



## LIST OF DRAWINGS

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A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front and Rear Elevations
A-2.1	Right Elevation
A-2.2	Left Elevation
A-4.0	Garage Plan
A-4.1	Garage Elevation 1
A-4.2	Garage Elevation 2
A-4.3	Garage Section

### FLOOR AREA

BASEMENT	=	901.00 SQ. FT.
MAIN	=	937.67 SQ. FT.
UPPER	=	1023.38 SQ. FT.
<b>TOTAL</b>	<b>=</b>	<b>1961.05 SQ. FT.</b>

### PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
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### ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	10/10/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **NEW HOME**

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-01-22 11:24:47 AM

PROJECT NAME:  
1159 - Radnor Ave NE (WEST LOT)  
Calgary, Alberta

DESIGNER: JT      JOB #: #349-25

SCALE: AS SHOWN      SHEET: A-0.0

# SITE PLAN

## LEGEND

ELEVATIONS ARE SHOWN THUS:  $\bullet$  = 1000.00 METRES. (GEODETIC)  
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 55269 AND 179085  
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\bullet$  ----- denotes Calculation points
- $\boxtimes$  ----- denotes Water Valve
- $\blacklozenge$  ----- denotes Gas Valve
- $\odot$  ----- denotes Manhole
- $\odot$  ----- denotes Tree
- $\bullet$  ----- denotes Power Pole
- $\triangle$  ----- denotes Sign
- $\odot$  ----- denotes Light Standard
- X-X- denotes Fence
- S ----- denotes Sanitary Line
- ST ----- denotes Storm Line
- w ----- denotes Water Line
- G ----- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'Ret.' denotes Retaining  
 'BW' denotes Back of Walkway  
 'BC' denotes Back of Curb  
 'BOW' denotes Bottom of Wall  
 'TOW' denotes Top of Wall

**Disclaimer**  
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

**LAND USE:** R-C2 Residential  
 Contextual One/Two Dwelling

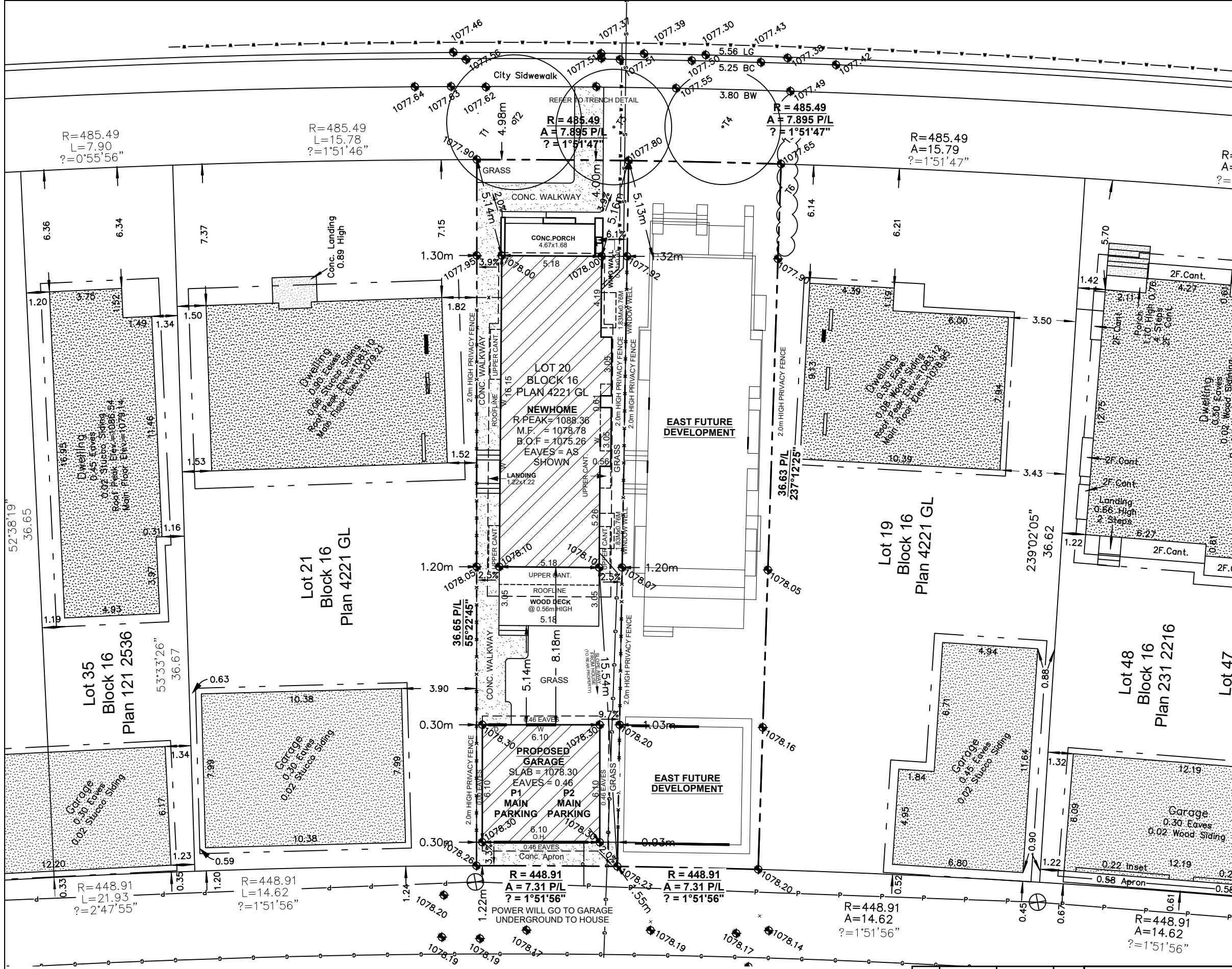
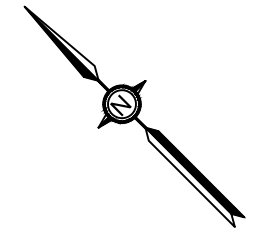
**SCALE** 1:200

