

# DEVELOPMENT PERMIT SET

## MARDA LOOP, CALGARY ALBERTA

### ARTISTIC RENDERINGS

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 BE-VOK Ltd

Project:  
2240 30 AVE SW

Drawing Title:  
COVER PAGE

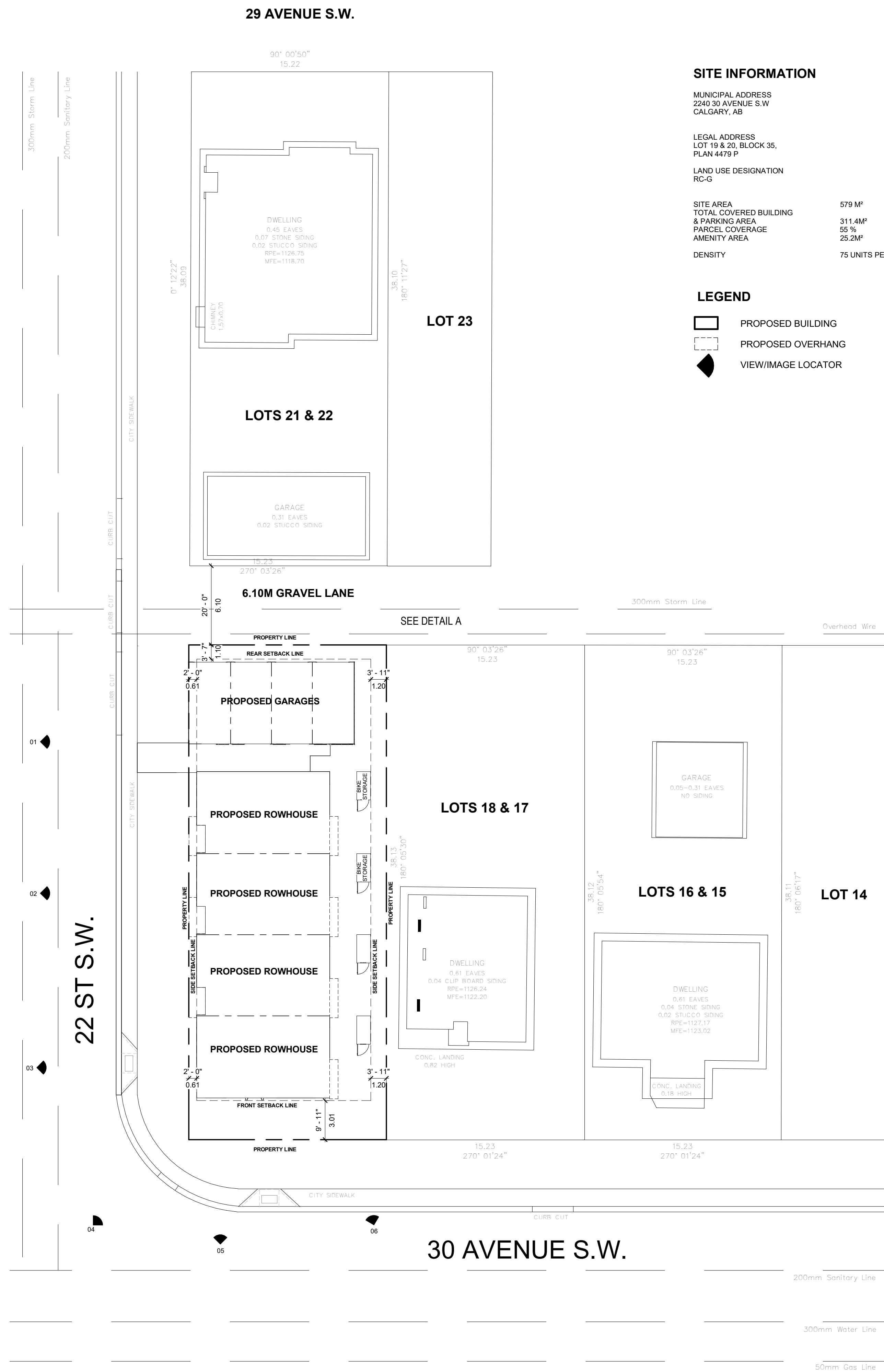
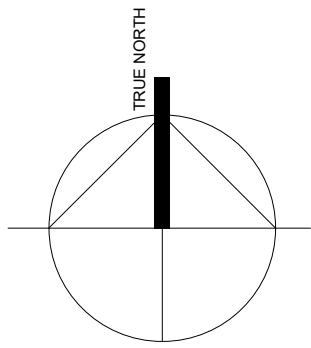
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Sheet No.

A-0.0

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#### SITE INFORMATION

MUNICIPAL ADDRESS  
2240 30 AVENUE S.W  
CALGARY, AB

LEGAL ADDRESS  
LOT 19 & 20, BLOCK 35,  
PLAN 4479 P

LAND USE DESIGNATION  
RC-G

SITE AREA 579 M<sup>2</sup>  
TOTAL COVERED BUILDING  
& PARKING AREA 311.4M<sup>2</sup>  
PARCEL COVERAGE 55 %  
AMENITY AREA 25.2M<sup>2</sup>  
DENSITY 75 UNITS PER HA

#### LEGEND

- PROPOSED BUILDING
- PROPOSED OVERHANG
- VIEW/IMAGE LOCATOR



IMAGE 01



IMAGE 02



IMAGE 03



IMAGE 04



IMAGE 05



IMAGE 06



**Project:**  
2240 30 AVE SW

**Drawing Title:**  
KEY PLAN

|    |            |            |
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**1 KEY PLAN**  
1 : 200

SITE PLAN

MUNICIPAL ADDRESS:  
2240 30 AVENUE S.W.  
CALGARY, ALBERTA

LEGAL DESCRIPTION:  
LOTS 20 & 19  
BLOCK 35  
PLAN 4479 P

PREPARED FOR: 2628835 Alberta Inc.

