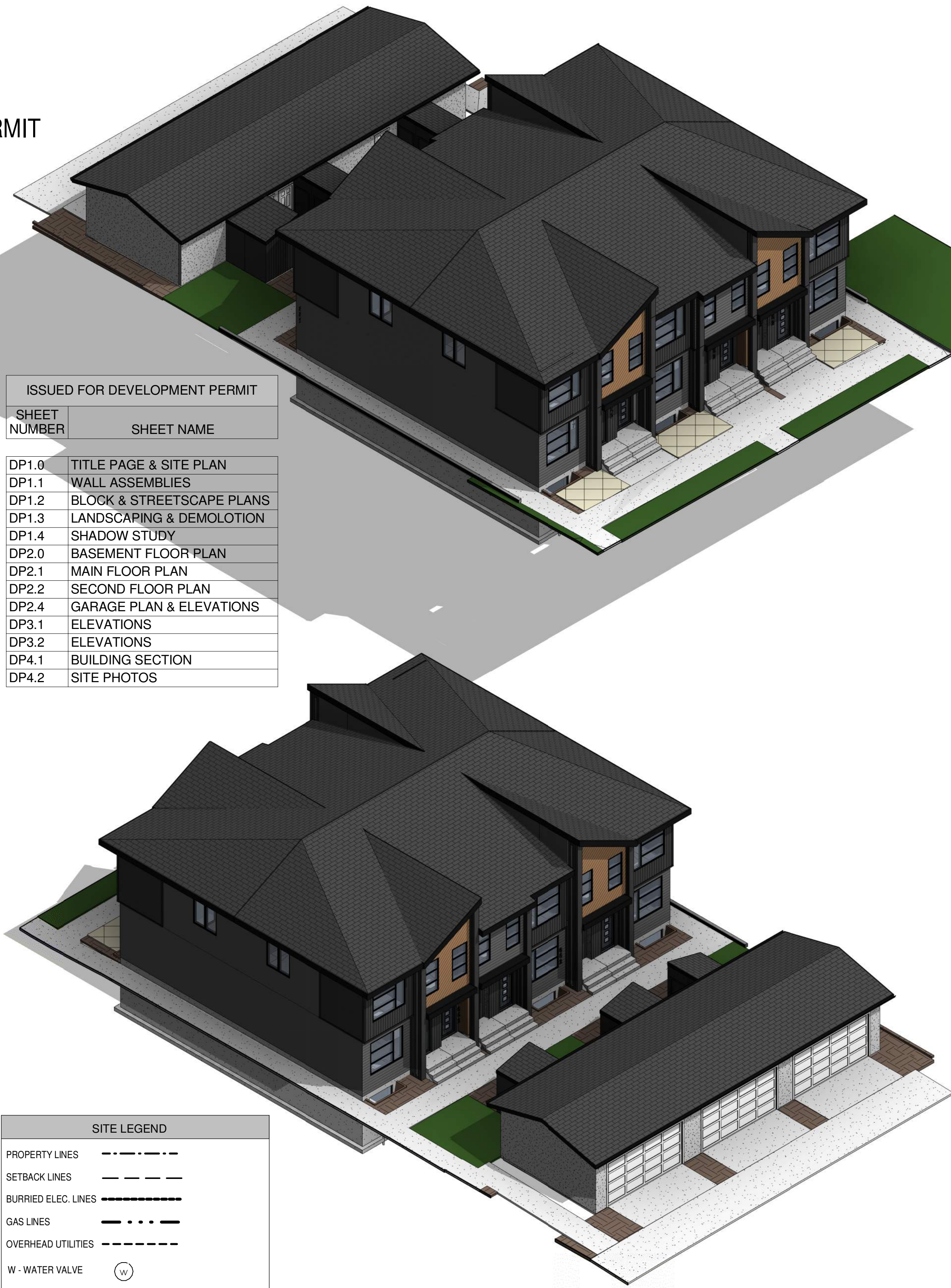
PROJECT STATISTICS	
<b>DEVELOPMENT DESCRIPTION</b>	
THE DEVELOPMENT AT 652 + 654 24TH AVE N.W. IS A GRADE ORIENTED (R-C-G) DISTRICT DEVELOPMENT, ACCESSORY RESIDENTIAL BUILDING (GARAGE)	
<b>MUNICIPAL ADDRESS</b>	
652 + 654 24TH AVE NW, CALGARY, AB	
<b>LEGAL ADDRESS</b>	
LOT 26 & 27, BLOCK 2, PLAN 3955R	

LAND USE BYLAW GUIDELINES	
<b>PARCEL COVERAGE</b>	
1392	
UNLESS OTHERWISE REFERENCED IN SUBSECTION (2), THE MAXIMUM CUMULATIVE BUILDING COVERAGE OVER ALL THE PARCELS SUBJECT TO A SINGLE DEVELOPMENT PERMIT CONTAINING ONE OR MORE DWELLINGS UNITS IS:	
D) 60.0 PER CENT OF THE AREA OF THE PARCELS SUBJECT TO A SINGLE DEVELOPMENT PERMIT FOR A DEVELOPMENT WITH A DENSITY OF 60 UNITS PER HECTARE OR GREATER.	
<b>DWELLINGS, ACCESSORY BUILDING, CANT FLOORS</b>	
464.0 SQ.M.	
LOT AREA	
845.5 SQ.M.	
<b>LOT COVERAGE</b>	
55%	
<b>BUILDING HEIGHT</b>	
1399	
UNLESS OTHERWISE REFERENCED IN SUBSECTIONS (2), THE MAXIMUM BUILDING HEIGHT IS 12.0 METRES MEASURED FROM GRADE.	
(2) WHERE A BUILDING SETBACK IS REQUIRED FROM A PROPERTY LINE SHARED WITH ANOTHER PARCEL DESIGNATED WITH A LOW DENSITY RESIDENTIAL DISTRICT, H-GO OR THE M-CG DISTRICT, THE MAXIMUM BUILDING HEIGHT:	
A) IS THE GREATER OF:	
I) THE HIGHEST GEODETIC ELEVATION OF A MAIN RESIDENTIAL BUILDING ON THE ADJOINING PARCEL; OR	
II) 8.0 METRES FROM GRADE;	
MEASURED AT THE SHARED PROPERTY LINE; AND	
B) INCREASES AT A 45 DEGREE ANGLE TO A MAXIMUM OF 12.0 METRES MEASURED FROM GRADE.	
<b>PROVIDED 11.5M</b>	
<b>PLANTING REQUIREMENTS</b>	
1404	
(1) TREES REQUIRED BY THIS SECTION:	
A) MAY BE PROVIDED THROUGH THE PLANTING OF NEW TREES OR THE PRESERVATION OF EXISTING TREES; AND	
B) WHERE APPROVED BY THE DEVELOPMENT AUTHORITY, MAY BE PROVIDED ON A BOULEVARD ADJACENT TO THE PARCEL.	
(2) A MINIMUM OF 1.0 TREE AND 3.0 SHRUBS MUST BE PROVIDED FOR EACH 110.0 SQUARE METERS OF PARCEL AREA.	
<b>MOTOR VEHICLE PARKING STALLS</b>	
1411	
THE MINIMUM NUMBER OF MOTOR VEHICLE PARKING STALLS IS CALCULATED BASED ON THE SUM OF ALL UNITS AND SUITES AT A RATE OF 0.5 STALLS PER UNIT OR SUITE	
<b>PROVIDED 6</b>	
<b>REQUIRED 6</b>	
<b>MOBILITY STORAGE</b>	
1412	
THE MINIMUM NUMBER OF MOBILITY STORAGE LOCKERS IS CALCULATED BASED ON THE SUM OF ALL UNITS AND SUITES AT A RATE OF 0.5 LOCKERS PER UNIT OR SUITE WHERE A UNIT OR SUITE IS NOT PROVIDED A MOTOR VEHICLE PARKING STALL LOCATED IN A PRIVATE GARAGE.	
<b>PROVIDED 2</b>	
<b>REQUIRED 0</b>	
<b>BICYCLE PARKING STALLS</b>	
1413	
THE MINIMUM NUMBER OF BICYCLE PARKING STALLS - CLASS 1 IS CALCULATED BASED ON THE SUM OF ALL UNITS AND SUITES AT A RATE OF 1.0 STALL PER UNIT OR SUITE WHERE A UNIT OR SUITE IS NOT PROVIDED A MOTOR VEHICLE PARKING STALL LOCATED IN A PRIVATE GARAGE OR MOBILITY STORAGE LOCKER.	
<b>PROVIDE 6</b>	
<b>REQUIRED 6</b>	