**LEGAL DESCRIPTION:**

Lot 20  
 Block 16  
 Plan 4221 GL

**MUNICIPAL ADDRESS:**  
 1159 Radnor Ave. N.E.  
 Calgary, Alberta (West)

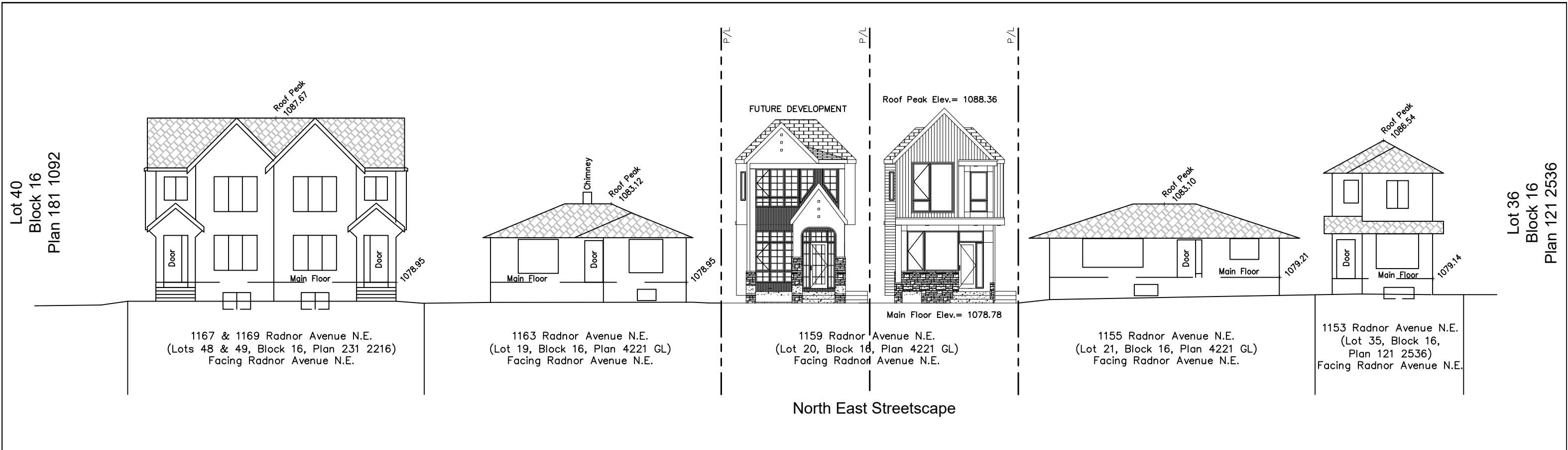
**LOT COVERAGE DETAIL:**  
 (SINGLE LOT AND HOUSE)  
 LOT SIZE: 278.270 SQ M  
 HOUSE SIZE: 87.112 SQ M  
 GARAGE: 37.161 SQ M  
 COVERED PORCH: 0.00 SQ M  
 CANT.: 3.406 SQ M  
 WING WALL: 0.094 SQ M  
 = 124.367/278.270  
 = 44.70%



**SITE PLAN/BLOCK PLAN**  
 SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY
01.	10/10/2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
1159 Radnor Ave. N.E. Calgary, Alberta	SINGLE DETACHED	1:200
Lot 20 Block 16 Plan 4221 GL	DATE:	DIVISION NUMBER
	Oct. 10, 2025	S 01

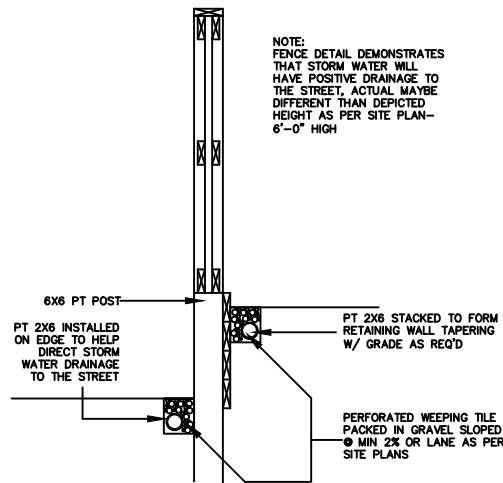


**TREE SCHEDULE:**

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Bush	---	0.6	1.0	In City Property	To Stay
T2	European Birch	0.20	7.0	6.0	In City Property	To Stay
T3	Manitoba Maple	0.10	6.0	5.0	In City Property	To Be Removed
T4	European Birch	0.10	6.0	4.0	In City Property	To Be Removed
T5	Bush	---	0.0	0.0	In City Property	To Stay
T6	Bush	---	0.0	0.0	In Adjacent Property	To Stay

SINGLE DETACHED SQFT.