DATE OF SURVEY: September 2nd, 2025

SCALE: 1:200

LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

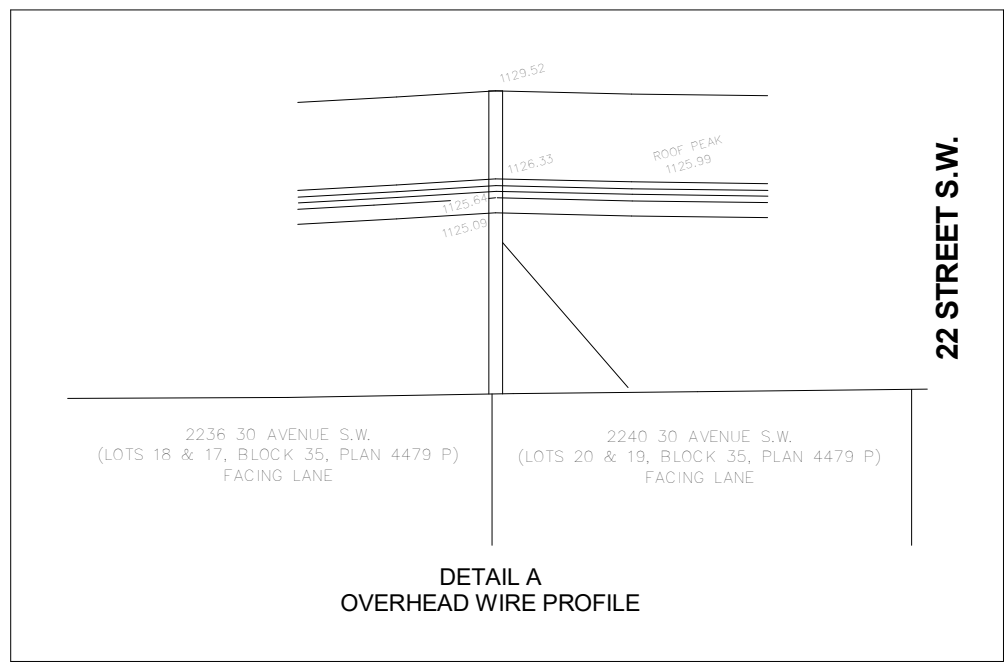
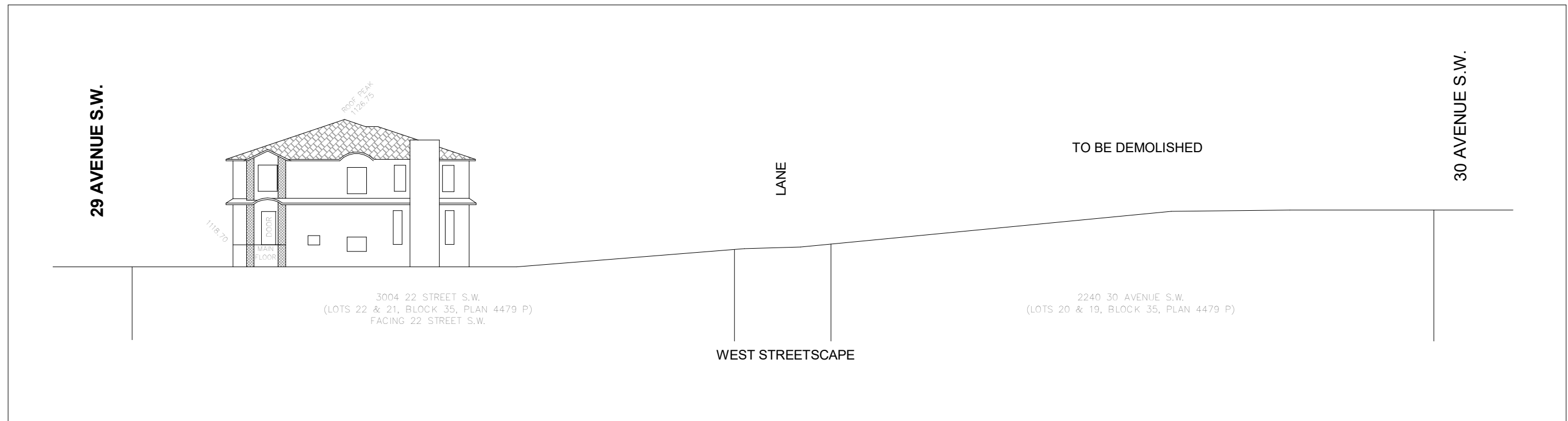
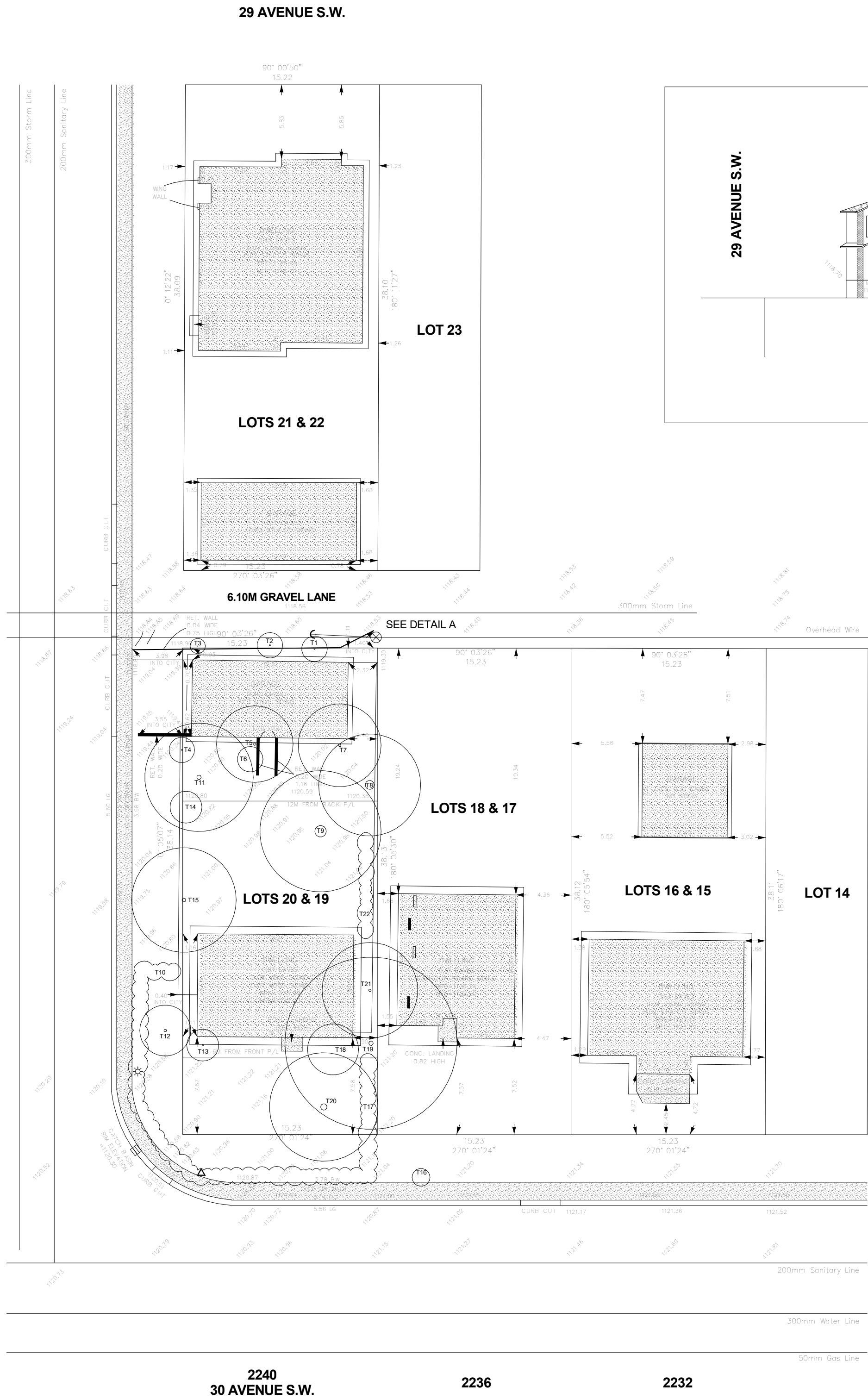
2nd=Second Floor  
1st=First Floor  
RC=Back of Curb  
RW=Back of Walkway  
C=Centerline  
C=Concrete  
Elev.=Elevation  
1st=Encroachment  
L=Length of Arc  
10'=Up of Gutter  
MF=Main Floor  
ME=Main Floor Elevation  
R=Radius  
RW=Right of Way  
Ret=Retaining  
RPE=Roof Peak Elevation  
BB=Bottom of Wall  
WT=Top of Wall