ISSUED FOR DEVELOPMENT PERMIT	
SHEET NUMBER	SHEET NAME
DP1.0	TITLE PAGE & SITE PLAN
DP1.1	WALL ASSEMBLIES
DP1.2	BLOCK & STREETSCAPE PLANS
DP1.3	LANDSCAPING & DEMOLITION
DP1.4	SHADOW STUDY
DP2.0	BASEMENT FLOOR PLAN
DP2.1	MAIN FLOOR PLAN
DP2.2	SECOND FLOOR PLAN
DP2.4	GARAGE PLAN & ELEVATIONS
DP3.1	ELEVATIONS
DP3.2	ELEVATIONS
DP4.1	BUILDING SECTION
DP4.2	SITE PHOTOS

SITE LEGEND	
PROPERTY LINES	---
SETBACK LINES	---
BURIED ELEC. LINES	---
GAS LINES	---
OVERHEAD UTILITIES	---
W - WATER VALVE	(W)
B.O.C. - BACK OF CURB	---
B.O.W. - BACK OF WALK	---
L.O.G. - LIP OF GUTTER	---
EXTERIOR OPENINGS	→
EXISTING FENCE	.....
RETAINING WALL	---
ROOF LINE ABOVE	---
F.H. - FIRE HYDRANT	⊗
P.P. - POWER POLE	⊙
EXISTING GRADE	(xx.xx)
PROPOSED GRADE	(xx.xx)
EXISTING SIDEWALK (TO BE REMOVED)	---
CONC. SIDEWALK / LANE (BROOM FINISH)	---
AREAS OF NON-COMBUSTIBLE SOFFIT	---

LANDSCAPE PLAN LEGEND	
1	CONCRETE WALKWAY (HARDSCAPING)
2	GRASS SPECIES DROUGHT TOLERANT SOD (SOFTSCAPING)
3	BARK MULCH BEDDING (SOFTSCAPING)
4	PERMIABLE PAVERS (SOFTSCAPING)
A	CAST-IN-PLACE CONCRETE STEPS / LANDING
B	VERTICAL WOOD SCREENING COLOUR: DARK GREY
---	BOUNDARY OF TREE PROTECTION
---	BOUNDARY OF LIMITING DISTANCE
---	CONCRETE RETAINING WALL
---	LOCATION OF 2ND FLOOR WINDOWS



CLIENT

GOALDEX BUILDERS  
MANAGE DESIGN CONSTRUCT

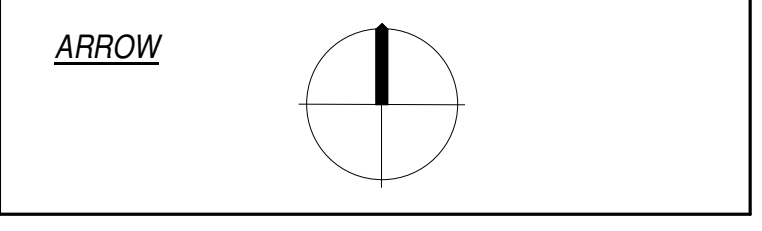
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2	2025-11-06	ISSUED FOR REVISED DP
3	2025-12-22	ISSUED FOR REVISED DP

**PROJECT TITLE / LEGAL ADDRESS**

652 + 654 24 AVENUE NW

CALGARY, AB

**PROPERTY ADDRESS**

LOT 26 AND 27, BLOCK 2, PLAN 3955R

**DRAWING TITLE**

TITLE PAGE & SITE PLAN

SCALE: As indicated

DRAWING BY: ST

REVIEWED BY:

PROJECT #: #

DATE: 2025-12-22

RE ISSUE #: SHEET #:

**DP1.0**

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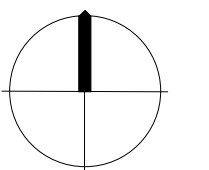
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DRAWING TITLE