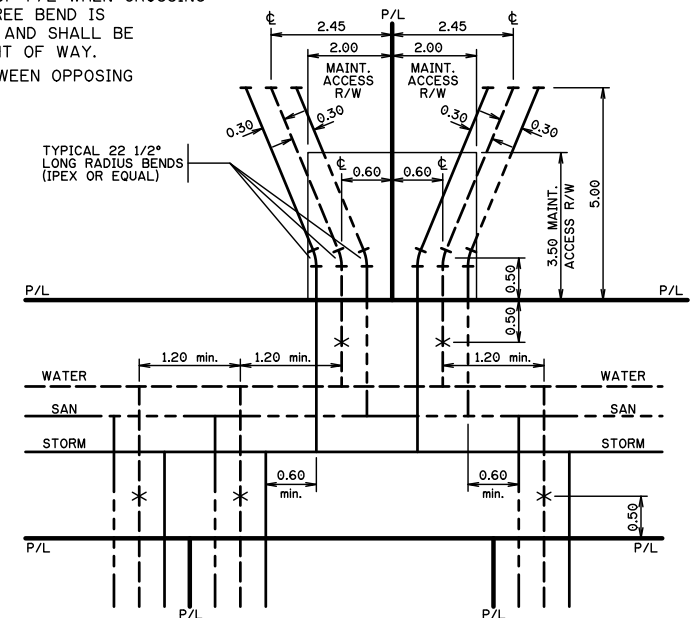
	UNIT #1
<b>GARAGE</b>	<b>400.00 SQ FT</b>
<b>BASEMENT</b>	<b>901.00 SQ FT</b>
<b>MAIN FLOOR</b>	<b>937.67 SQ FT</b>
<b>UPPER FLOOR</b>	<b>1023.38 SQ FT</b>
<b>TOTAL AREA</b>	<b>1961.05 SQ FT</b>