NOTE:

- The basis of this plan is as follows:  
Datum: North American Datum 1983 (original)  
Projection: 3° Transverse Mercator  
Reference Meridian: 114° west longitude  
Combined Scale Factor: 0.999728
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from A.S.M. 107665.
- Existing spot elevations are shown thus: 107.665
- The Certificate of Title 201 162 800, which was searched on the 19th day of August, 2025, and includes the following instruments:  
Coveted No. 901 213 364, 091 327 030
- The utilities information is acquired from The City of Calgary Engineering Department Drawing No. 85, 104, 194 & 229 in Sec.08-Top 24-Reg.1-W-5M.  
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to locate all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

| Tree No. | Variety   | Trunk (DBH) | Canopy (DBH) | Height (L3) | Location            |
|----------|-----------|-------------|--------------|-------------|---------------------|
| 1        | Deciduous | 0.05        | 0.05         | 1.00        | On Subject Property |
| 2        | Deciduous | 0.10        | 0.10         | 1.00        | On City Property    |
| 3        | Deciduous | 0.05        | 0.05         | 0.40        | On City Property    |
| 4        | Deciduous | 0.05        | 0.05         | 0.40        | On Subject Property |
| 5        | Deciduous | 0.20        | 0.20         | 0.00        | On Subject Property |
| 6        | Map       | 0.01        | 0.01         | 0.01        | On Subject Property |
| 7        | Deciduous | 0.10        | 0.10         | 0.00        | On Subject Property |
| 8        | Deciduous | 0.30        | 0.30         | 18.00       | On Subject Property |
| 9        | Deciduous | 0.30        | 0.30         | 18.00       | On Subject Property |
| 10       | Map       | 0.10        | 0.10         | 0.00        | On City Property    |
| 11       | Deciduous | 0.30        | 0.30         | 0.00        | On City Property    |
| 12       | Deciduous | 0.10        | 0.10         | 0.00        | On Subject Property |
| 13       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |
| 14       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |
| 15       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |
| 16       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |
| 17       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |
| 18       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |
| 19       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |
| 20       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |
| 21       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |
| 22       | Map       | 0.30        | 0.30         | 0.00        | On Subject Property |



1 SURVEY PLAN  
1 : 150



Project:

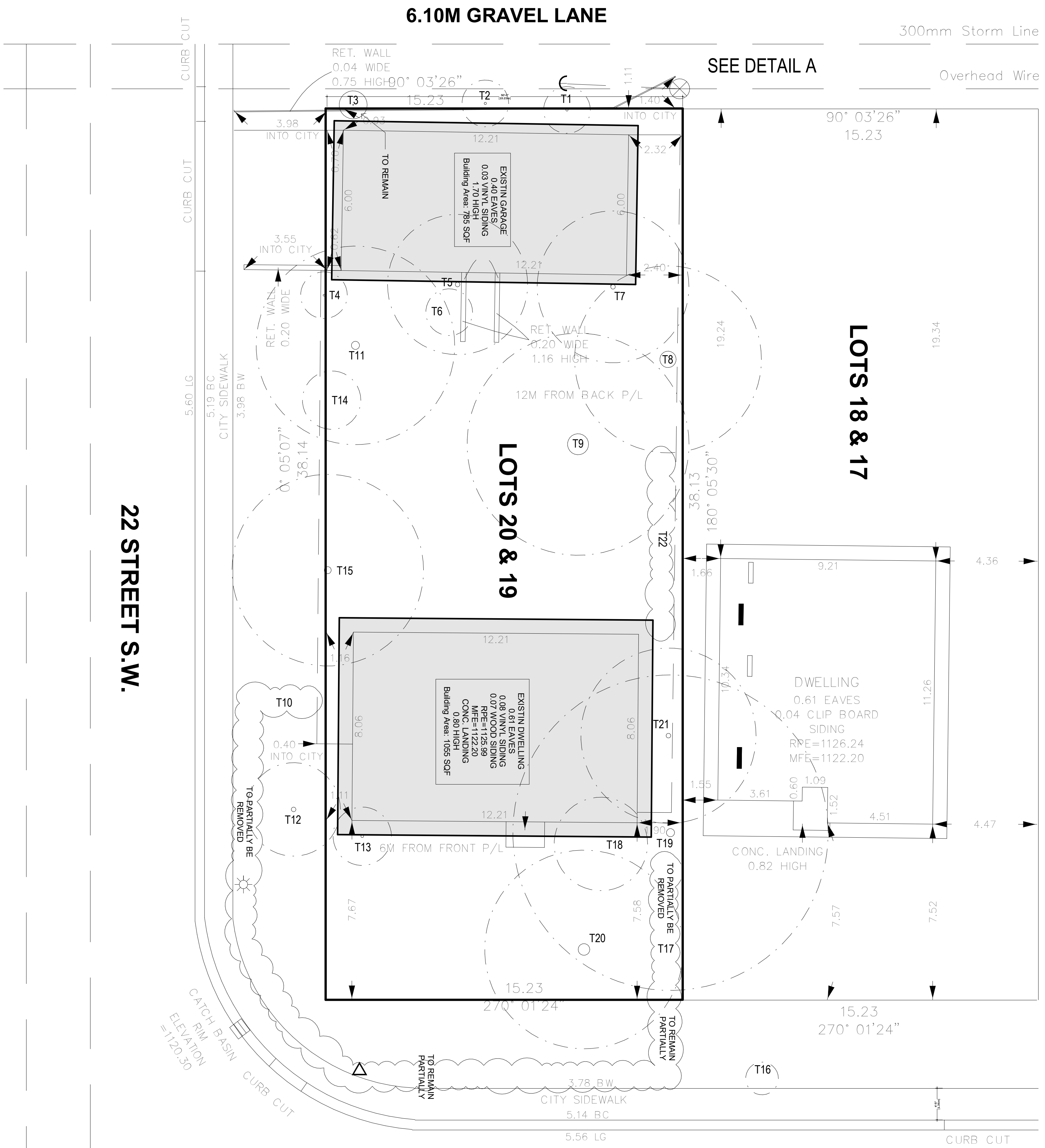
2240 30 AVE SW

Drawing Title:

EXISTING SURVEY

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# LOTS 20 & 19

**22 STREET S.W.**

SEE DETAIL A

300mm Storm Line

Overhead Wire

2236

**30 AVENUE S.W.**

200mm Sanitary Line

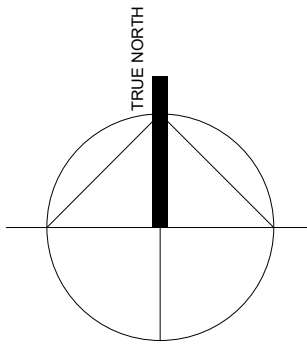
300mm Water Line

50mm Gas Line

|                                                                                     |            |            |
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| BE-VOK ltd                                                                          |            |            |
| <b><u>Project:</u></b>                                                              |            |            |
| <b>2240 30 AVE SW</b>                                                               |            |            |
| <b><u>Drawing Title:</u></b>                                                        |            |            |
| <b>EXISTING SITE PLAN</b>                                                           |            |            |
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# EXISTING PLAN



