

DEVELOPMENT PERMIT SET

MARDA LOOP, CALGARY ALBERTA

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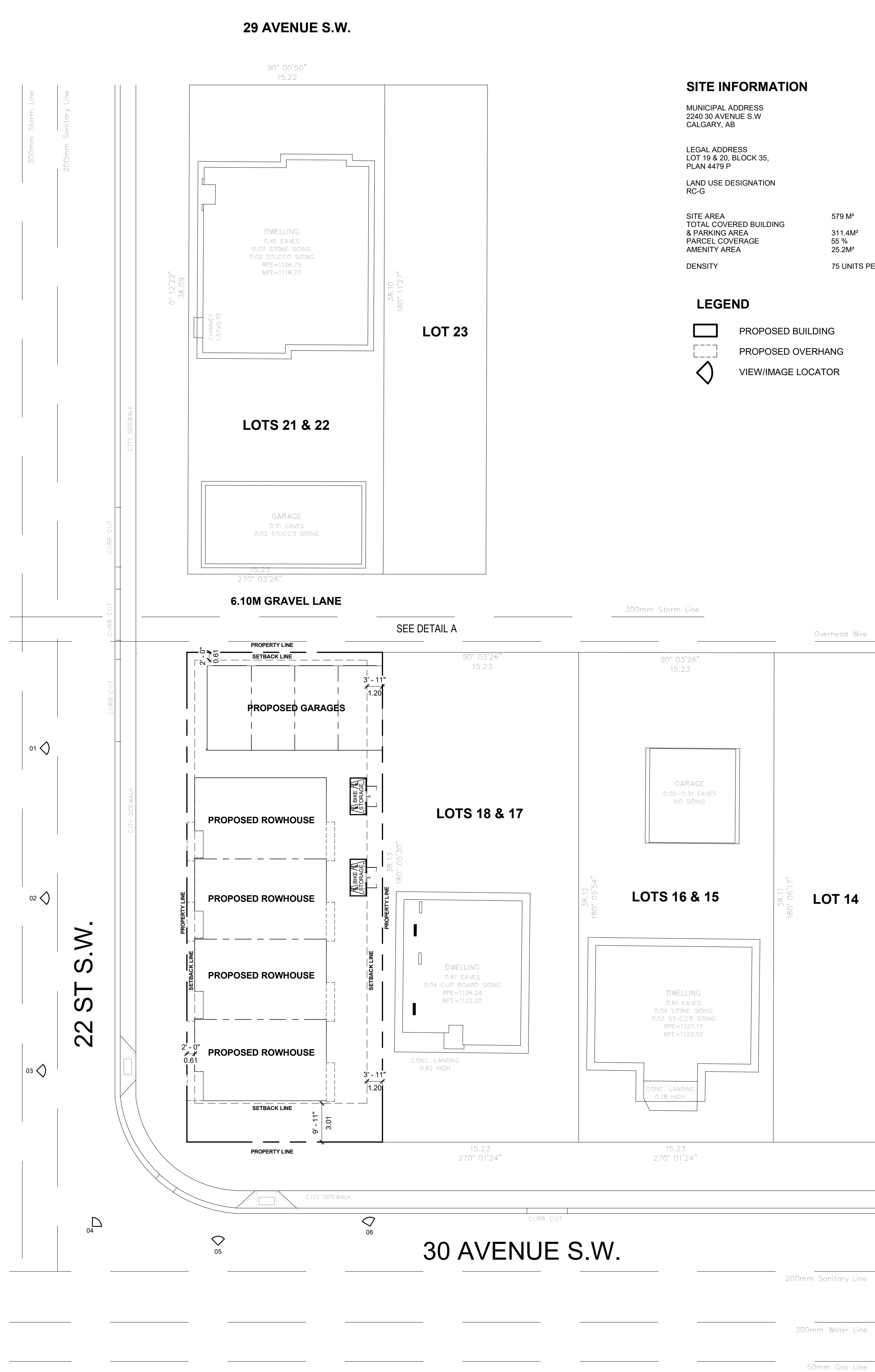
Project:
2240 30 AVE SW

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COVER PAGE

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Sheet No. **A-0.0**
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CALGARY, AB

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LOT 19 & 20, BLOCK 35,
PLAN 4479 P

LAND USE DESIGNATION
RC-G

SITE AREA	579 M²
TOTAL COVERED BUILDING & PARKING AREA	311.4M²
PARCEL COVERAGE	55 %
AMENITY AREA	25.2M²
DENSITY	75 UNITS PER HA

 PROPOSED BUILDING
 PROPOSED OVERHANG
 VIEW/IMAGE LOCATOR



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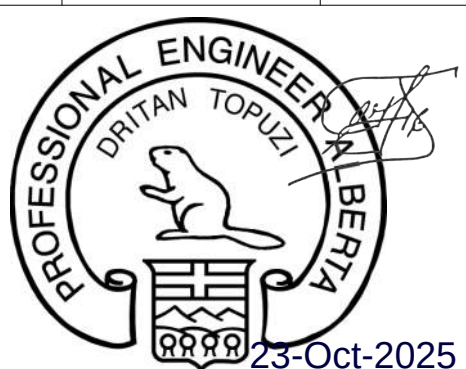
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KEY PLAN