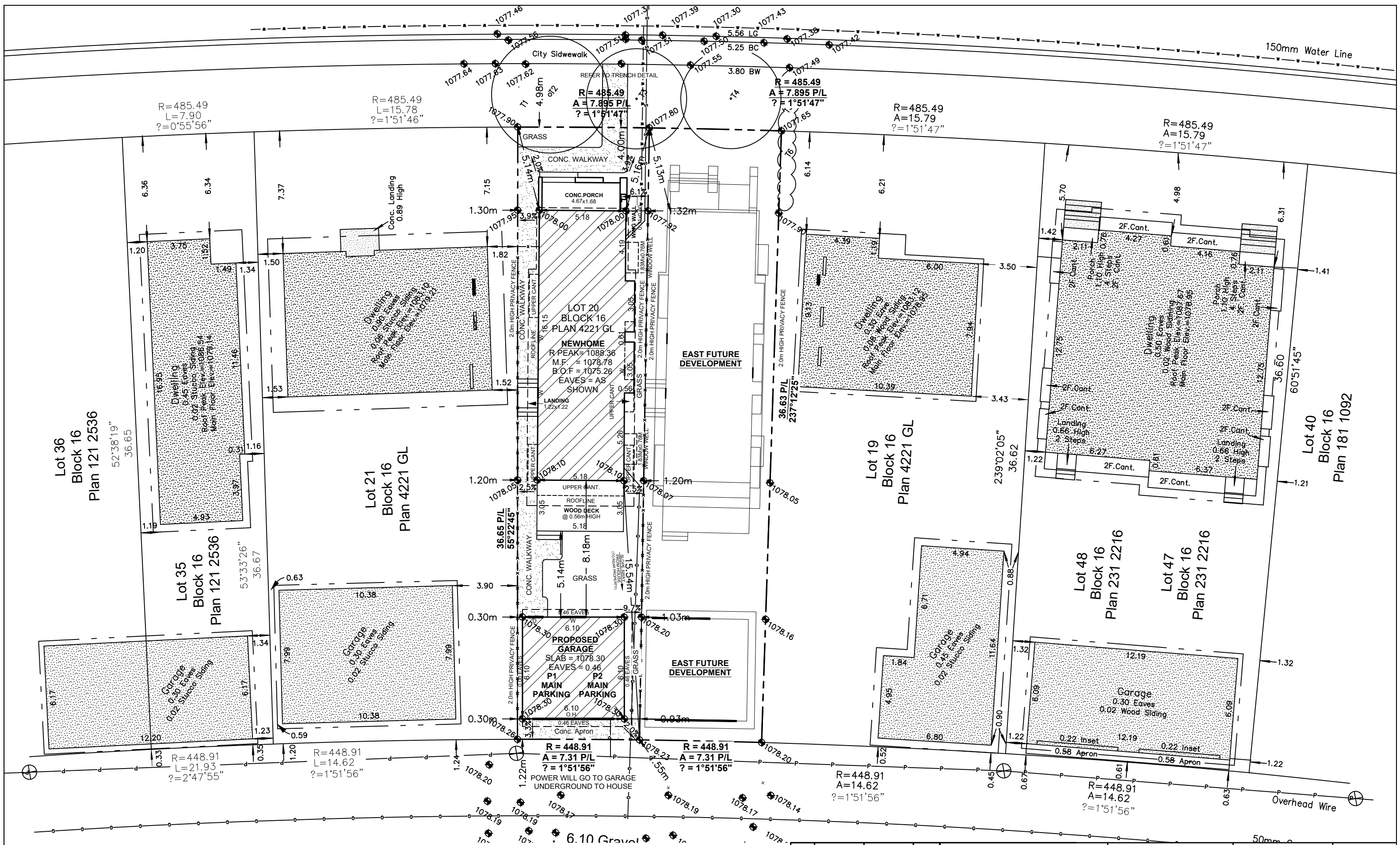
FENCE SECTION DETAIL  
SCALE: NTS

**NOTES:**

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	10/10/2025	DP SITEPLAN	K.G.	1159 Radnor Ave. N.E. Calgary, Alberta	SINGLE DETACHED	AS SHOWN
02.				Lot 20 Block 16 Plan 4221 GL		
03.						
04.						
					DATE:	DIVISION NUMBER
					Oct. 10, 2025	S 02



**BLOCK PLAN**  
 SCALE: 1:250

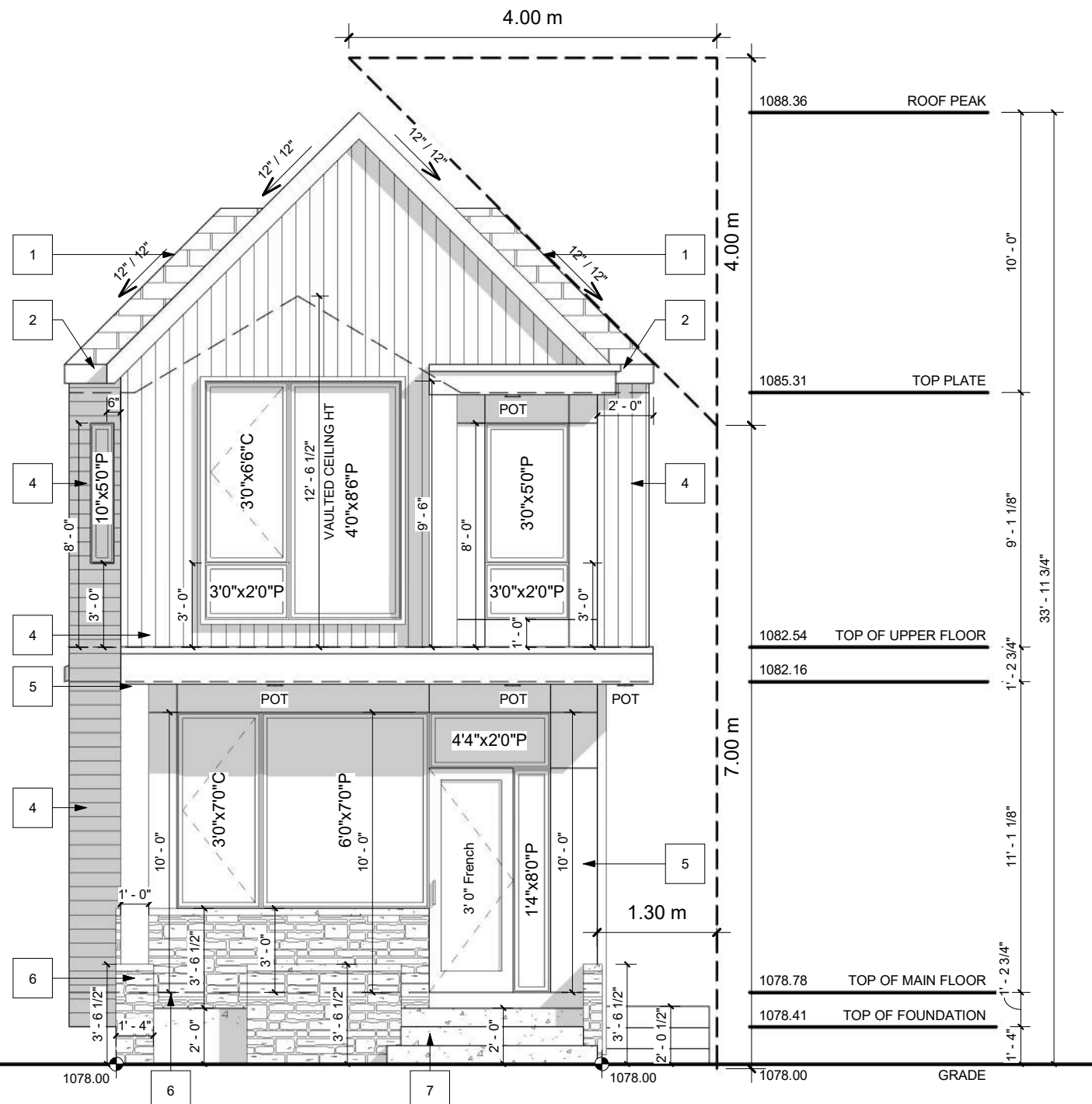
NO.	DATE (D/M/Y)	DETAIL	BY
01.	10/10/2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS: 1159 Radnor Ave. N.E. Calgary, Alberta	SCALE: 1:250
Lot 20 Block 16 Plan 4221 GL	DIVISION NUMBER: S 03
DATE: Oct. 10, 2025	