### SITE INFORMATION

MUNICIPAL ADDRESS  
2240 30 AVENUE S.W  
CALGARY, AB

LEGAL ADDRESS  
LOT 19 & 20, BLOCK 35,  
PLAN 4479 P

LAND USE DESIGNATION  
RC-G

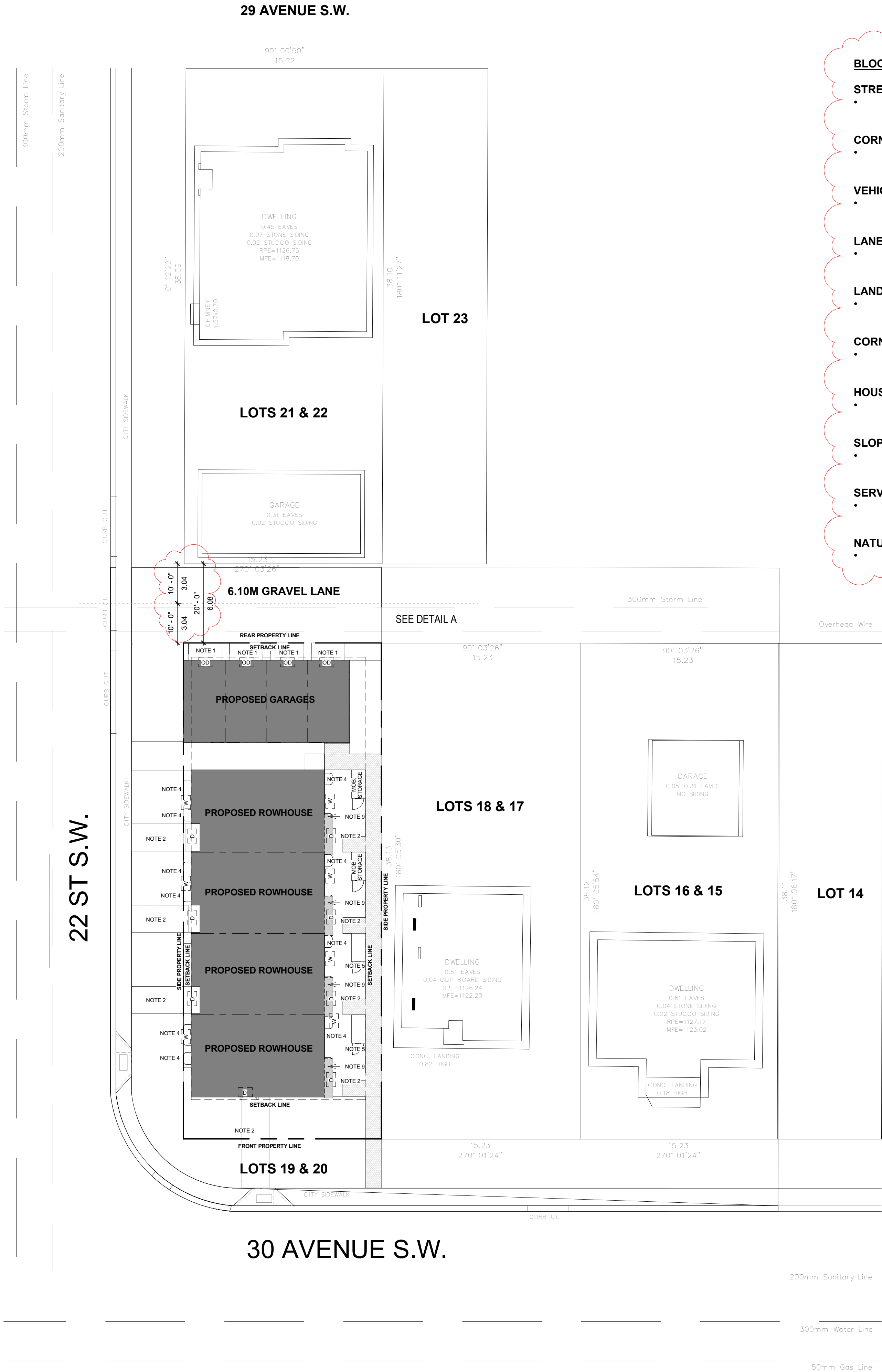
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| SITE AREA                                | 579 M <sup>2</sup>  |
| TOTAL COVERED BUILDING<br>& PARKING AREA | 311.4M <sup>2</sup> |
| PARCEL COVERAGE                          | 55 %                |
| AMENITY AREA                             | 25.2M <sup>2</sup>  |
| DENSITY                                  | 75 UNITS PER HA     |

### NOTES

1. PROPOSED CONC. DRIVEWAY (0.6M DEEP, 2% SLOPE)
2. PROPOSED CONC. STEPS
3. PROPOSED COVERED ENTRY PORCH
4. PROPOSED WINDOW WELL (2'7" X 4'2")
5. PROPOSED PRIVATE AMENITY OUTDOOR PATIO
6. PROPOSED CONC. LANDSCAPE WALKWAY
7. PROPOSED WOODEN STEPS / LANDING
8. PROPOSED ROOF EAVE LINE
9. PROPOSED PROJECTIONS

### LEGEND

|  |                                   |
|--|-----------------------------------|
|  | PROPOSED BUILDING                 |
|  | PROPOSED OVERHANG                 |
|  | PROPOSED EXTERIOR WINDOW LOCATION |
|  | PROPOSED EXTERIOR DOOR LOCATION   |
|  | GARAGE DOOR                       |
|  | OVERHEAD DOOR                     |



### BLOCK PLAN GENERAL NOTES:

#### STREET-ORIENTED DEVELOPMENT:

- All dwelling units are oriented toward public streets (22 Street SW and 30 Avenue SW) with individual entrances connected to the public sidewalk via private walkways.

#### CORNER LOT INTERFACE:

- The corner unit provides a primary entrance and active living-room glazing facing 30 Avenue SW to reinforce the pedestrian streetscape and improve natural surveillance.

#### VEHICLE ACCESS:

- No driveways are provided from 22 Street SW or 30 Avenue SW. All vehicular access is from the rear lane.

#### LANE FUNCTION:

- Rear lane access accommodates garages, waste collection, and servicing to maintain an uninterrupted pedestrian frontage along public streets.

#### LANDSCAPING

- Front yard landscaping, trees, and planting beds are provided along both street frontages to enhance the streetscape and provide buffering from vehicle traffic.

#### CORNER VISIBILITY:

- Landscaping within the corner visibility triangle is limited to low planting to maintain sightlines for vehicles and pedestrians.

#### HOUSING TYPOLOGY

- The development provides multi-unit ground-oriented housing consistent with the Neighborhood Connector policies of the West Elbow Communities Local Area Plan.

#### SLOPE-ADAPTIVE DESIGN:

- Building entrances and walkways are stepped within private property to follow existing grades. No steps are located within the public right-of-way.