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1 KEY PLAN
1 : 200

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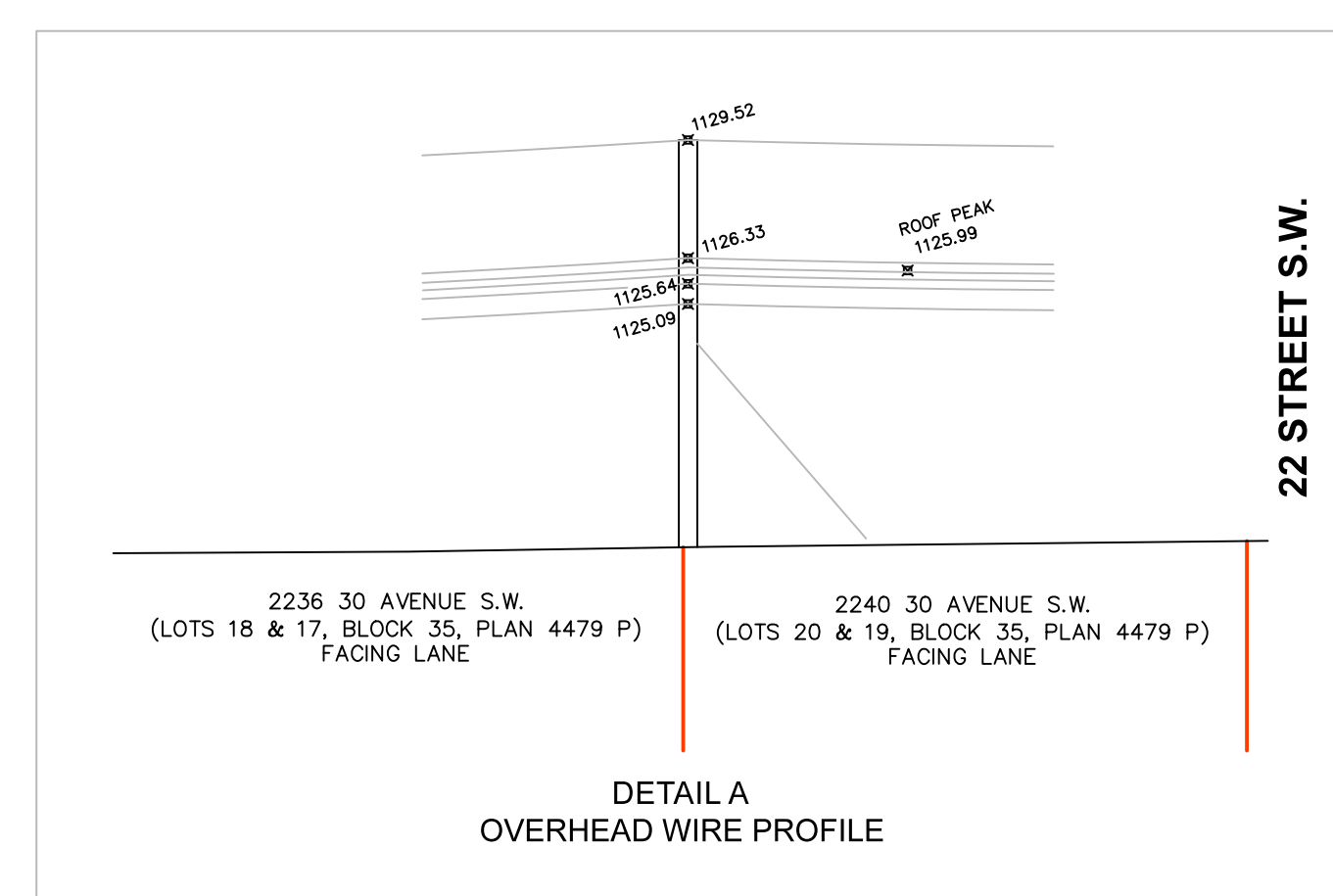
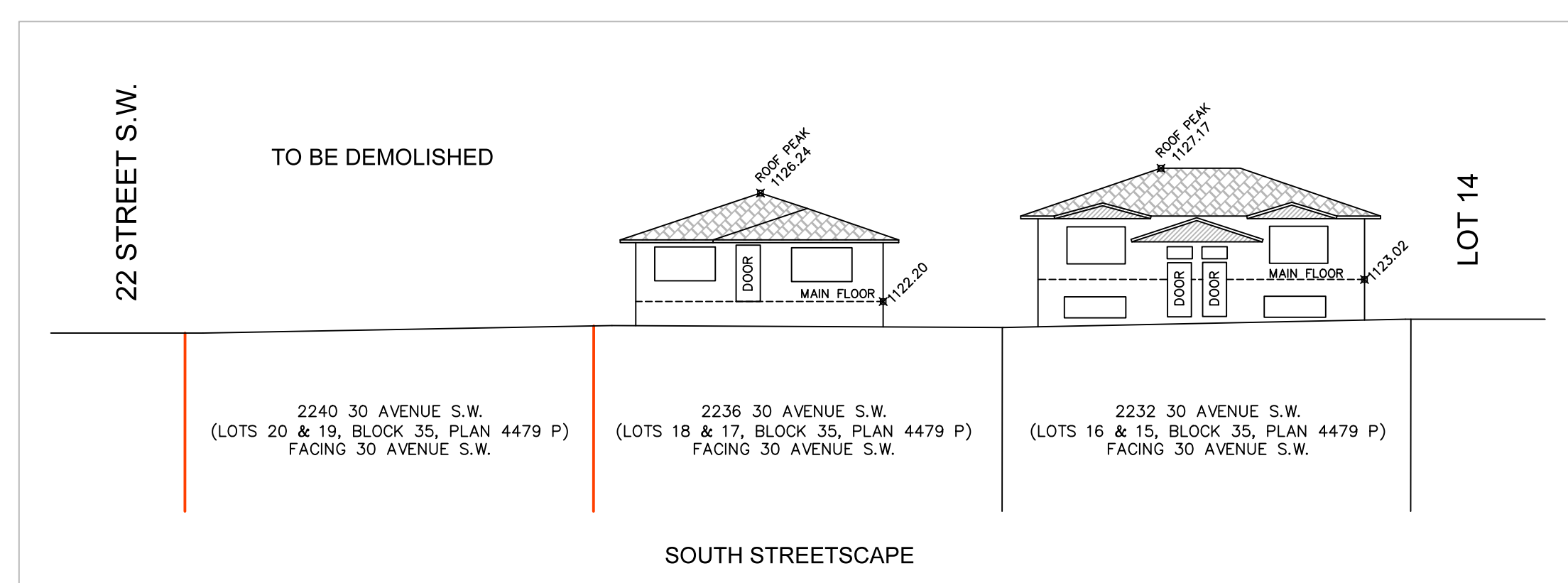
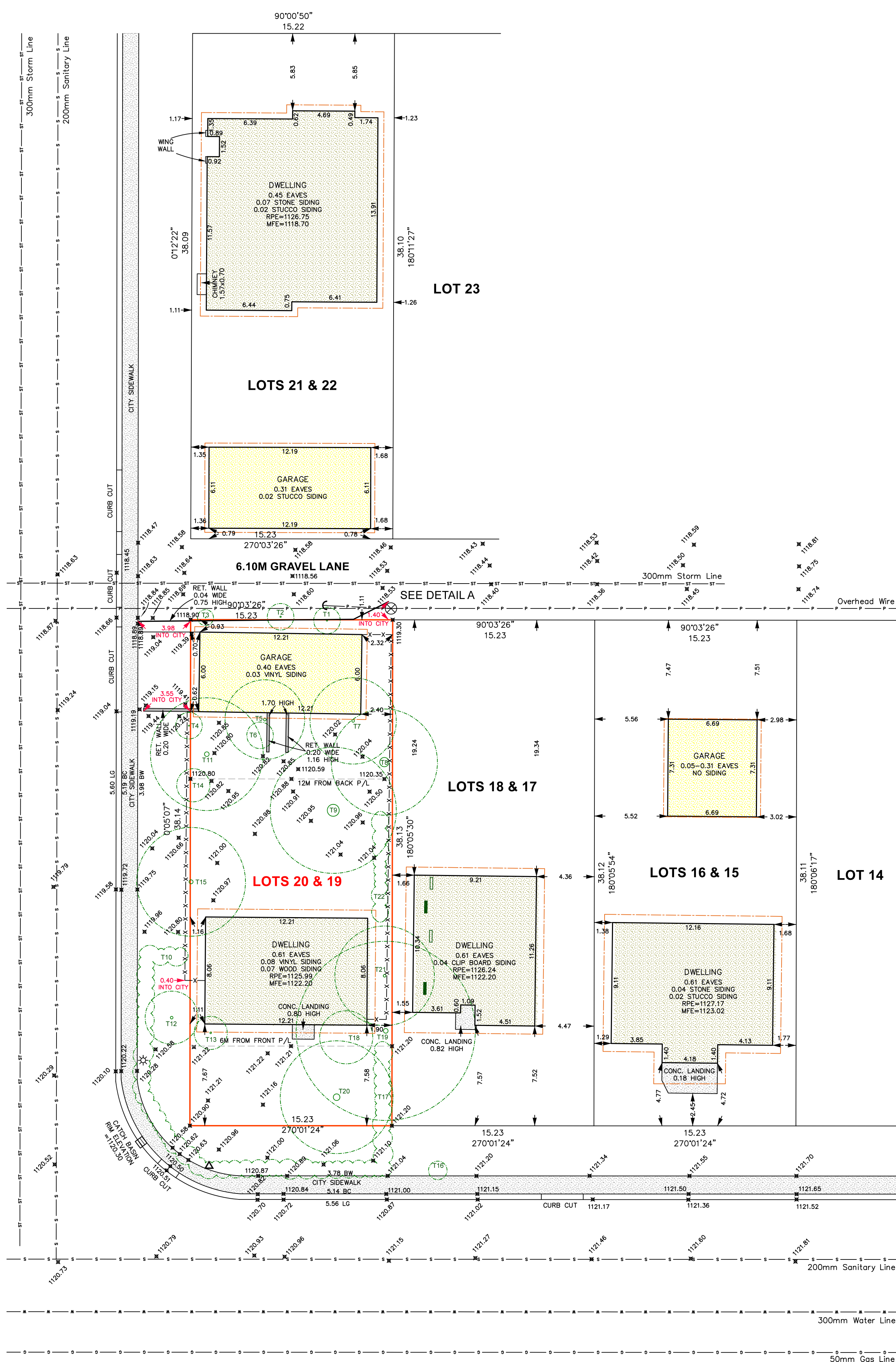
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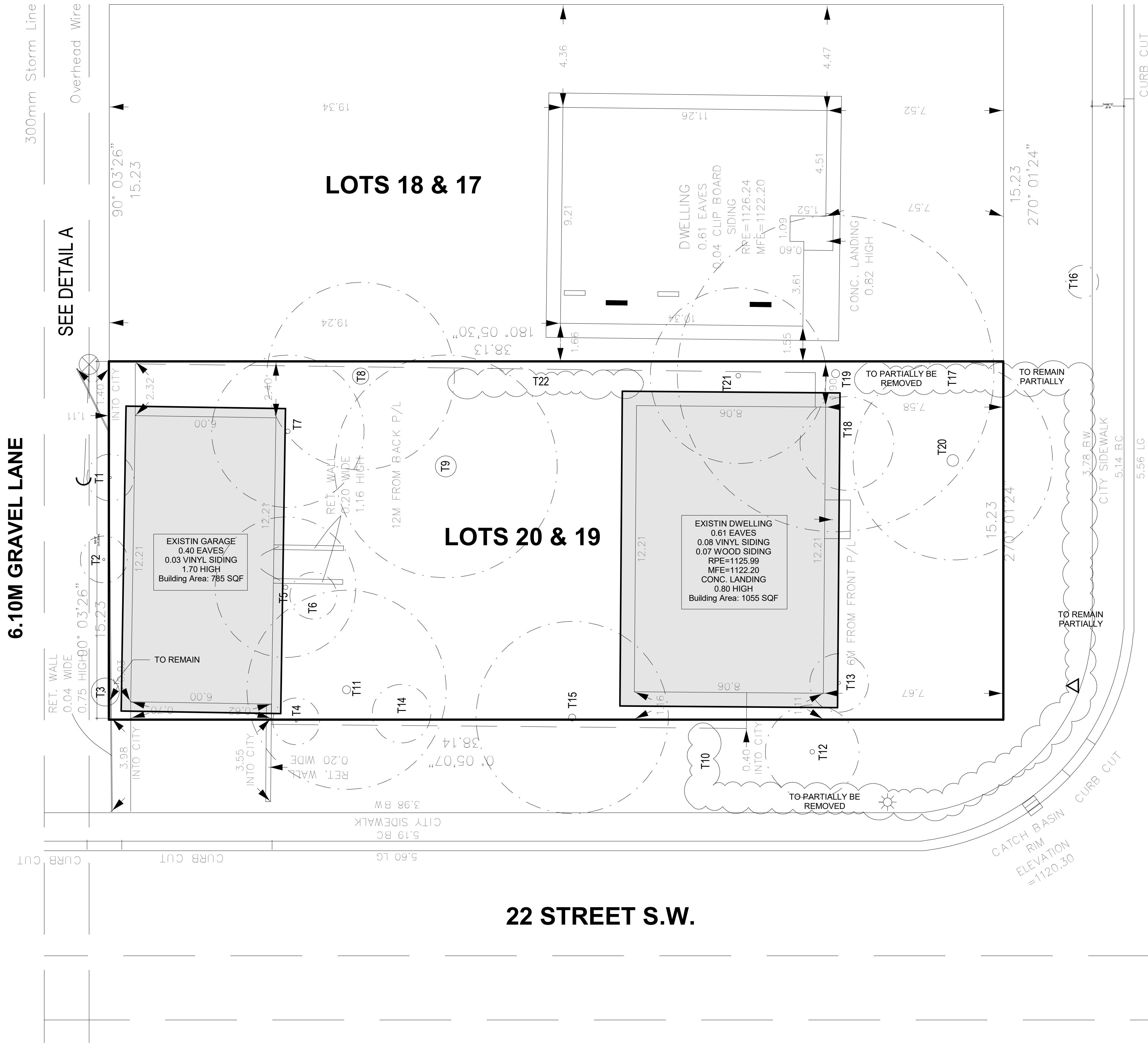
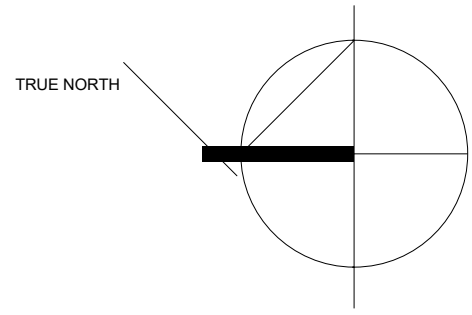
 Subject Property Line
 Right of Way Line
 Eave Line
 Fence Line
 Sanitary Line
 Storm Line
 Water Line
 Gas Line
 Overhead Wire
 A.G.T. Line
 Door
 Main Floor Window
 Basement Floor Window
 Calculation points
 Power Pole
 Light Pole
 Manhole
 Catch Basin
 Water Valve
 Gas Valve
 Sign
 Fire Hydrant
 Tree
 Main Building Hatch
 Detached Garage Hatch
 Shed Hatch
 Concrete and Asphalt Hatch
 Wood Hatch
 Roof Hatch