BLOCK & STREETScape PLANS

SCALE: As indicated

DRAWING BY: ST

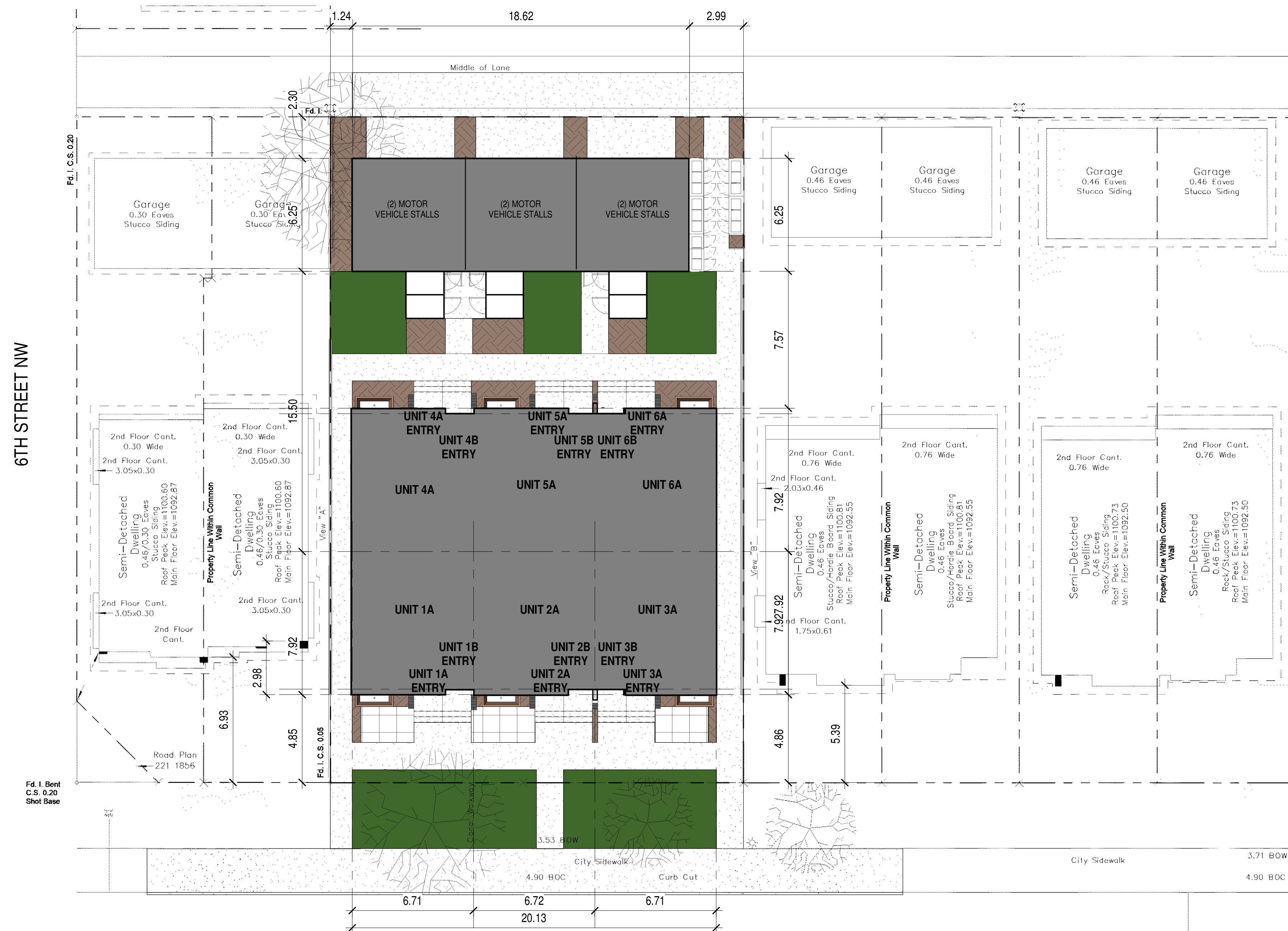
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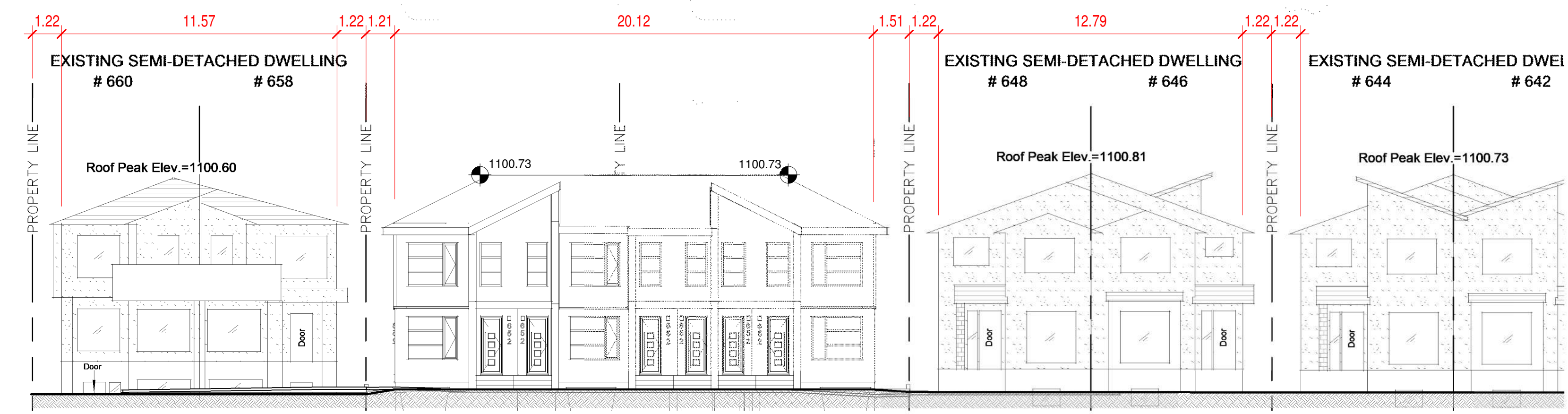
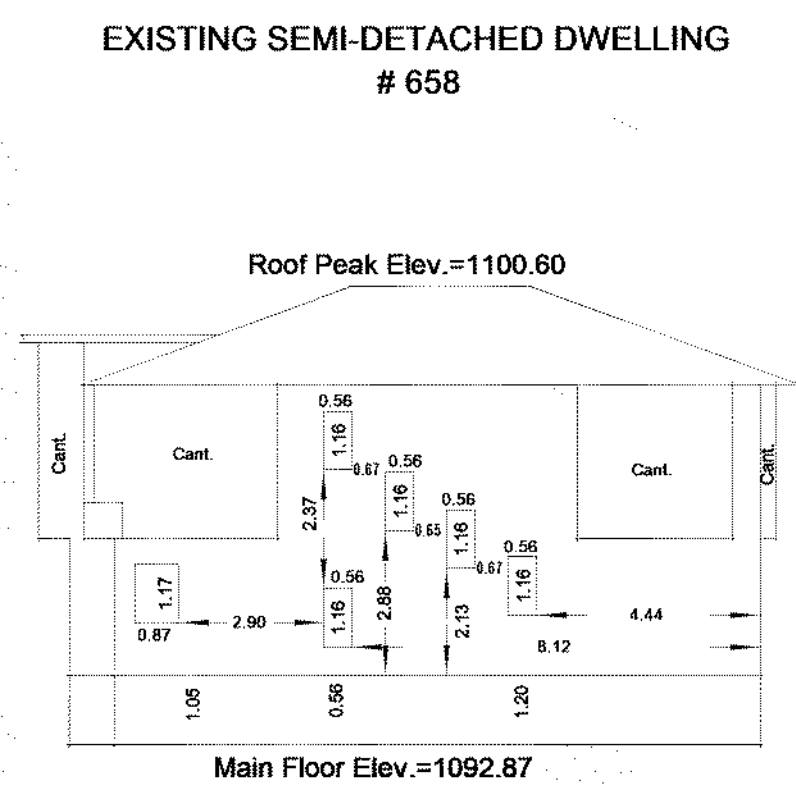
DATE: 2025-12-22

RE ISSUE #: SHEET #:

DP1.2



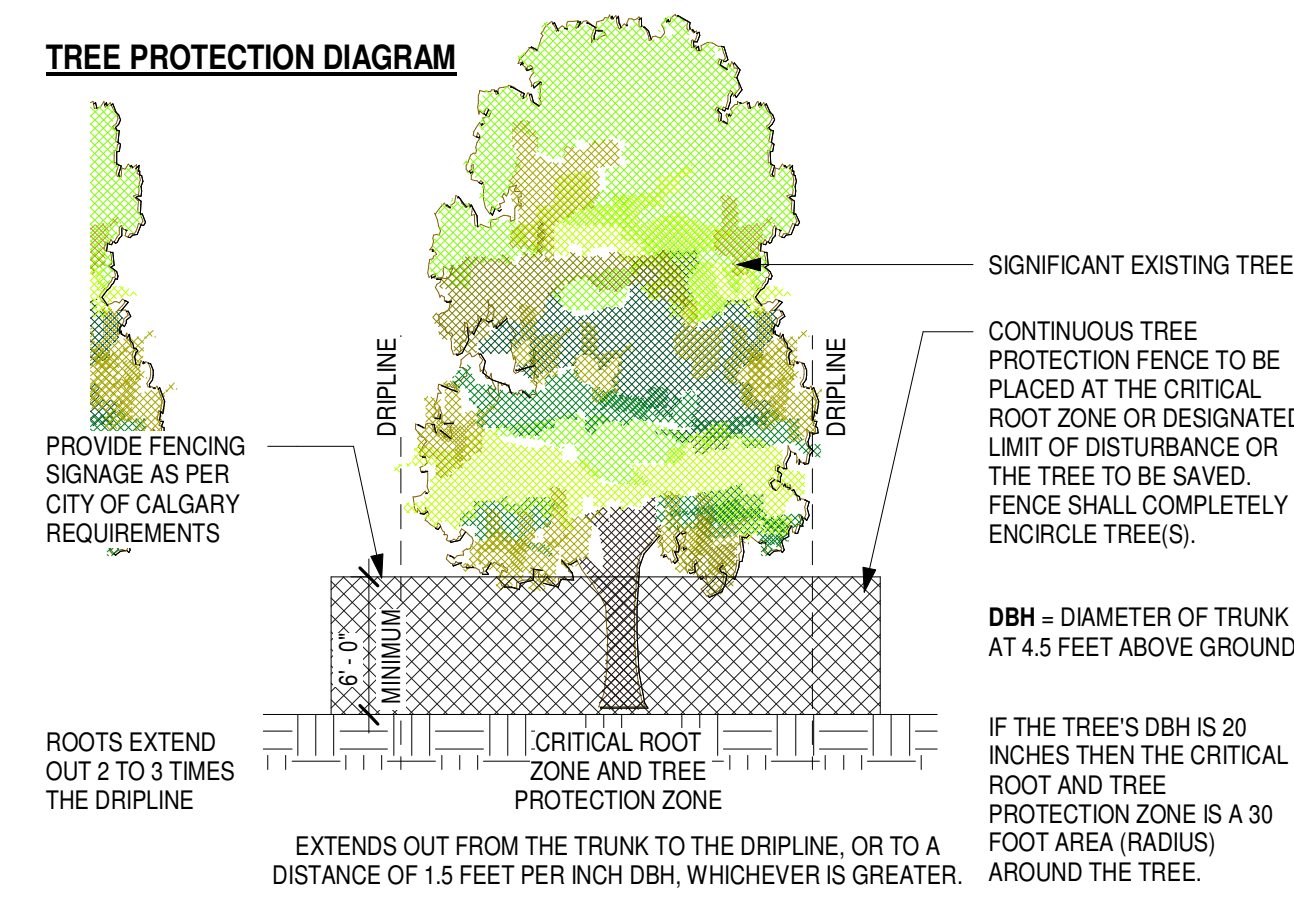
1 BLOCK PLAN  
DP1.2 1:150



3 STREETScape ELEVATION  
DP1.2 1:150

NEW TREE DATA LEGEND					
TREE	TREE TYPE	TRUNK DIA	CANOPY	HEIGHT	STATUS
1	BUSH	...	5.00	7.00	REMAIN
2	DECIDUOUS	0.30	8.00	12.00	REMAIN
3	DECIDUOUS	0.30	8.00	12.00	REMAIN
4	BUSH	...	3.00	5.00	REMOVED
5	DECIDUOUS	0.20	7.00	12.00	REMOVED
6	DECIDUOUS	0.10	2.50	10.00	REMOVED
7	BUSH	...	1.50	2.50	REMOVED
8	BUSH	...	2.00	3.00	REMOVED
9	BUSH	...	1.90	3.00	REMOVED
10	DECIDUOUS	0.70	8.00	7.00	REMAIN
11	BUSH	...	2.00	2.00	REMOVED
12	BUSH	...	3.50	3.00	REMOVED
13	BUSH	...	6.00	6.00	REMOVED
14	BUSH	...	1.50	2.00	REMOVED
15	CONIFEROUS	0.75	7.00	15.00	REMOVED
16	BUSH	...	2.50	2.00	REMOVED
17	DECIDUOUS	0.35	5.00	6.00	REMAIN
18	DECIDUOUS	0.70	5.00	6.00	REMAIN

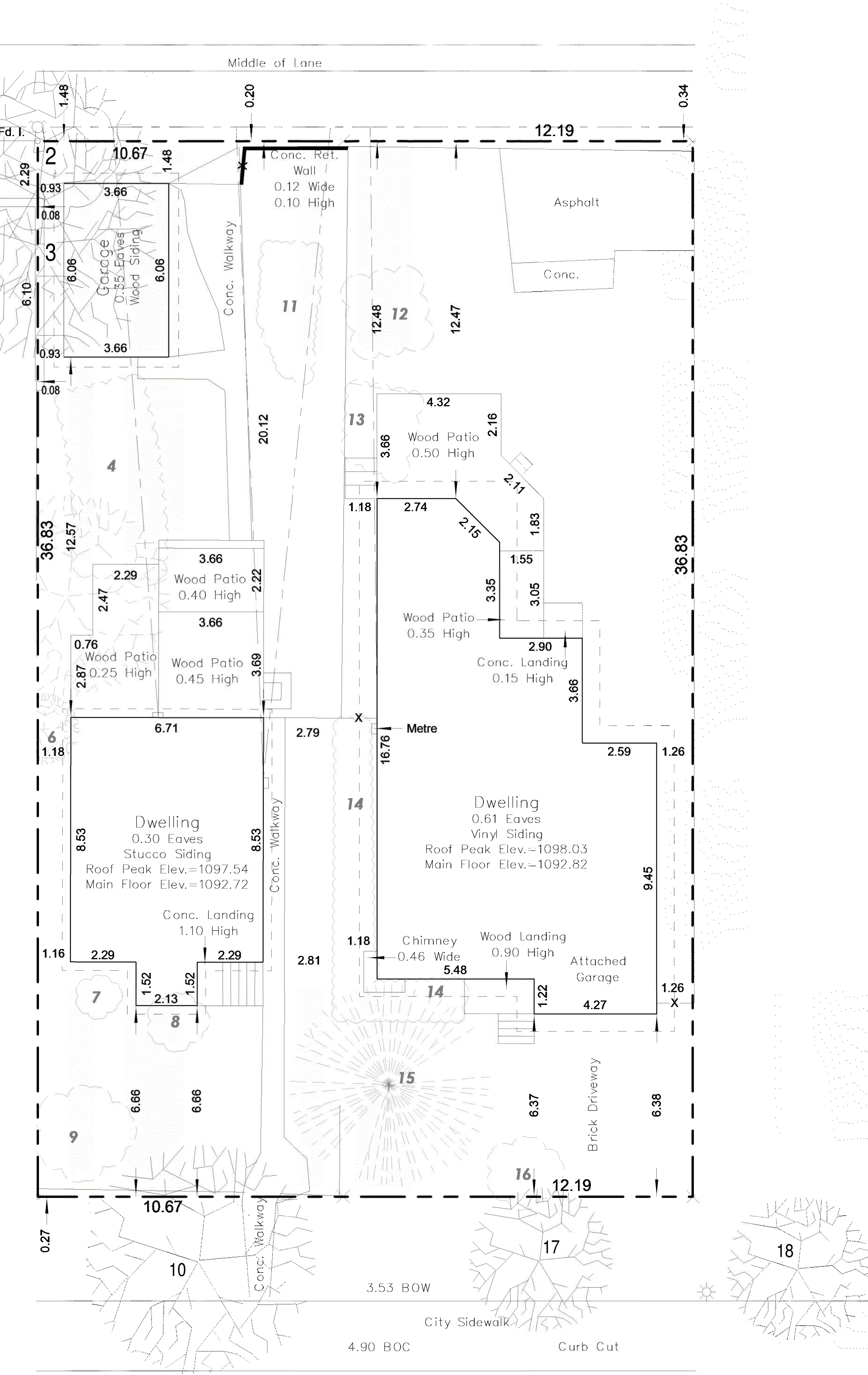
NEW TREE DATA LEGEND			
TREE	TREE TYPE	HEIGHT	STATUS
19	PRINCESS KAY PLUM	4.00	NEW
20	BOXWOOD BUSH	1.00	NEW
21	SPIREA / BRIDLEWREATH	1.00	NEW
22	SPIREA / GOLD FLAME	1.00	NEW
23	BOXWOOD BUSH	1.00	NEW
24	BOXWOOD BUSH	1.00	NEW
25	SPIREA / BRIDLEWREATH	1.00	NEW
26	SPIREA / GOLD FLAME	1.00	NEW
27	BOXWOOD BUSH	1.00	NEW
28	SPIREA / BRIDLEWREATH	1.00	NEW
29	SPIREA / GOLD FLAME	1.00	NEW
30	PRINCESS KAY PLUM	4.00	NEW
31	SPIREA / BRIDLEWREATH	1.00	NEW
32	PRINCESS KAY PLUM	4.00	NEW
33	SPIREA / BRIDLEWREATH	1.00	NEW
34	BOXWOOD BUSH	1.00	NEW
35	SPIREA / GOLD FLAME	1.00	NEW
36	SPIREA / BRIDLEWREATH	1.00	NEW
37	SPIREA / GOLD FLAME	1.00	NEW
38	BOXWOOD BUSH	1.00	NEW
39	PRINCESS KAY PLUM	4.00	NEW
40	PRINCESS KAY PLUM	4.00	NEW
41	BOXWOOD BUSH	1.00	NEW
42	SPIREA / BRIDLEWREATH	1.00	NEW
43	BOXWOOD BUSH	1.00	NEW
44	SPIREA / GOLD FLAME	1.00	NEW
45	SPIREA / BRIDLEWREATH	1.00	NEW
46	SPIREA / GOLD FLAME	1.00	NEW
47	BOXWOOD BUSH	1.00	NEW
48	PRINCESS KAY PLUM	4.00	NEW
49	PRINCESS KAY PLUM	4.00	NEW
50	BOXWOOD BUSH	1.00	NEW
51	SPIREA / BRIDLEWREATH	1.00	NEW
52	BOXWOOD BUSH	1.00	NEW
53	SPIREA / GOLD FLAME	1.00	NEW
54	SPIREA / BRIDLEWREATH	1.00	NEW
55	SPIREA / GOLD FLAME	1.00	NEW
56	BOXWOOD BUSH	1.00	NEW
57	PRINCESS KAY PLUM	4.00	NEW