#### SERVICING:

- All utilities and site servicing are located internal to the site and accessed from the rear lane.

#### NATURAL SURVEILLANCE:

- Front-facing windows and entrances provide passive surveillance of the public sidewalk and street.



**Project:**  
2240 30 AVE SW

**Drawing Title:**  
BLOCK PLAN

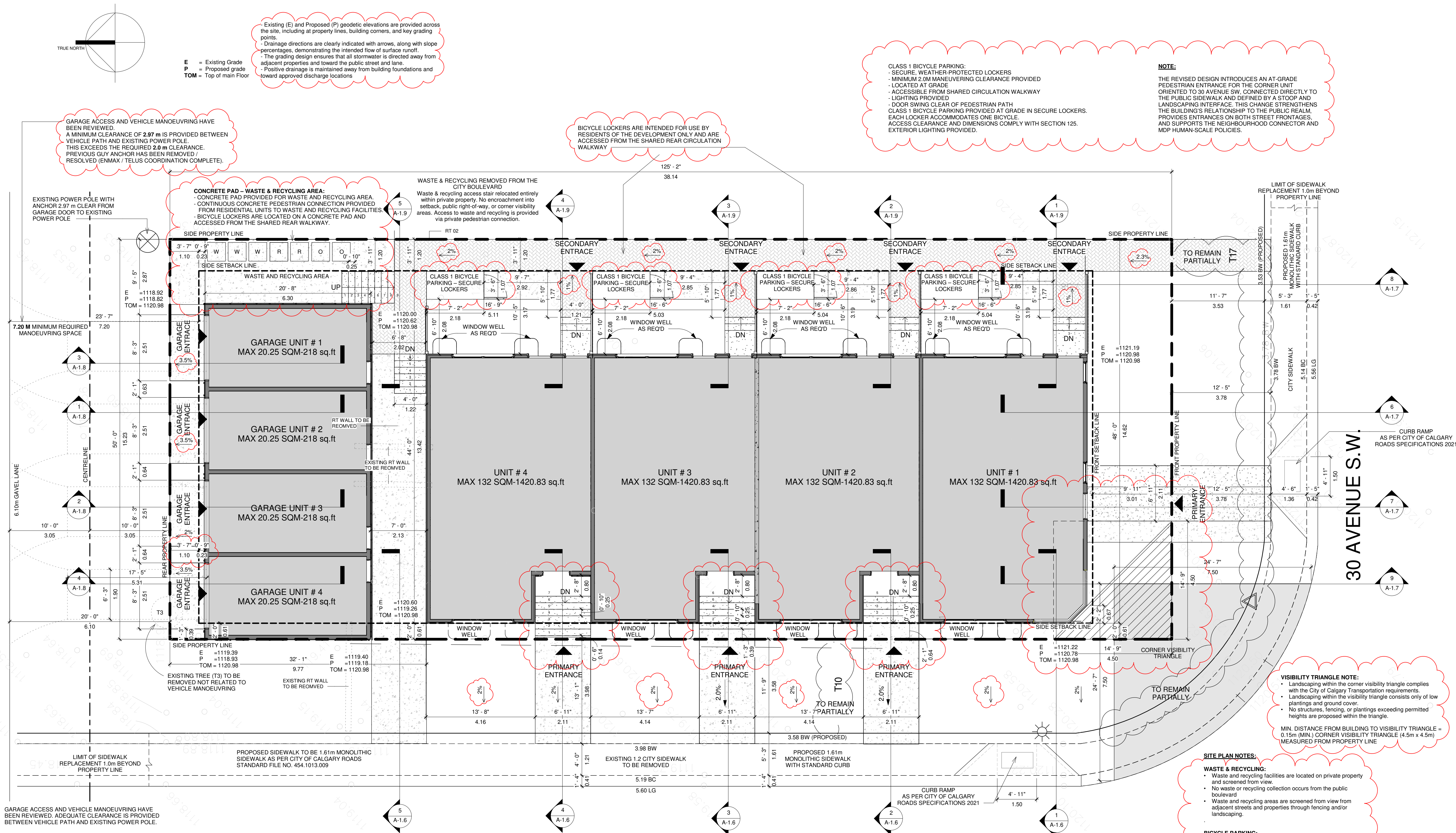
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## BLOCK PLAN

1 : 200



# 1 SITE PLAN-PROPOSED

1 : 75



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2240 30 AVE SW

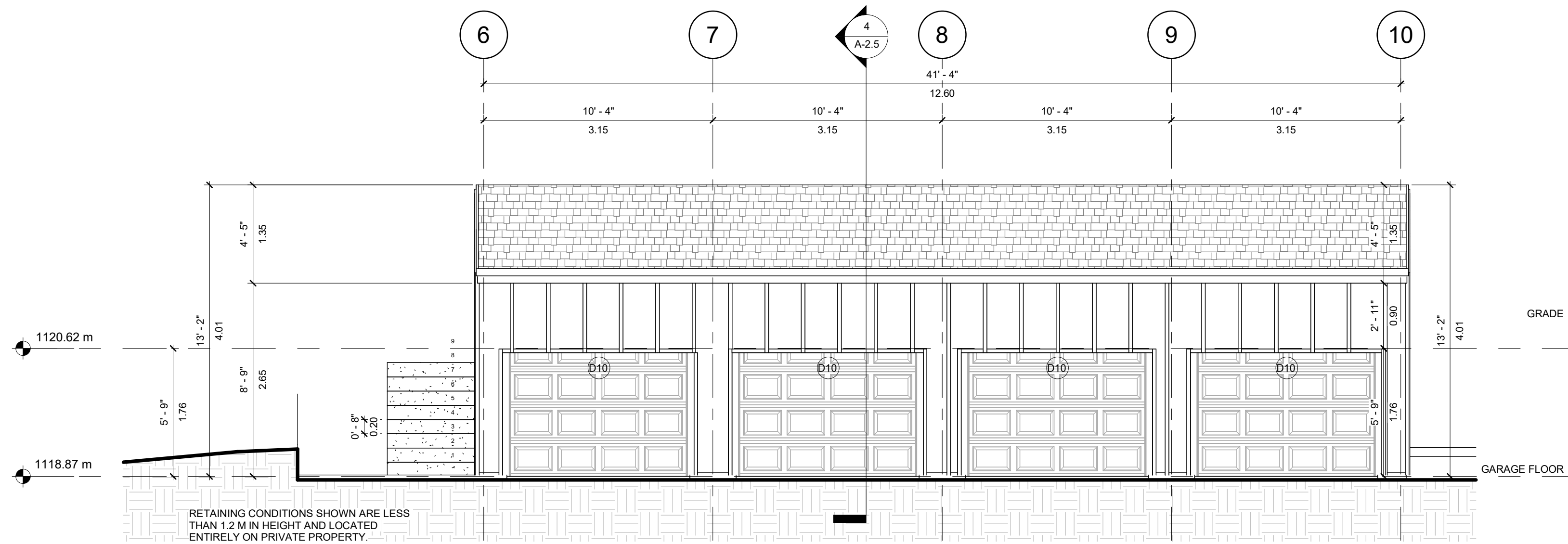
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PROPOSED SITE PLAN