'2F.'—Second Floor	'Enc.'—Encroach(es)	'R/W'—Right of Way
'BC'—Back of Curb	'L'—Length of Arc	'Ret.'—Retaining
'BW'—Back of Walkway	'LG'—Lead of Gutter	'RPE'—Roof Peak Elevation
'Cant.'—Cantilever	'M.F.'—Main Floor	'WB'—Bottom of Wall
'Conc.'—Concrete	'MFE'—Main Floor Elevation	'WT'—Top of Wall
'Elev.'—Elevation	'R'—Radius	

1. The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999728
2. Distances are in ground and are shown in metres and decimals thereof.
3. Distances along curves are arc distances.
4. Elevations are derived from ASCM 197665.
5. Existing spot elevations are shown thus:
6. The Certificate of Title 201 162 590 which was searched on the 19th day of August, 2025, and includes the following instruments:
Caveat No. 091 213 364, 091 327 030

Trn No.	Variety	Trunk (#)	Canopy (#)	Height (ft)	Location
T1	Deciduous	0.05	2.00	7.50	In Subject Property
T2	Conifer	0.10	2.00	7.50	In Subject Property
T3	Deciduous	0.10	1.20	2.40	In City Property
T4	Deciduous	0.08	2.00	6.50	In City Property
T5	Conifer	0.20	2.00	7.50	In Subject Property
T6	Bush	-	2.00	3.00	In Subject Property
T7	Deciduous	0.10	6.50	7.50	In Subject Property
T8	Conifer	0.70	6.00	14.00	On Property Line
T9	Deciduous	0.90	8.50	16.00	In Subject Property
T10	Conifer	-	0.90	12.00	In City Property
T11	Deciduous	0.35	0.90	12.00	In Subject Property
T12	Bush	0.20	0.60	3.00	In City Property
T13	Conifer	0.12	0.60	3.00	In Subject Property
T14	Bush	0.50	2.50	2.50	On Property Line
T15	Deciduous	0.30	8.20	7.50	On Property Line
T16	Conifer	0.30	8.20	7.50	On Property Line
T17	Bush	-	0.90	1.20	In Subject Property
T18	Bush	-	0.40	3.50	In Subject Property
T19	Deciduous	0.35	1.40	10.50	In Subject Property
T20	Conifer	0.50	8.50	10.50	In Subject Property
T21	Deciduous	0.20	7.50	7.50	In Subject Property
T22	Conifer	1.00	9.00	9.00	In Subject Property





1 EXISTING PLAN
1 : 100

2236
30 AVENUE S.W.

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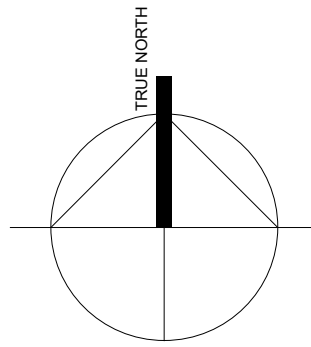
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EXISTING SITE PLAN

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SITE INFORMATION

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LEGAL ADDRESS
LOT 19 & 20, BLOCK 35,
PLAN 4479 P