**1 LANDSCAPE PLAN**  
1/8" = 1'-0"

**LANDSCAPE PLAN LEGEND**

1	CONCRETE WALKWAY (HARDSCAPING)	—	BOUNDARY OF TREE PROTECTION
2	GRASS SPECIES DROUGHT TOLERANT SOD (SOFTSCAPING)	—	BOUNDARY OF LIMITING DISTANCE
3	BARK MULCH BEDDING (SOFTSCAPING)	—	CONCRETE RETAINING WALL
4	PERMEABLE PAVERS (SOFTSCAPING)	—	LOCATION OF 2ND FLOOR WINDOWS
A	CAST-IN-PLACE CONCRETE STEPS / LANDING	B	VERTICAL WOOD SCREENING COLOUR: DARK GREY



**2 EXISTING PLOT PLAN**  
1/8" = 1'-0"

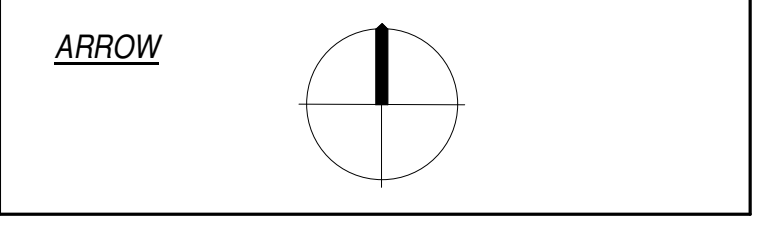
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MANAGE DESIGN CONSTRUCT