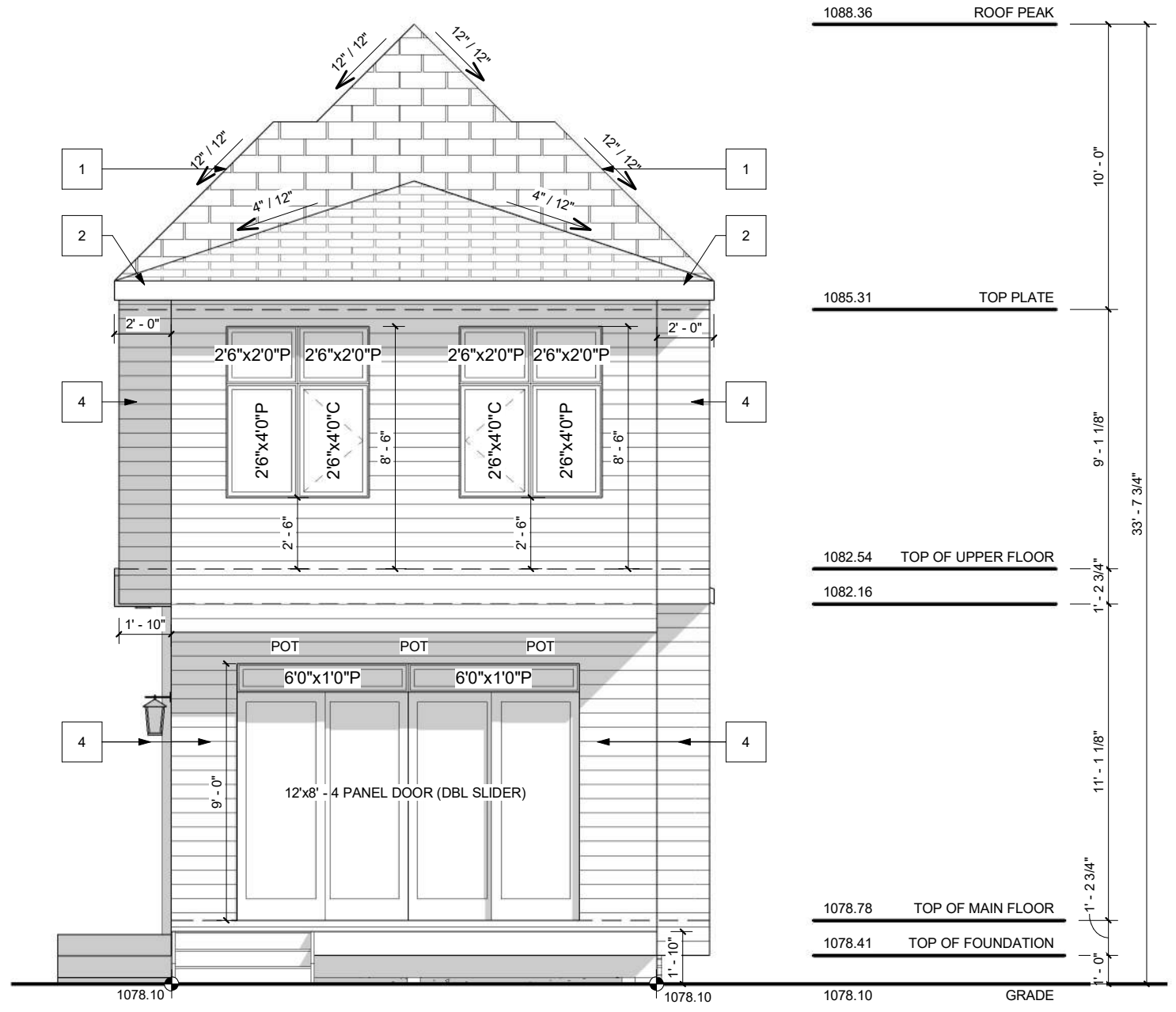
**EXTERIOR FINISHES:**

- |                       |                          |                          |
|-----------------------|--------------------------|--------------------------|
| 1 ASPHALT SHINGLES    | 4 HARDIE FINISH - BLACK  | 7 CAST-IN-PLACE CONCRETE |
| 2 6" ALUMNIMUM FASCIA | 5 SMOOTH STUCCO - BLACK  | 8 CONCRETE PARGING       |
| 3 WOOD SOFFIT         | 6 STONE FINISH AS SPEC'D |                          |