LAND USE DESIGNATION
RC-G

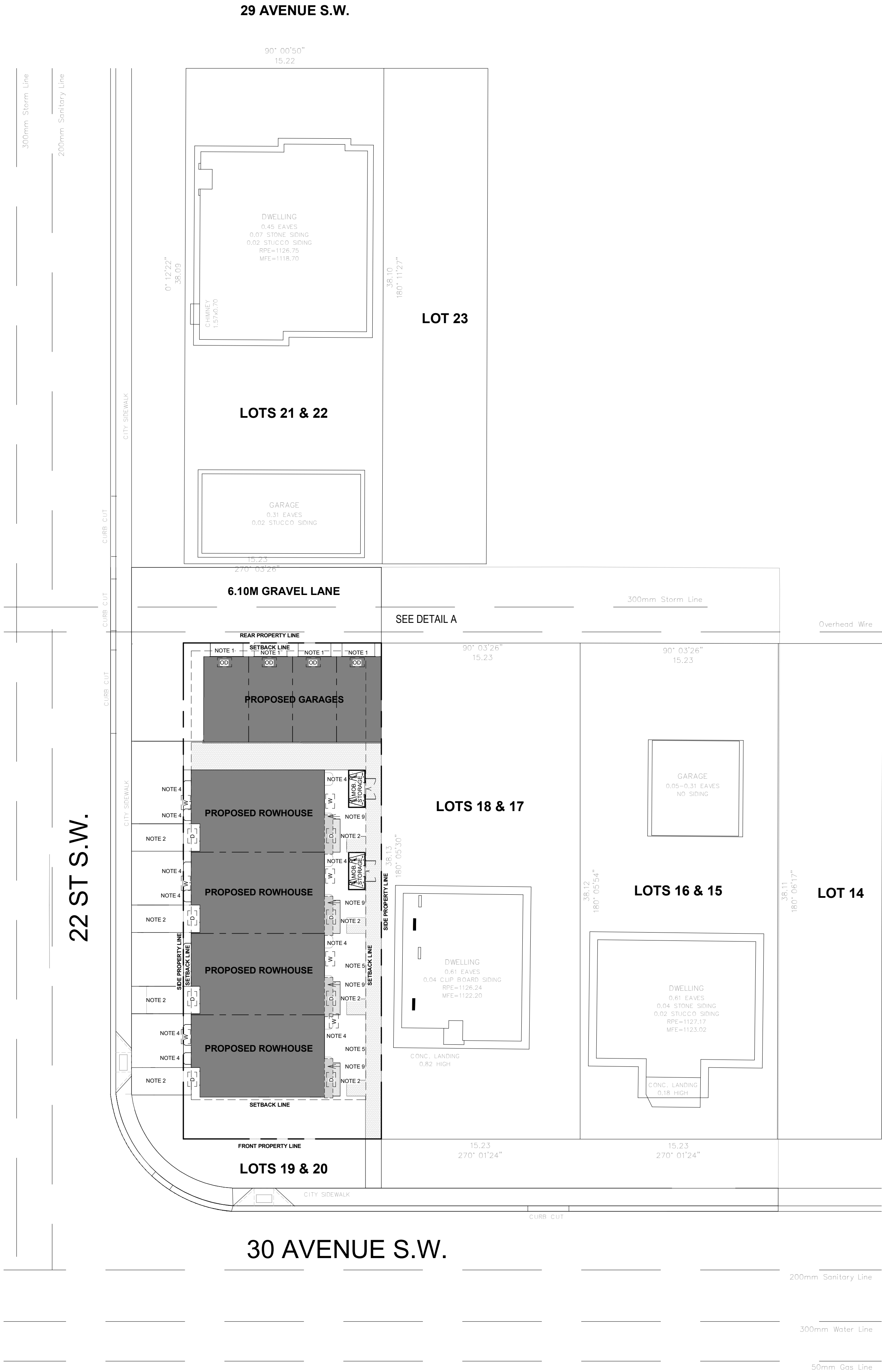
SITE AREA	579 M ²
TOTAL COVERED BUILDING & PARKING AREA	311.4M ²
PARCEL COVERAGE	55 %
AMENITY AREA	25.2M ²
DENSITY	75 UNITS PER HA

NOTES

- PROPOSED CONC. DRIVEWAY (0.6M DEEP, 2% SLOPE)
- PROPOSED CONC. STEPS
- PROPOSED COVERED ENTRY PORCH
- PROPOSED WINDOW WELL (2'7" X 4'2")
- PROPOSED PRIVATE AMENITY OUTDOOR PATIO
- PROPOSED CONC. LANDSCAPE WALKWAY
- PROPOSED WOODEN STEPS / LANDING
- PROPOSED ROOF EAVE LINE
- PROPOSED PROJECTIONS

LEGEND

- | | |
|--|-----------------------------------|
| | PROPOSED BUILDING |
| | PROPOSED OVERHANG |
| | PROPOSED EXTERIOR WINDOW LOCATION |
| | PROPOSED EXTERIOR DOOR LOCATION |
| | GARAGE DOOR |
| | OVERHEAD DOOR |



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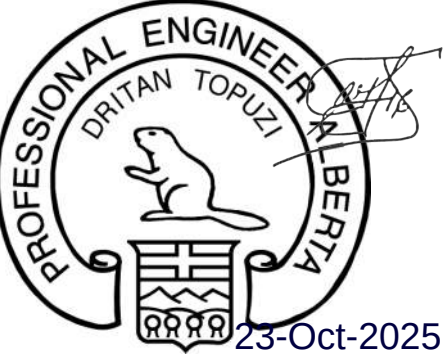


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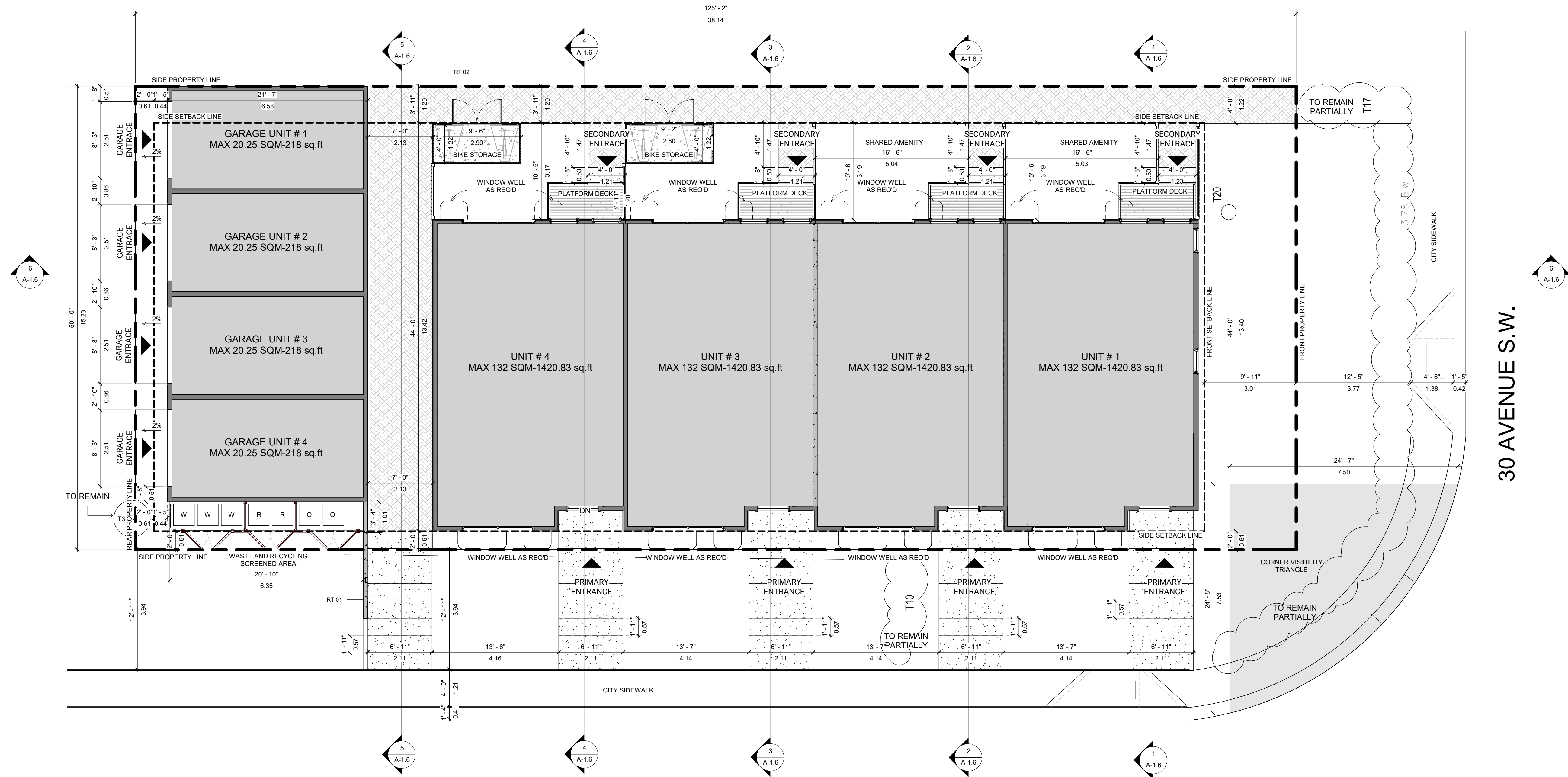
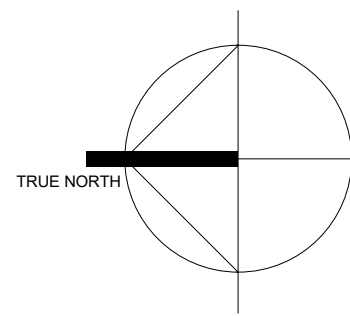
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BLOCK PLAN