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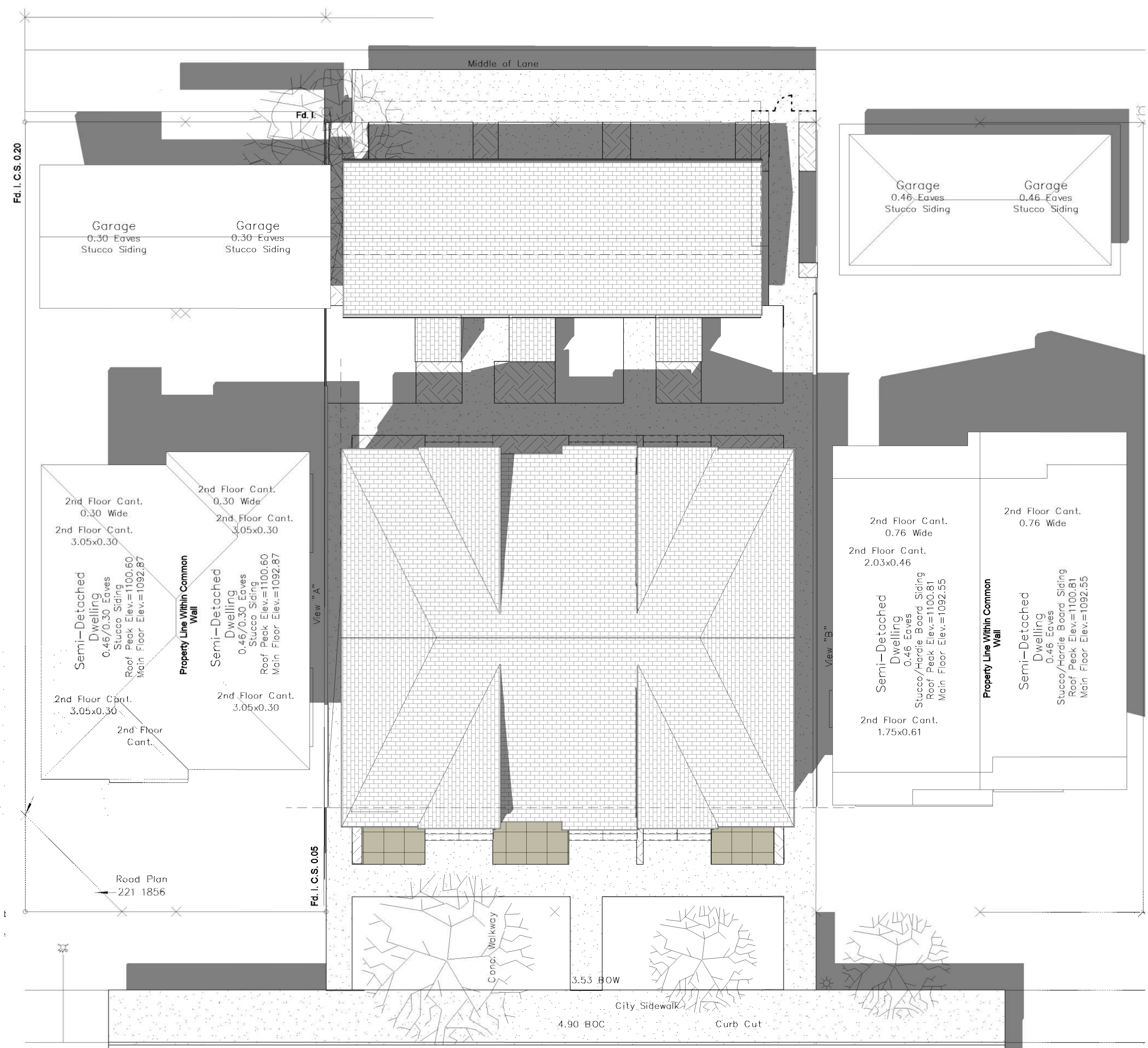
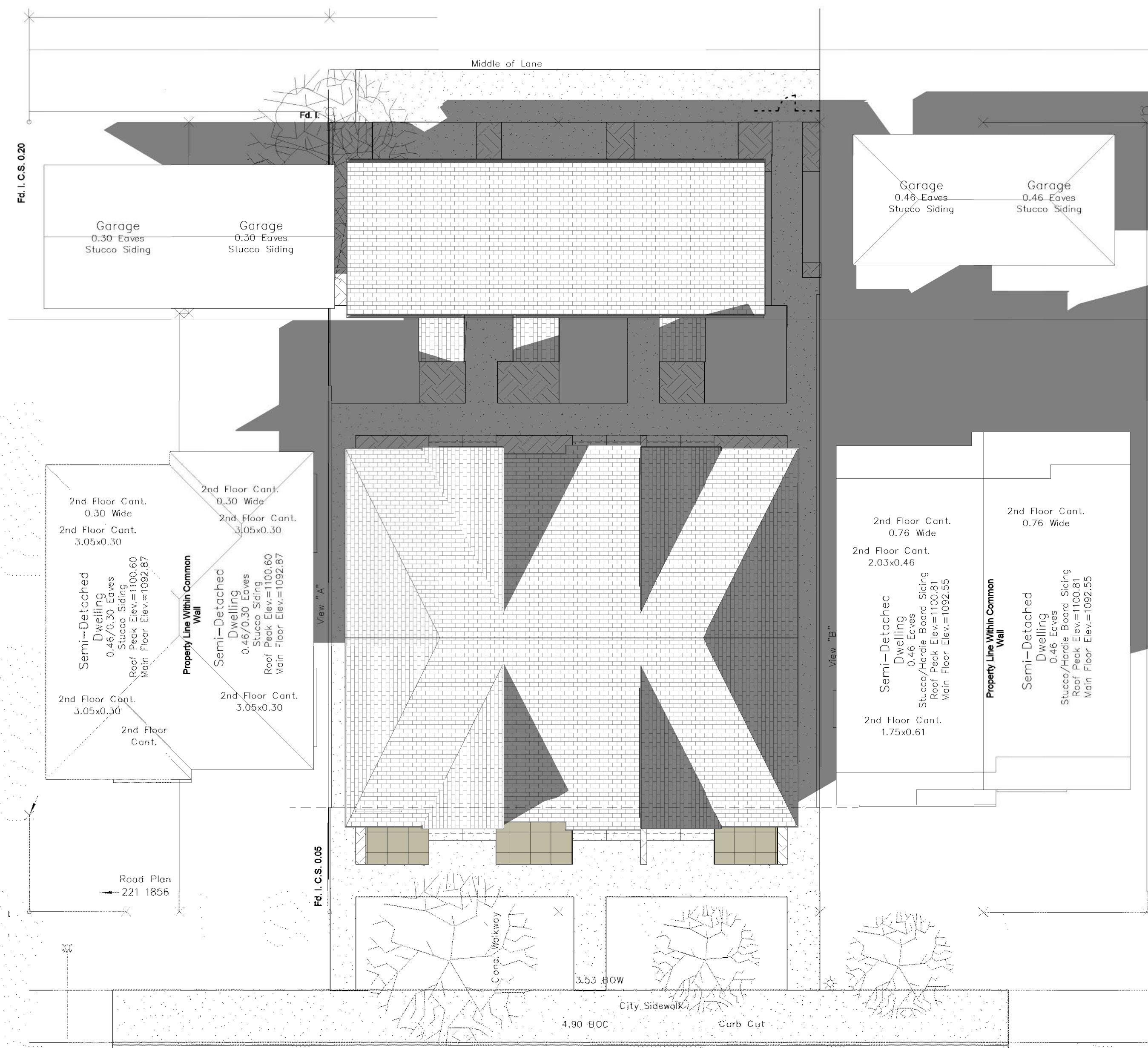
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652 + 654 24 AVENUE NW  
CALGARY, AB

PROPERTY ADDRESS  
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DRAWING TITLE  
LANDSCAPING & DEMOLITION

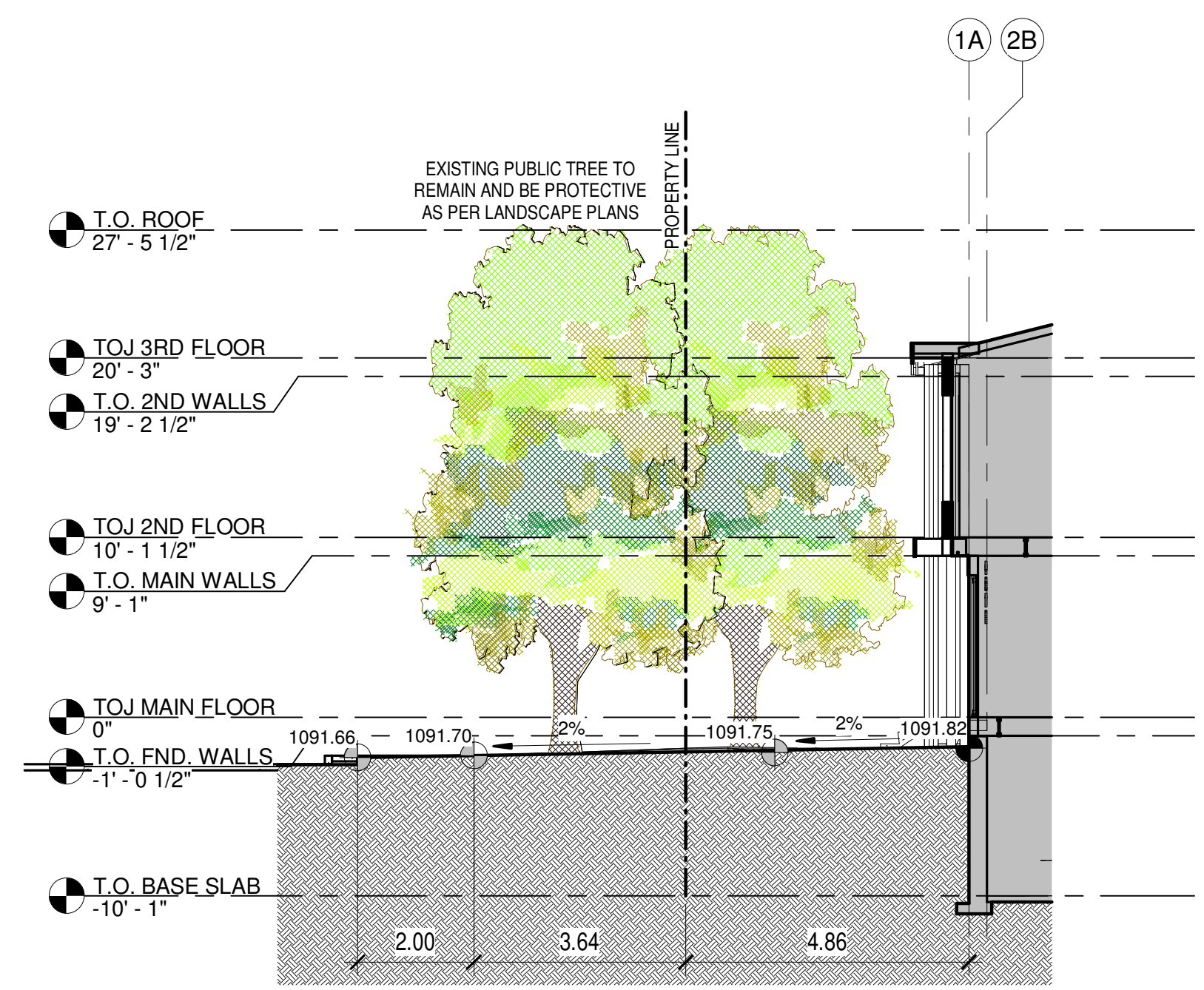
SCALE: As indicated  
DRAWING BY: ST  
REVIEWED BY:  
PROJECT #: #  
DATE: 2025-12-22