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PROPOSED MATERIAL  
LEGEND

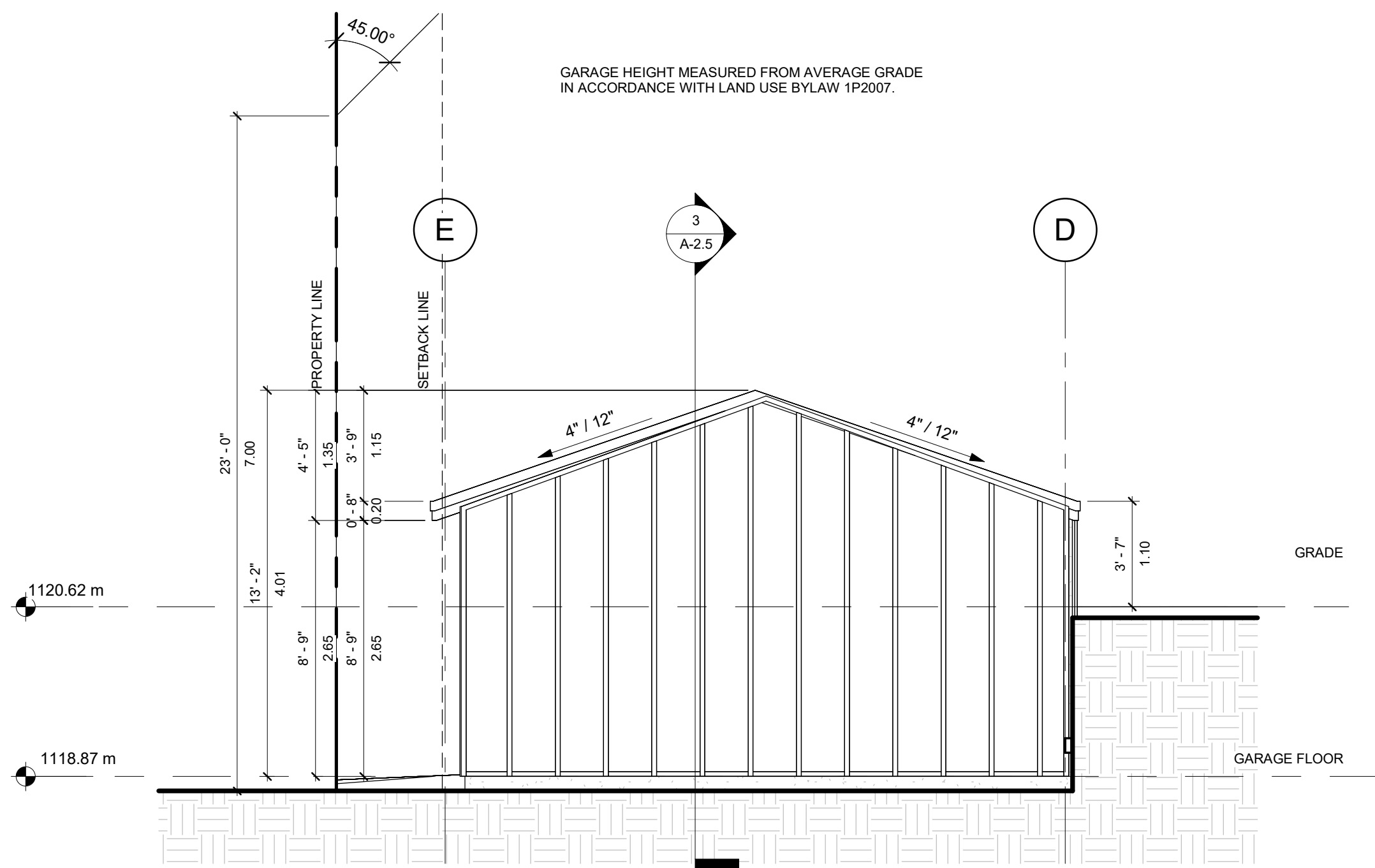
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② METAL ROOFING, DARK TONE  
③ ALLUMINUM RAINWARE, DARK TONE  
④ SMART BOARD - DARK TONE  
⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE  
⑥ CORRUGATED METAL CLADDING  
⑦ EXTERIOR WINDOWS/DOOR FRAME, DARK TONE  
⑧ PRECAST CONC. STEPS  
⑨ FENCE  
⑩ EXTERIOR LIGHT FIXTURE  
⑪ HARDIE FACIA  
⑫ HARDIE TRIM BOARD  
⑬ CONCRETE STAIRS