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1 **BLOCK PLAN**
1 : 200



1 SITE PLAN-PROPOSED
1 : 75

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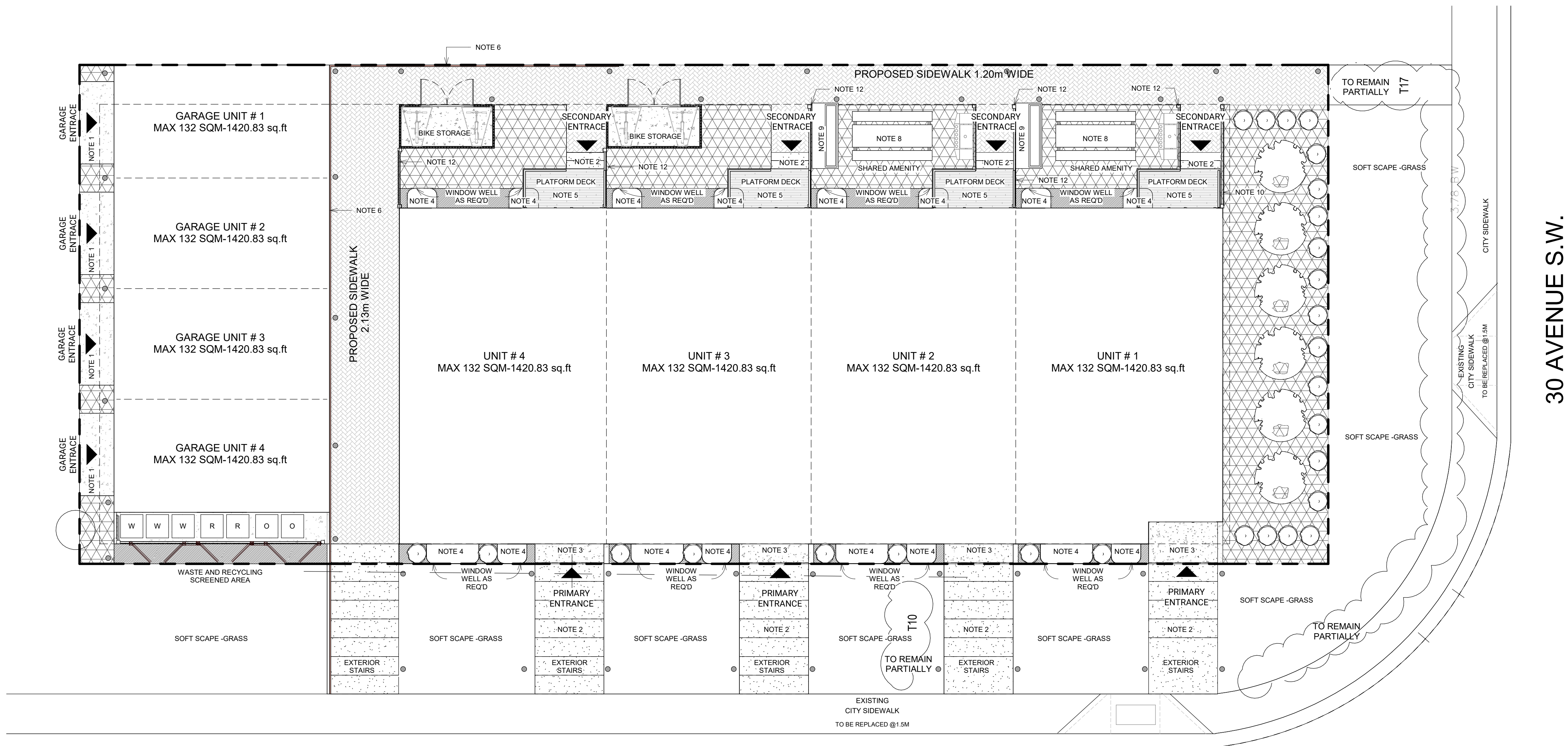
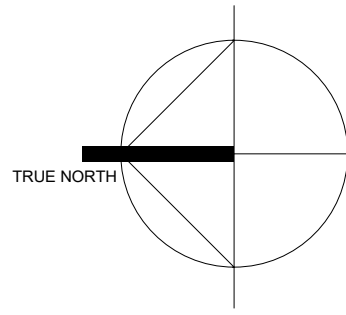
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PROPOSED SITE PLAN

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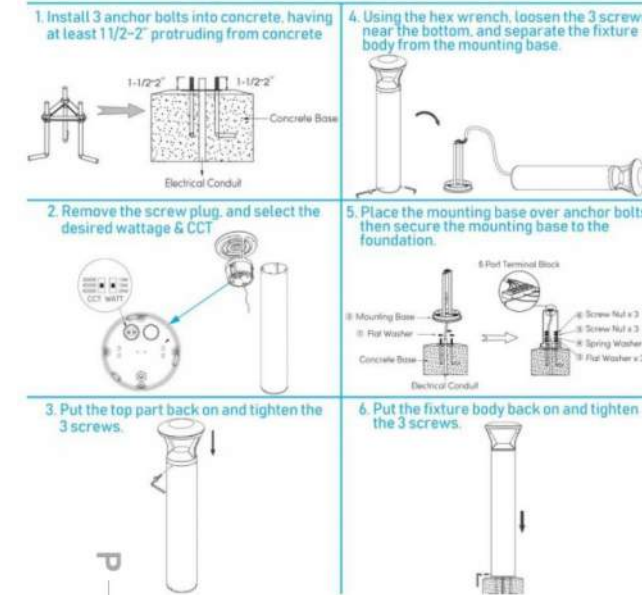
22 ST S.W.

30 AVENUE S.W.

1 LANDSCAPE

1 : 75

INSTALLATION INSTRUCTIONS



2 PROPOSED LIGHTS

1 : 10

LANDSCAPE STAT

SEE DP1.0 FOR PROPOSED TREE & SHRUB PLANTING SPEC.
SEE DP1.0 FOR LANDSCAPE CALCULATION / STAT

NOTES

- PROPOSED CONC. DRIVEWAY (0.6M DEEP, 2% SLOPE)
- PROPOSED CONC. STEPS
- PROPOSED COVERED ENTRY PORCH
- PROPOSED WINDOW WELL (27" X 42")
- PROPOSED PRIVATE AMENITY OUTDOOR PATIO
- PROPOSED RETAINING WALL (SEE DP1.6 FOR ELEVATION)
- PROPOSED WOODEN STEPS / LANDING
- PROPOSED OUTDOOR FURNITURE
- PROPOSED OUTDOOR PLANTER
- PROPOSED FENCE (5'4" HIGH)
- PROPOSED TREE GRATE
- PROPOSED PRIVACY SCREEN

LEGEND

	PROPOSED BUILDING		EXISTING BUSH TO BE REMOVED
	SOD (SOFTSCAPE)		PROPOSED SHRUB
	MULCH (SOFTSCAPE)		PROPOSED TREE
	CONCRETE (HARDSCAPE)		OVERHEAD ELECTRIC LINE
	DECORATIVE PAVEMENT / SIMILAR (SOFTSCAPE)		200MM SANITARY LINE
	PROPOSED MAIN ENTRY DOOR		200MM WATER LINE
	EXISTING OVERHEAD ELECTRIC POLE		50MM GAS LINE
	EXISTING LIGHT POLE		EXISTING GRADE
	EXISTING SIGN		PROPOSED GRADE
	EXISTING FIRE HYDRANT		
	PATHWAY LIGHTS		
	EXISTING TREES TO BE REMOVED		
	EXISTING TREES TO REMAIN		

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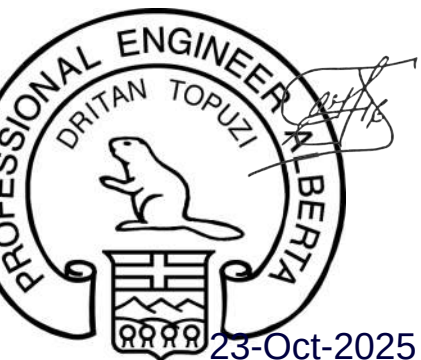
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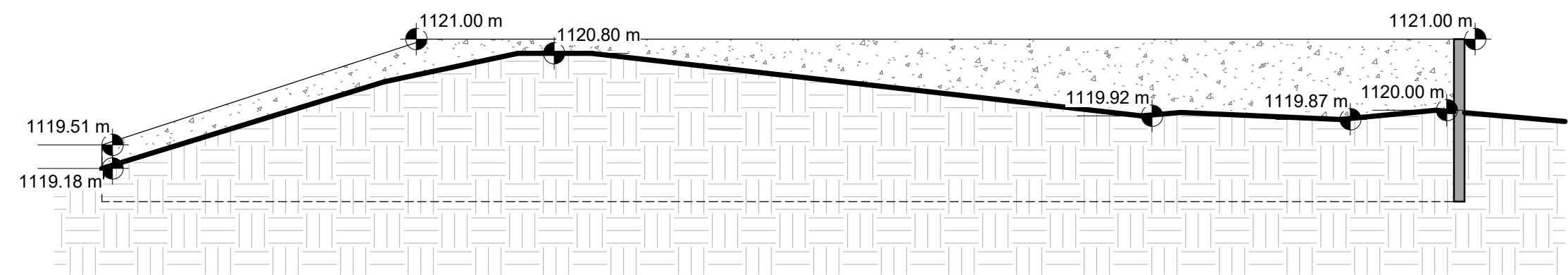
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PROPOSED LANDSCAPE
PLAN