RE ISSUE #: SHEET #:  
**DP1.3**

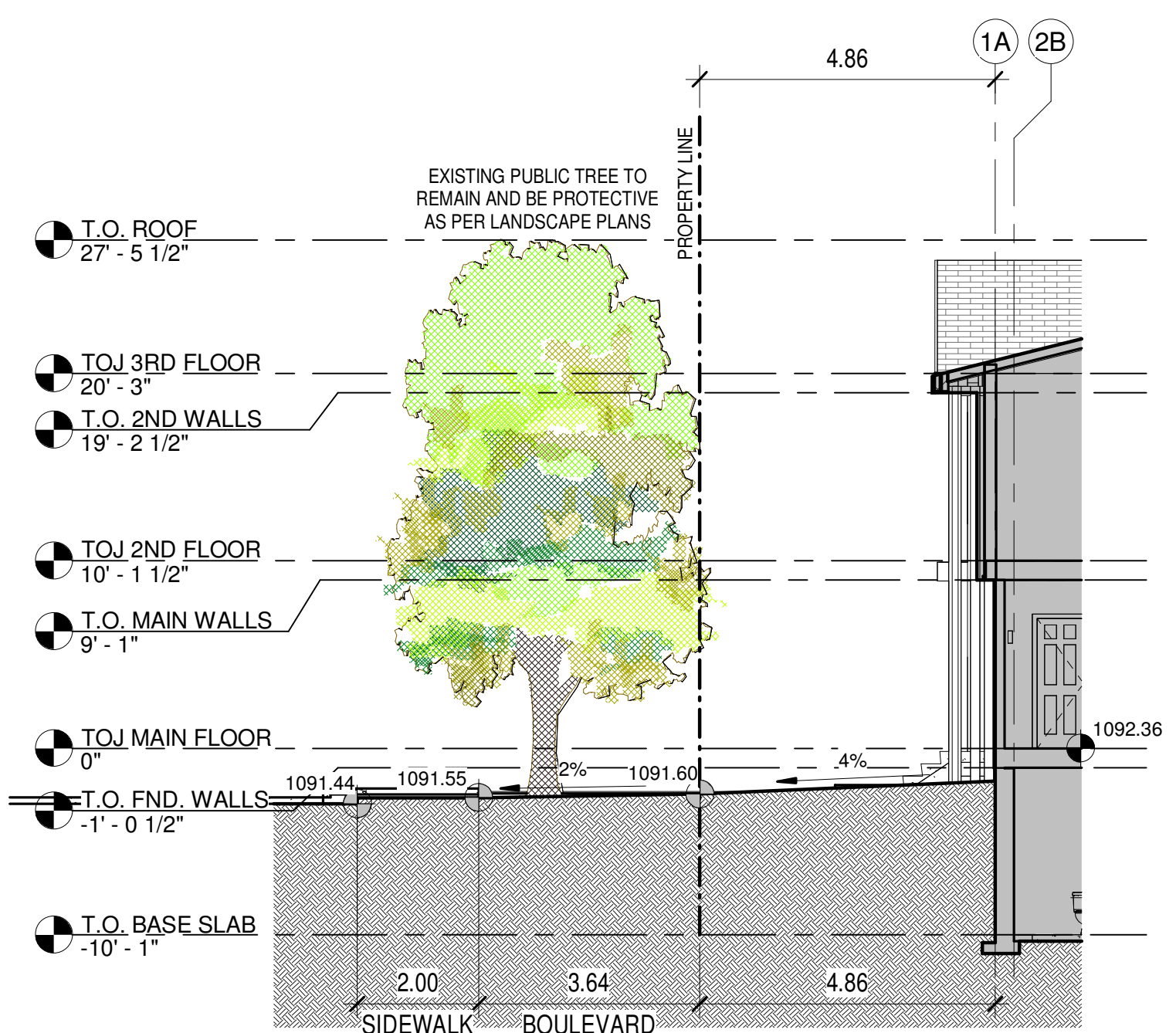


1 SHADOW STUDY - JULY @ 10AM 24 AVENUE N.W.  
DP1.4 1:150

2 SHADOW STUDY - JULY @ 2PM 24 AVENUE N.W.  
DP1.4 1:150

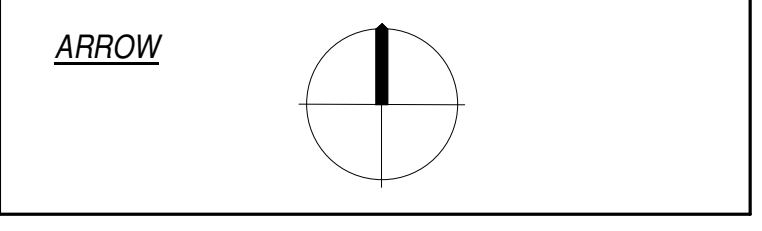


4 SITE CROSS SECTION  
DP1.4 1/8" = 1'-0"



3 SITE CROSS-SECTION  
DP1.4 1/8" = 1'-0"

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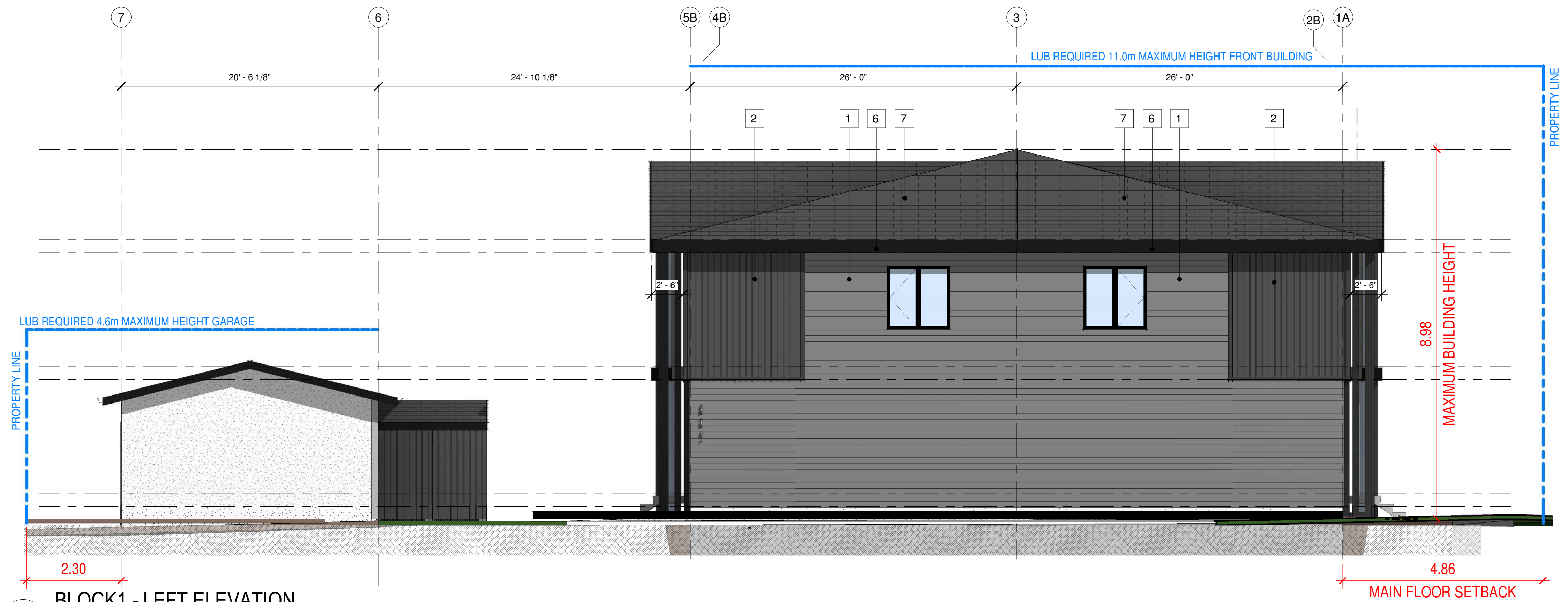
DRAWING TITLE  
SHADOW STUDY

SCALE: As indicated  
DRAWING BY: ST  
REVIEWED BY:  
PROJECT #: #  
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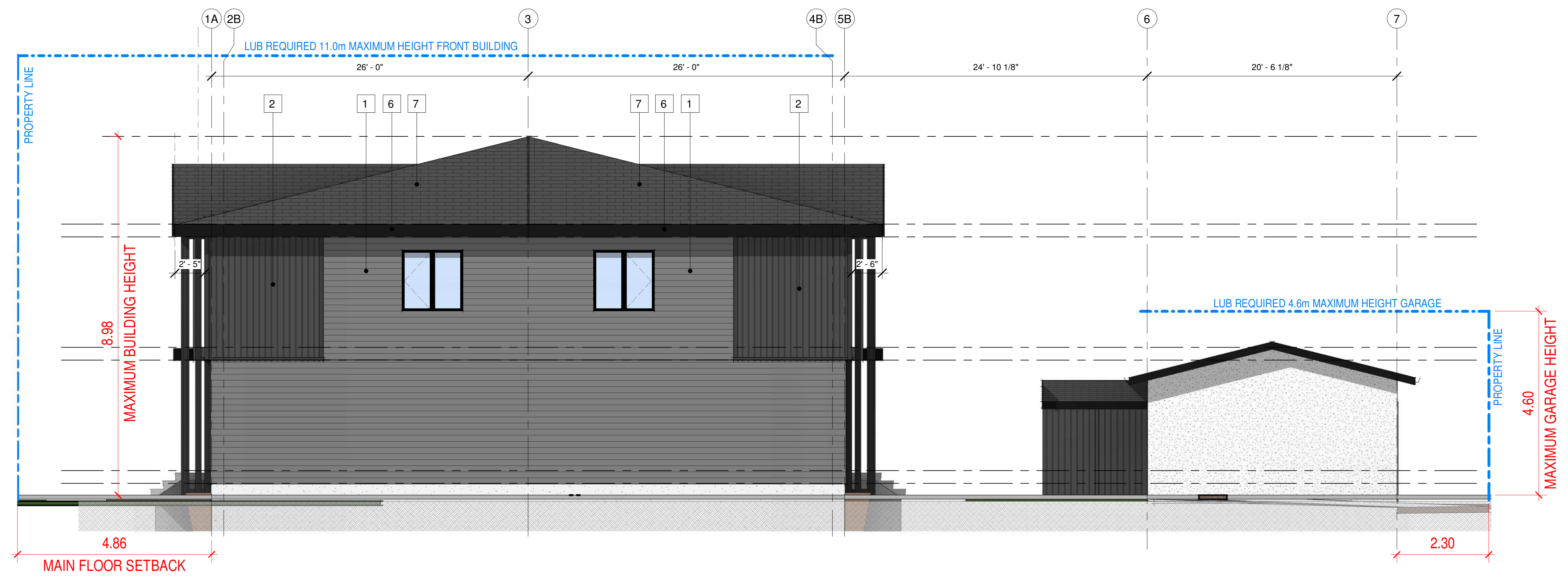
RE ISSUE #: SHEET #:  
**DP1.4**







**1**  
BLOCK1 - LEFT ELEVATION  
DP3.2 3/16" = 1'-0"



**2**  
BLOCK1 - RIGHT ELEVATION  
DP3.2 3/16" = 1'-0"

MATERIAL LIST					