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**FRONT ELEVATION**  
 SCALE: 3/16" = 1'-0"



**REAR ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**  
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**ISSUES:**

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01.	10/10/2025	DP PLANS	K.G.
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04.	--	--	--
05.	--	--	--

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**PROJECT:** NEW HOME  
**STATUS:** -  
**SIGNATURES:** X  
**PRINTED:** 2026-01-22 11:24:50 AM



**PROJECT NAME:** 1159 - Radnor Ave NE (WEST LOT) Calgary, Alberta  
**DESIGNER:** JT **JOB #:** #349-25  
**SCALE:** AS SHOWN **SHEET:** A-2.0

**EXTERIOR FINISHES:**

- |                       |                          |                          |
|-----------------------|--------------------------|--------------------------|
| 1 ASPHALT SHINGLES    | 4 HARDIE FINISH - BLACK  | 7 CAST-IN-PLACE CONCRETE |
| 2 6" ALUMNIMUM FASCIA | 5 SMOOTH STUCCO - BLACK  | 8 CONCRETE PARGING       |
| 3 WOOD SOFFIT         | 6 STONE FINISH AS SPEC'D |                          |

**WINDOW CALCULATION**  
 WALL AREA = 1302.64 SQ. FT.  
 WINDOW AREA = 50.87 SQ. FT.  
 TOTAL: 50.87 / 1302.64 = 3.91%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

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01.	10/10/2025	DP PLANS	K.G.
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**PROJECT:**