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3 RT 02 - RETAINING WALL ELEVATION

1 RETAINING WALL KEY PLAN

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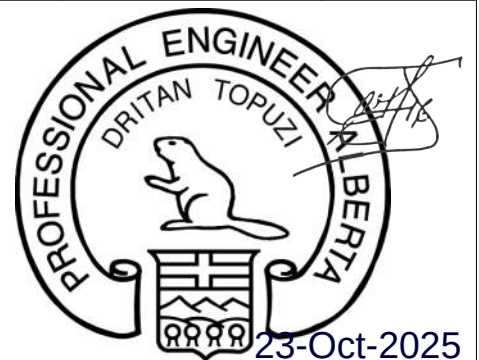


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Project:
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Drawing Title:
**RETAINING WALL KEY
PLAN**

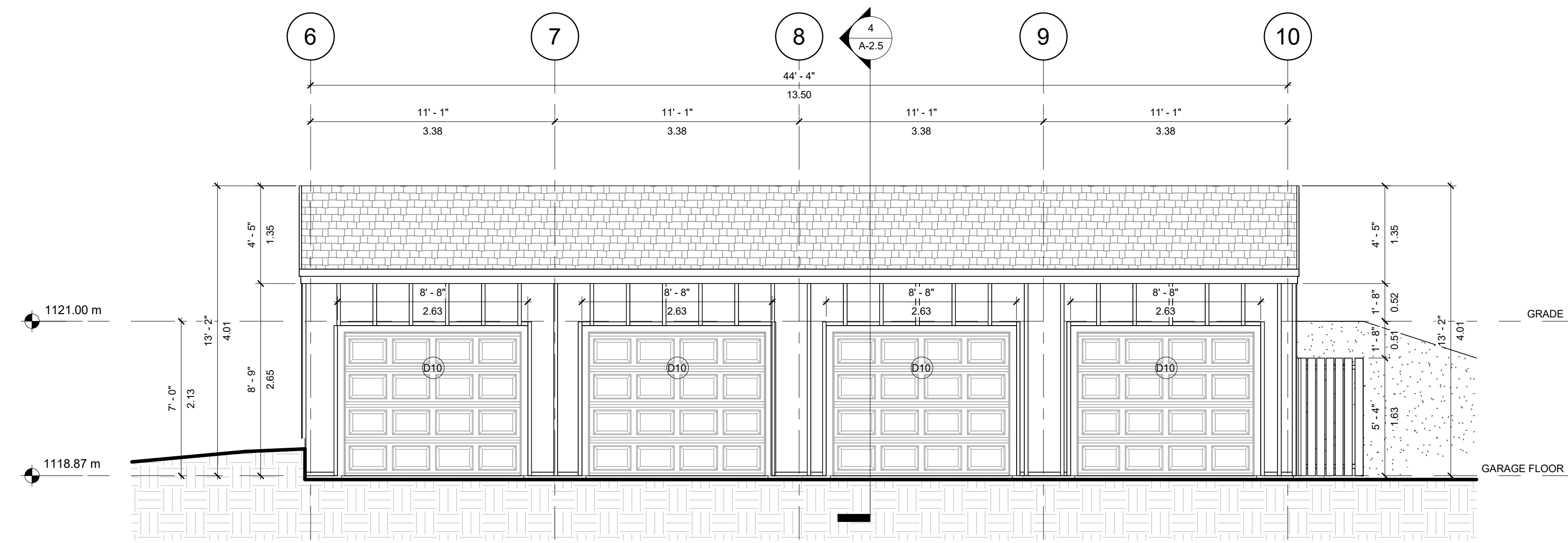
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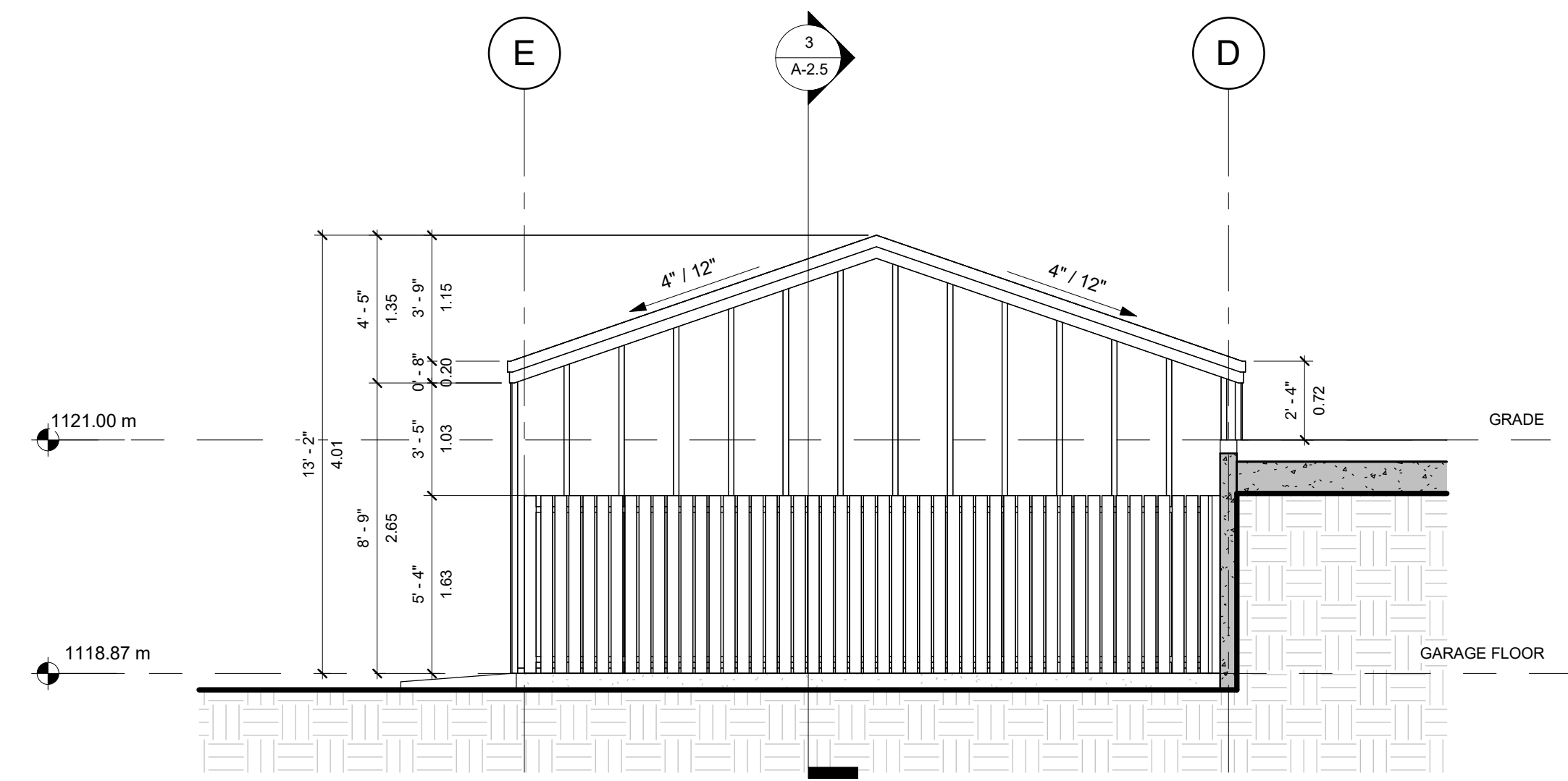
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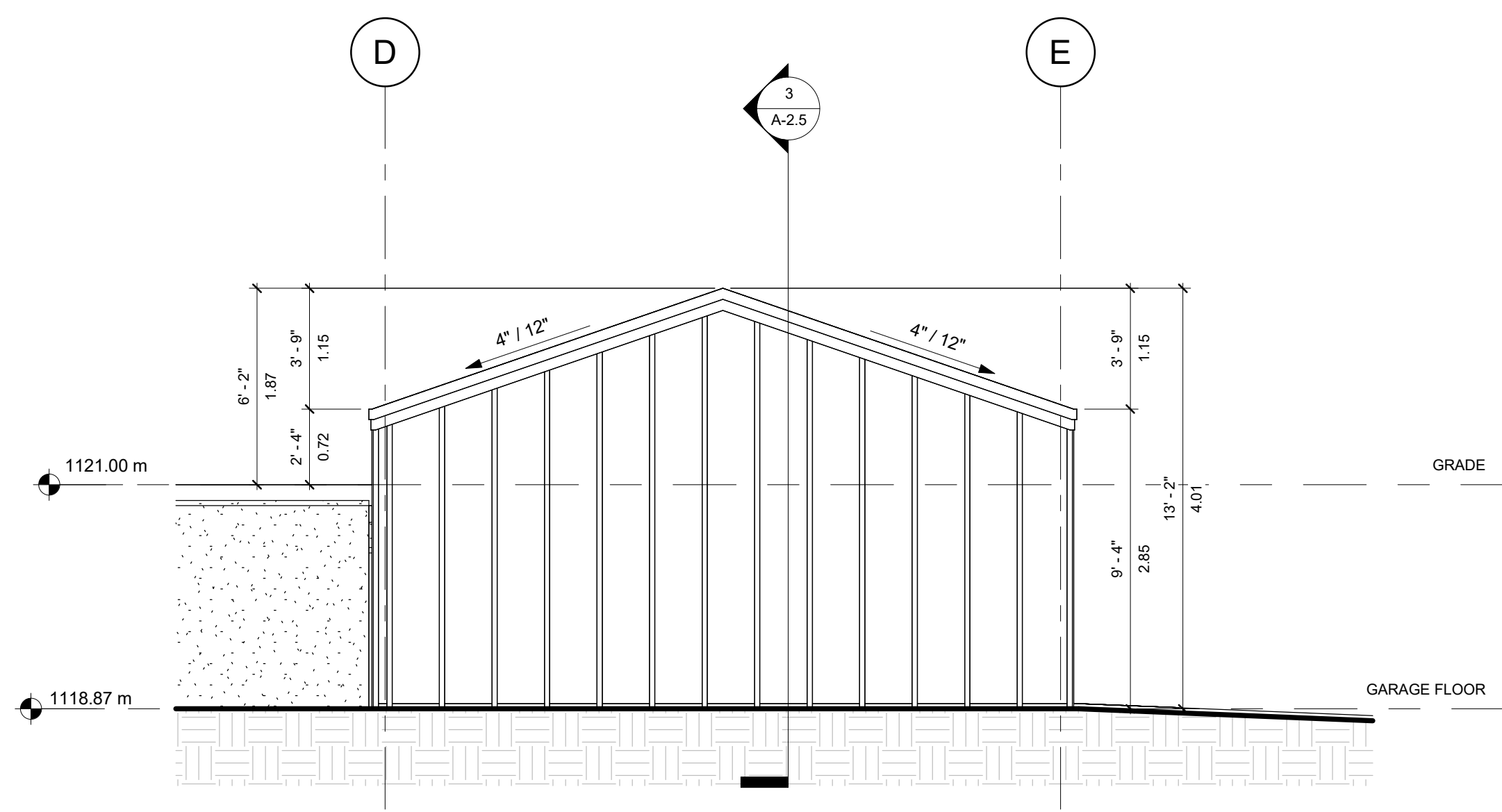
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② METAL ROOFING, DARK TONE
③ ALLUMINUM RAINWARE, DARK TONE
④ SMART BOARD - DARK TONE
⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE
⑥ CORRUGATED METAL CLADDING
⑦ EXTERIOR WINDOWS/DOOR FRAME, DARK TONE
⑧ PRECAST CONC. STEPS
⑨ FENCE
⑩ EXTERIOR LIGHT FIXTURE
⑪ HARDIE FACIA
⑫ HARDIE TRIM BOARD
⑬ CONCRETE STAIRS