1	MATERIAL: FISHERCOATING ARTISAN WOOD GRAIN FIBRE CEMENT CLADDING COLOUR: CEDAR / INSTALLED 45 DEGREE	5	MATERIAL: FIBRE CEMENT TRIM BOARD COLOUR: BLACK	9	MATERIAL: CONCRETE PAVING NOTES: ON ALL EXPOSED FOUN.
2	MATERIAL: FISHERCOATING TRUEGRAIN SHOU SUGI VAN / INSTALLED VERTICALLY	6	MATERIAL: PREFINISHED METAL FASCIA COLOUR: BLACK	10	MATERIAL: ALUMINIUM RAILING w/ GLASS INSERTS COLOUR: BLACK
3A 3B	MATERIAL: ACRYLIC STUCCO COLOUR: 3A WHITE / 3B BLACK	7	MATERIAL: ASPHALT SHINGLES COLOUR: T.B.D.	11	MATERIAL: WINDOW WELL TYPE: CEDAR / STAINED
4	MATERIAL: CEDAR VERTICAL WOOD SCREENING COLOUR: STAINED	8	MATERIAL: P.V.C. WINDOWS COLOUR: BLACK NOTES: REFER TO ELEV FOR EGRESS	12	MATERIAL: ENTRY DOOR TYPE: PVC - BLACK

CLIENT  
**STANDCORE GROUP**

STATUS

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DRAWING TITLE  
**ELEVATIONS**

SCALE: 3/16" = 1'-0"  
DRAWING BY: ST  
REVIEWED BY:  
PROJECT #: #  
DATE: 2025-12-22

RE ISSUE #: SHEET #:  
**DP3.2**