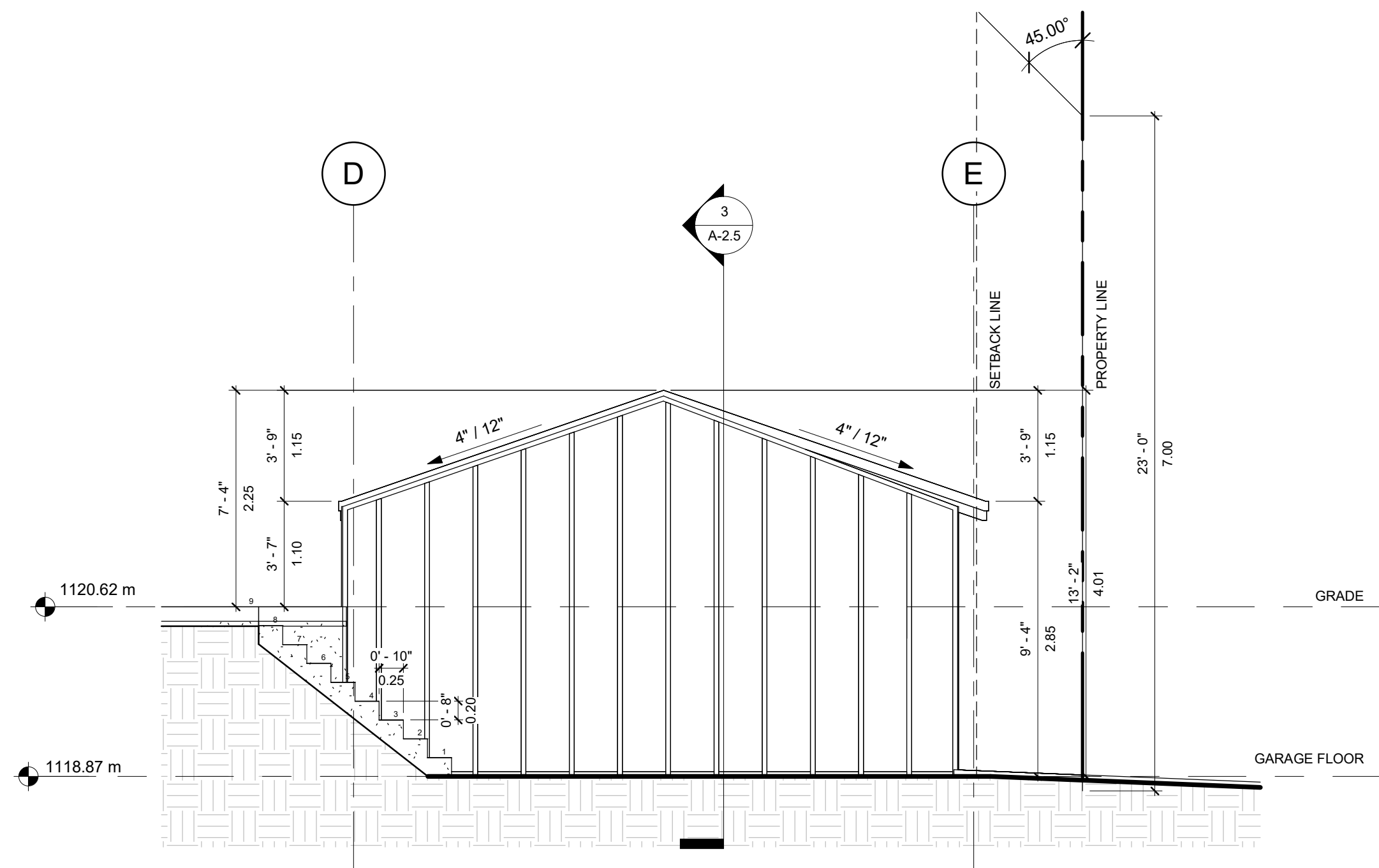
1 FRONT ELEVATION  
1 : 50

**GARAGE NOTES:**

- Garages are accessed exclusively from the rear lane. No vehicular access is provided from 22 Street SW or 30 Avenue SW
- Vehicular parking and waste collection are accommodated from the rear lane to maintain uninterrupted pedestrian streetscape along public streets.
- Waste and recycling staging occurs from the rear lane and is not located along public street frontages.
- Existing lane centerline grades are maintained. Proposed grading ties into existing elevations
- Sufficient maneuvering space is provided within the site to allow vehicles to enter and exit garages in a forward direction.
- Garage building height and placement minimize overlook and shadowing to neighbouring properties.
- Garage height measured from average grade in accordance with Land Use Bylaw 1P2007.
- Garage materials and colours are coordinated with the principal building to provide a cohesive development appearance.



2 RIGHT SIDE ELEVATION  
1 : 50



4 LEFT SIDE ELEVATION  
1 : 50



**Project:**  
2240 30 AVE SW

**Drawing Title:**  
GARAGE ELEVATIONS

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PROPOSED MATERIAL  
LEGEND

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③ ALUMINUM RAINWARE, DARK TONE  
④ SMART BOARD - DARK TONE  
⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE  
⑥ CORRUGATED METAL CLADDING  
⑦ EXTERIOR WINDOWS/DOOR FRAME, DARK TONE  
⑧ PRECAST CONC. STEPS  
⑨ FENCE  
⑩ EXTERIOR LIGHT FIXTURE  
⑪ HARDIE FACIA  
⑫ HARDIE TRIM BOARD  
⑬ CONCRETE STAIRS

NOTES:

- Individual unit entries, projecting bays, and varied roof forms are provided to break down building massing and reinforce a fine-grain residential streetscape
- All roof drainage will be directed to the site via eavestroughs and downspouts. No drainage will discharge onto adjacent properties or the public sidewalk.
- Building height is measured from average grade to the midpoint of the roof in accordance with Land Use Bylaw 1P2007
- All grades shown are geodetic elevations. Average grade has been calculated based on finished grade around the building perimeter.
- Basement exposure varies due to sloping site conditions and does not constitute an additional storey.
- Primary entrances are oriented to the public street and connected to the municipal sidewalk via private walkways.
- Window placement has been designed to minimize overlook onto adjacent properties while maintaining natural surveillance of the public street.
- Final exterior materials and colours will be consistent with those shown in the approved Development Permit drawings.



1 FRONT / WEST ELEVATION  
1:50



Project:  
2240 30 AVE SW

Drawing Title:  
FRONT ELEVATION

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PROPOSED MATERIAL  
LEGEND

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② METAL ROOFING, DARK TONE  
③ ALUMINUM RAINWARE, DARK TONE  
④ SMART BOARD - DARK TONE  
⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE  
⑥ CORRUGATED METAL CLADDING  
⑦ EXTERIOR WINDOWS/DOOR FRAME, DARK TONE  
⑧ PRECAST CONC. STEPS  
⑨ FENCE  
⑩ EXTERIOR LIGHT FIXTURE  
⑪ HARDIE FACIA  
⑫ HARDIE TRIM BOARD  
⑬ CONCRETE STAIRS