1 FRONT ELEVATION
1 : 50



2 RIGTH SIDE ELEVATION
1 : 50



4 LEFT SIDE ELEVATION
1 : 50

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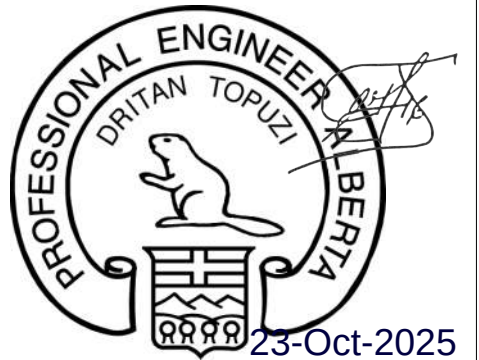


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Drawing Title:
GARAGE ELEVATIONS

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PROPOSED MATERIAL
LEGEND

- ① ASPHALT ROOFING, DARK TONE
② METAL ROOFING, DARK TONE
③ ALLUMINUM RAINWARE, DARK TONE
④ SMART BOARD - DARK TONE
⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE
⑥ CORRUGATED METAL CLADDING
⑦ EXTERIOR WINDOWS/DOOR FRAME, DARK TONE
⑧ PRECAST CONC. STEPS
⑨ FENCE
⑩ EXTERIOR LIGHT FIXTURE
⑪ HARDIE FACIA
⑫ HARDIE TRIM BOARD
⑬ CONCRETE STAIRS



1 FRONT / WEST ELEVATION
1 : 50

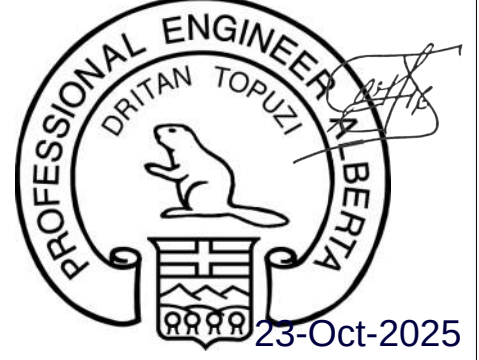
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Project:
2240 30 AVE SW

Drawing Title:
FRONT ELEVATION

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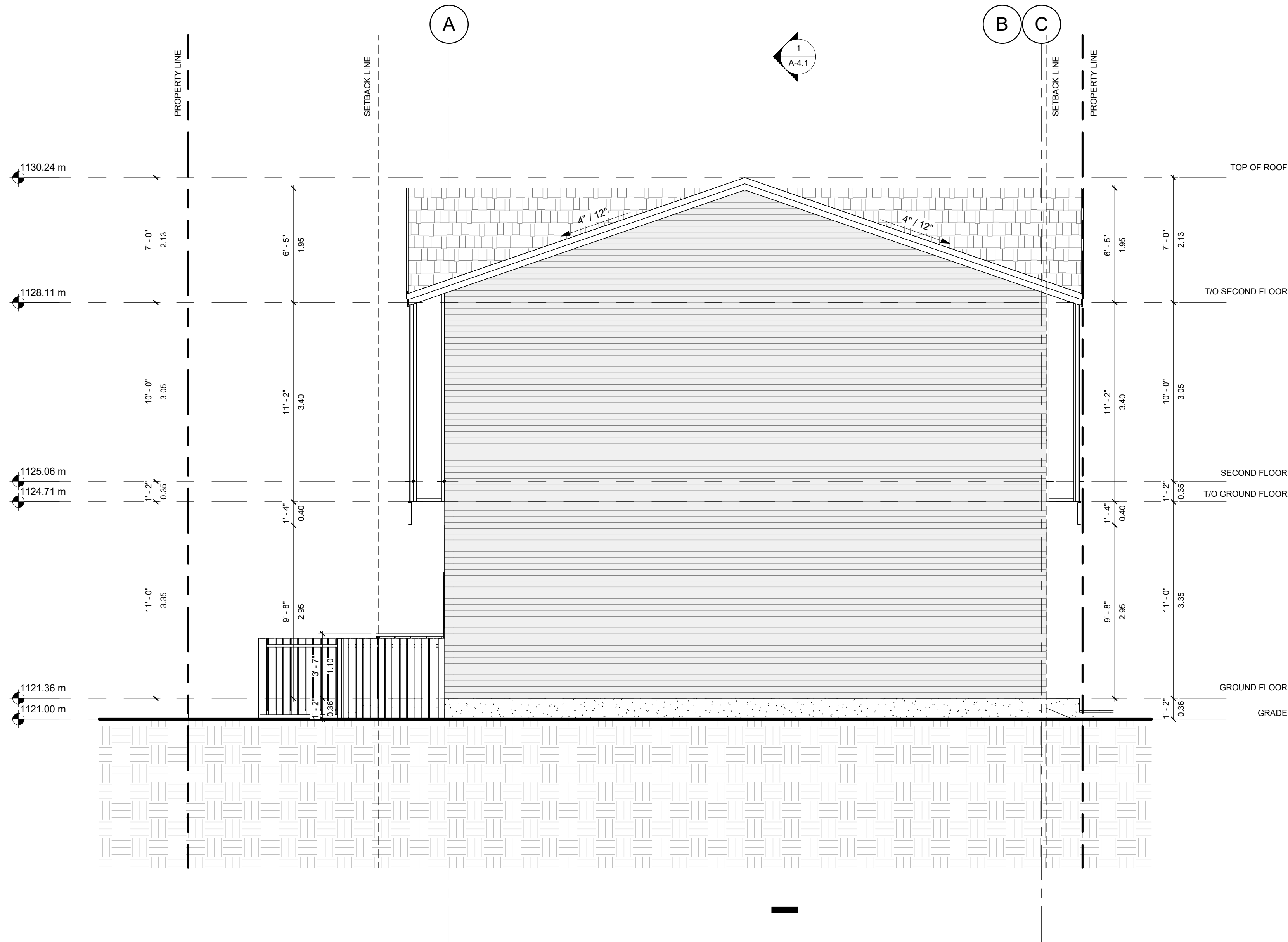
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- ② METAL ROOFING, DARK TONE
- ③ ALUMINUM RAINWATER, DARK TONE
- ④ SMART BOARD - DARK TONE
- ⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE
- ⑥ CORRUGATED METAL CLADDING
- ⑦ EXTERIOR WINDOW/S DOOR FRAME, DARK TONE
- ⑧ PRECAST CONC. STEPS
- ⑨ FENCE
- ⑩ EXTERIOR LIGHT FIXTURE
- ⑪ HARDIE FACIA
- ⑫ HARDIE TRIM BOARD
- ⑬ CONCRETE STAIRS