NEW HOME

**STATUS:**

-

**SIGNATURES:**

X

PRINTED: 2026-01-22 11:24:51 AM



**PROJECT NAME:**

1159 - Radnor Ave NE (WEST LOT)  
 Calgary, Alberta

**DESIGNER:**

JT

**JOB #:**

#349-25

**SCALE:**

AS SHOWN

**SHEET:**

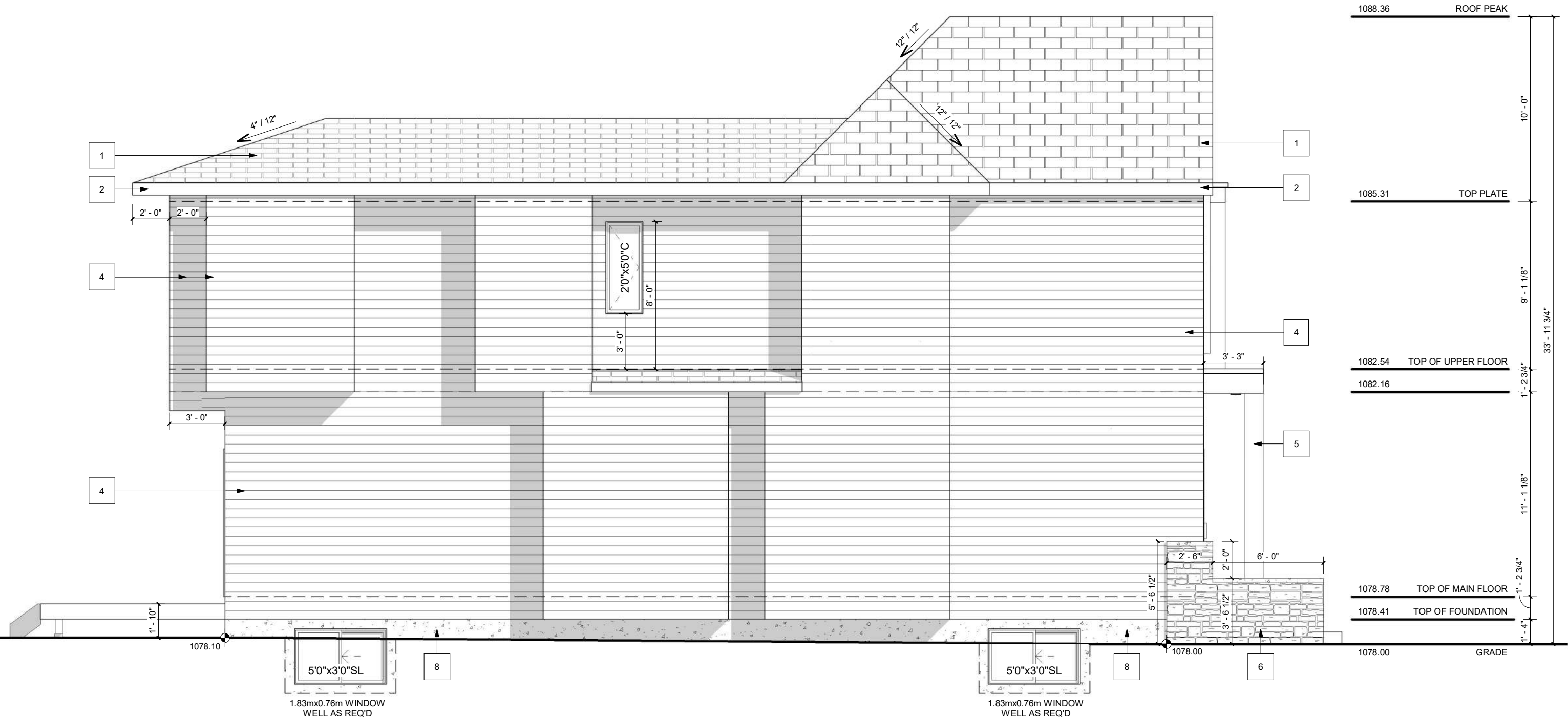
A-2.1

**EXTERIOR FINISHES:**

- |                       |                          |                          |
|-----------------------|--------------------------|--------------------------|
| 1 ASPHALT SHINGLES    | 4 HARDIE FINISH - BLACK  | 7 CAST-IN-PLACE CONCRETE |
| 2 6" ALUMNIMUM FASCIA | 5 SMOOTH STUCCO - BLACK  | 8 CONCRETE PARGING       |
| 3 WOOD SOFFIT         | 6 STONE FINISH AS SPEC'D |                          |

**WINDOW CALCULATION**  
 WALL AREA = 1296.47 SQ. FT.  
 WINDOW AREA = 17.78 SQ. FT.  
 TOTAL: 17.78 / 1296.47 = 1.37%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
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**PROJECT:**