**Project:**  
2240 30 AVE SW

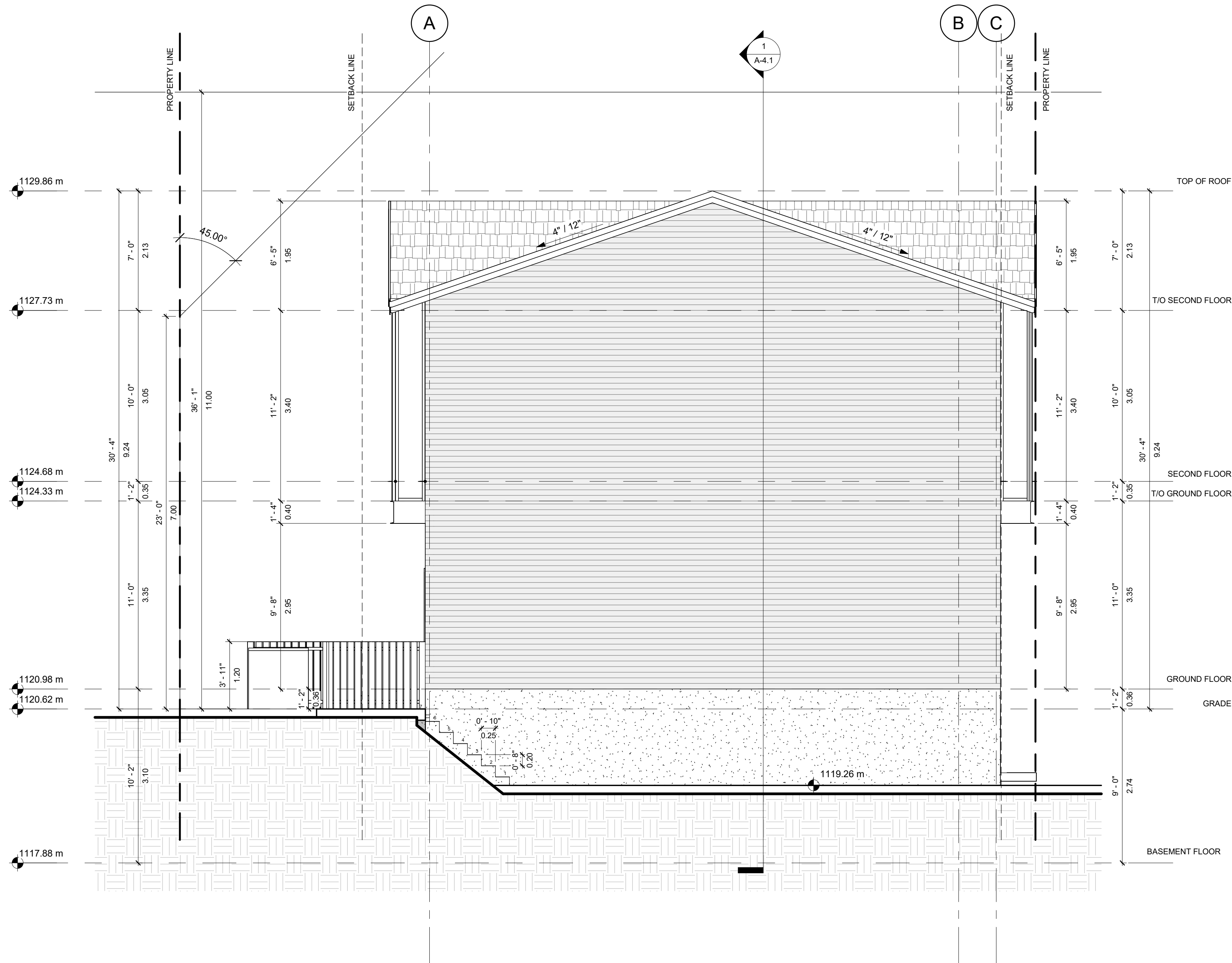
**Drawing Title:**  
REAR ELEVATION

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PROPOSED MATERIAL  
LEGEND

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② METAL ROOFING, DARK TONE  
③ ALLUMINUM RAINWARE, DARK TONE  
④ SMART BOARD - DARK TONE  
⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE  
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⑧ PRECAST CONC. STEPS  
⑨ FENCE  
⑩ EXTERIOR LIGHT FIXTURE  
⑪ HARDIE FACIA  
⑫ HARDIE TRIM BOARD  
⑬ CONCRETE STAIRS



1 NORTH SIDE ELEVATION  
1 : 50



Project:  
2240 30 AVE SW

Drawing Title:  
SIDE ELEVATION

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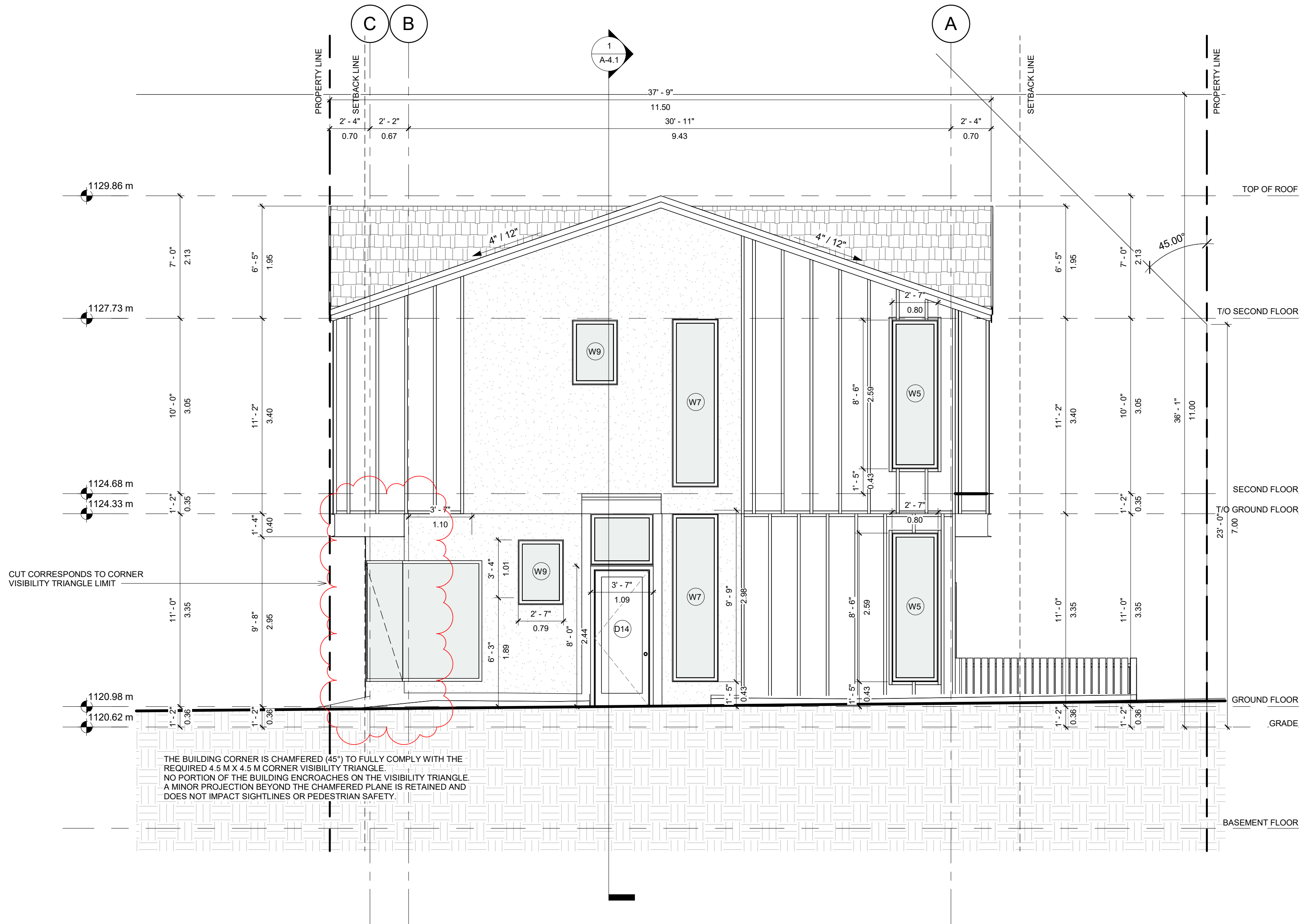
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PROPOSED MATERIAL  
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④ SMART BOARD - DARK TONE  
⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE  
⑥ CORRUGATED METAL CLADDING  
⑦ EXTERIOR WINDOWS/DOOR FRAME, DARK TONE  
⑧ PRECAST CONC. STEPS  
⑨ FENCE  
⑩ EXTERIOR LIGHT FIXTURE  
⑪ HARDIE FACIA  
⑫ HARDIE TRIM BOARD  
⑬ CONCRETE STAIRS

NOTES:

- Ground-oriented windows and entrances are provided along 30 Avenue SW to create visual connection between interior living spaces and the public realm.
- STREET FACING ELEVATION:** This elevation addresses a public street and is designed as a primary building frontage.
- The corner unit incorporates a primary living room window and entry facing 30 Avenue SW to reinforce street presence and passive surveillance.
- Dwelling units are oriented toward the street with individual entrances and direct pedestrian access from the public sidewalk.
- Variation in cladding materials, window proportions, and vertical modulation is provided to reduce building mass and enhance pedestrian-level interest.
- Finished floor elevations are coordinated with municipal grades. No steps or structures encroach into the public right-of-way.
- Soft landscaping and planting beds are provided along the property edge to frame entrances and define the transition between public sidewalk and private space
- BUILDING HEIGHT MEASURED FROM AVERAGE GRADE IN ACCORDANCE WITH LAND USE BYLAW 1P2007.**



1 SOUTH SIDE ELEVATION  
1 : 50



**Project:**  
2240 30 AVE SW

**Drawing Title:**  
SIDE ELEVATION

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