Sheet No.	A-3.2
Scale (UNO)	As Shown

PROPOSED MATERIAL
LEGEND

- ① ASPHALT ROOFING, DARK TONE
② METAL ROOFING, DARK TONE
③ ALLUMINUM RAINWARE, DARK TONE
④ SMART BOARD - DARK TONE
⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE
⑥ CORRUGATED METAL CLADDING
⑦ EXTERIOR WINDOWS/DOOR FRAME, DARK TONE
⑧ PRECAST CONC. STEPS
⑨ FENCE
⑩ EXTERIOR LIGHT FIXTURE
⑪ HARDIE FACIA
⑫ HARDIE TRIM BOARD
⑬ CONCRETE STAIRS



1 NORTH SIDE ELEVATION
1 : 50

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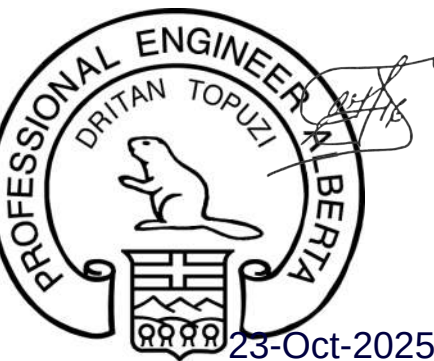


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Drawing Title:
SIDE ELEVATION

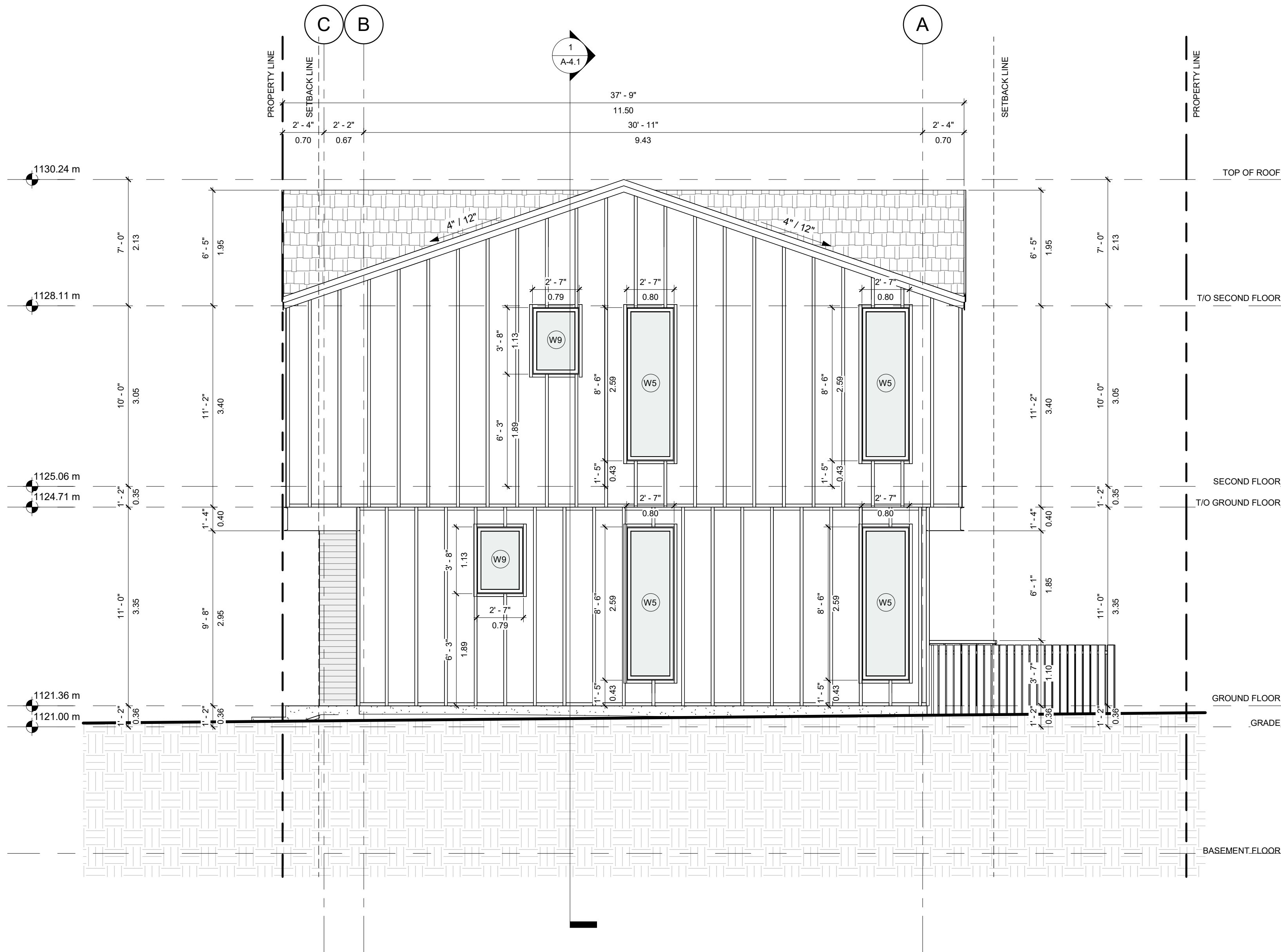
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Sheet No. **A-3.3**
Scale (UNO) As Shown

PROPOSED MATERIAL
LEGEND

- ① ASPHALT ROOFING, DARK TONE
② METAL ROOFING, DARK TONE
③ ALLUMINUM RAINWARE, DARK TONE
④ SMART BOARD - DARK TONE
⑤ HARDIE SMART BOARD WIDTH 200MM SPACED VERTICAL BATTENS, LIGHT TONE
⑥ CORRUGATED METAL CLADDING
⑦ EXTERIOR WINDOWS/DOOR FRAME, DARK TONE
⑧ PRECAST CONC. STEPS
⑨ FENCE
⑩ EXTERIOR LIGHT FIXTURE
⑪ HARDIE FACIA
⑫ HARDIE TRIM BOARD
⑬ CONCRETE STAIRS



1 SOUTH SIDE ELEVATION
1 : 50

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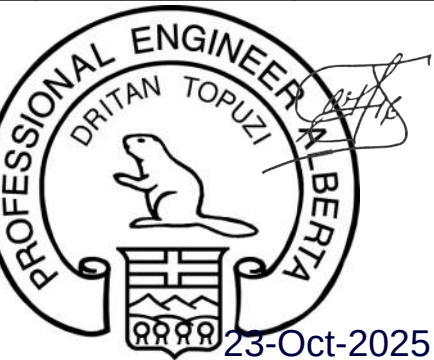


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Project:
2240 30 AVE SW

Drawing Title:
SIDE ELEVATION

01	DP	23.10.2025
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Sheet No. **A-3.4**
Scale (UNO) As Shown