NEW HOME

**STATUS:**

-

**SIGNATURES:**

X

PRINTED: 2026-01-22 11:24:52 AM



**PROJECT NAME:**

1159 - Radnor Ave NE (WEST LOT)  
 Calgary, Alberta

**DESIGNER:**

JT

**JOB #:**

#349-25

**SCALE:**

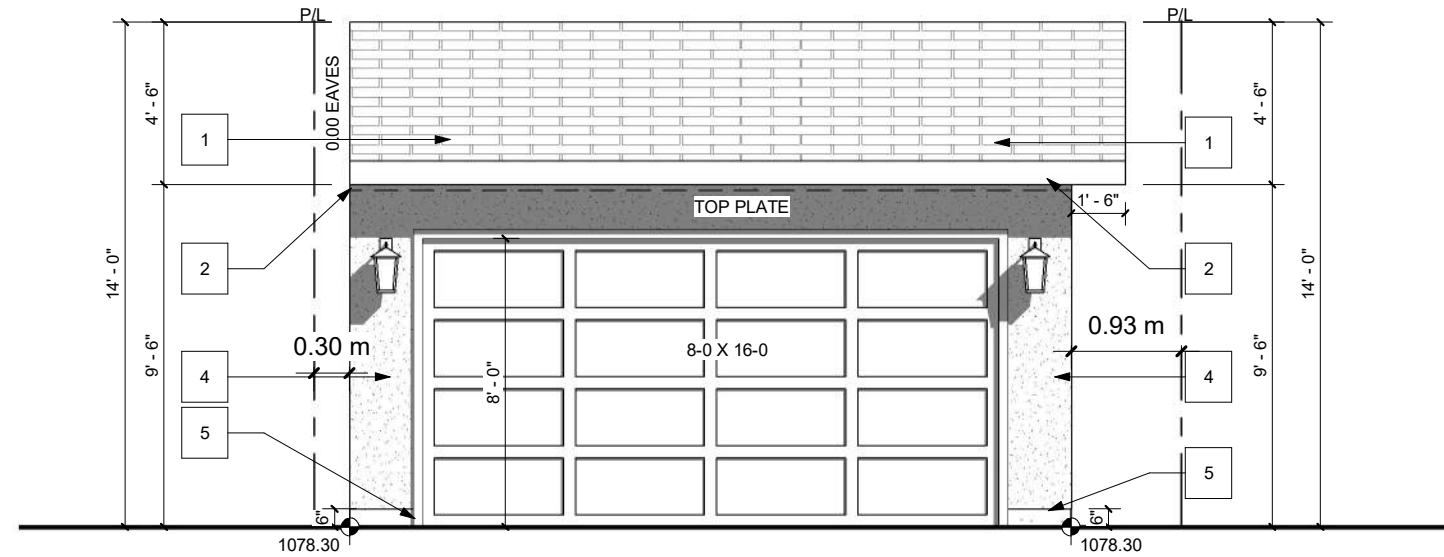
AS SHOWN

**SHEET:**

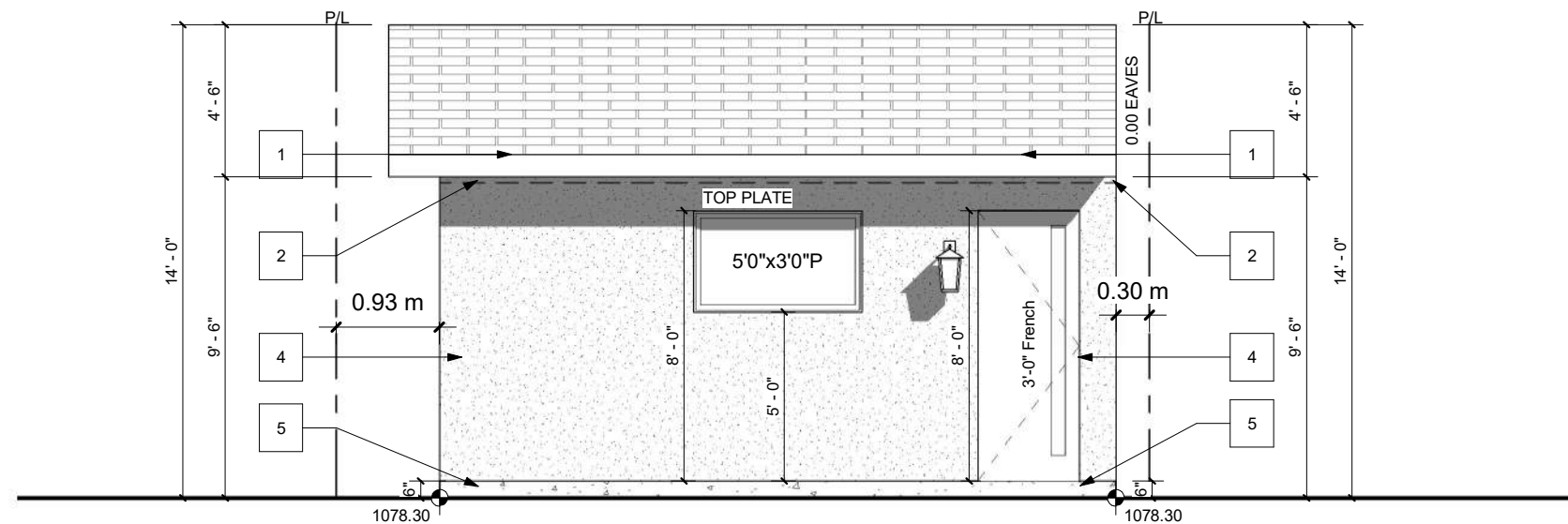
A-2.2

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 STUCCO FINISH
- 5 CONC. PARGING



**GARAGE FRONT - BACK LANE**  
SCALE: 3/16" = 1'-0"



**GARAGE REAR**  
SCALE: 3/16" = 1'-0"

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PROJECT: **NEW HOME**

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-01-22 11:24:53 AM

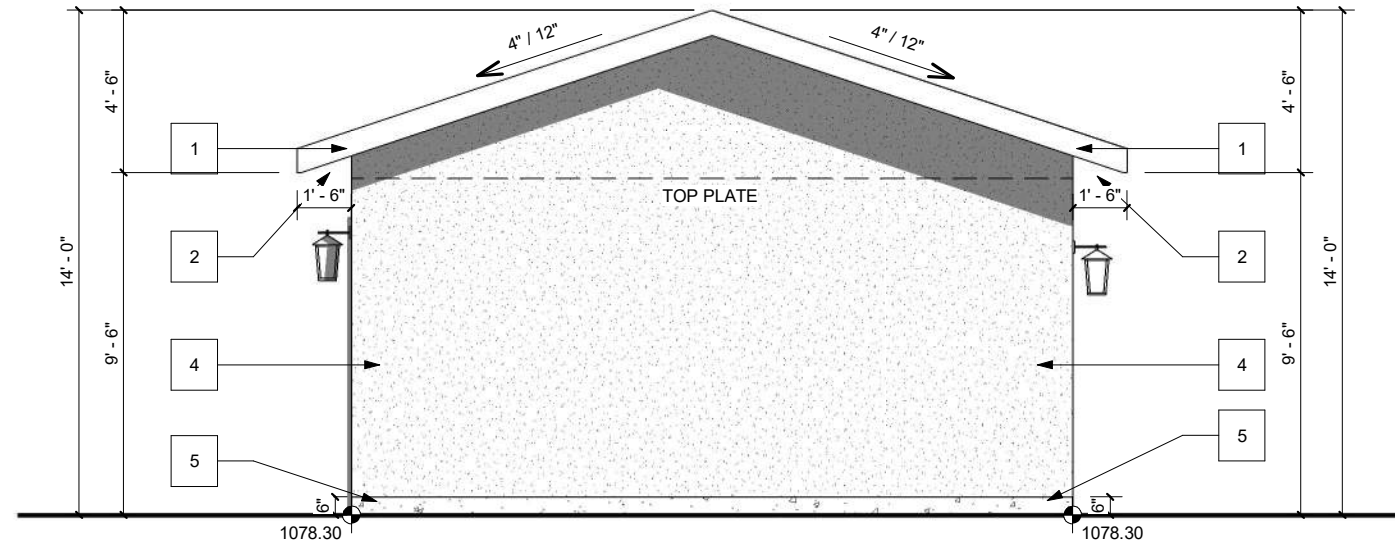
PROJECT NAME:  
1159 - Radnor Ave NE (WEST LOT)  
Calgary, Alberta

DESIGNER: JT      JOB #: #349-25

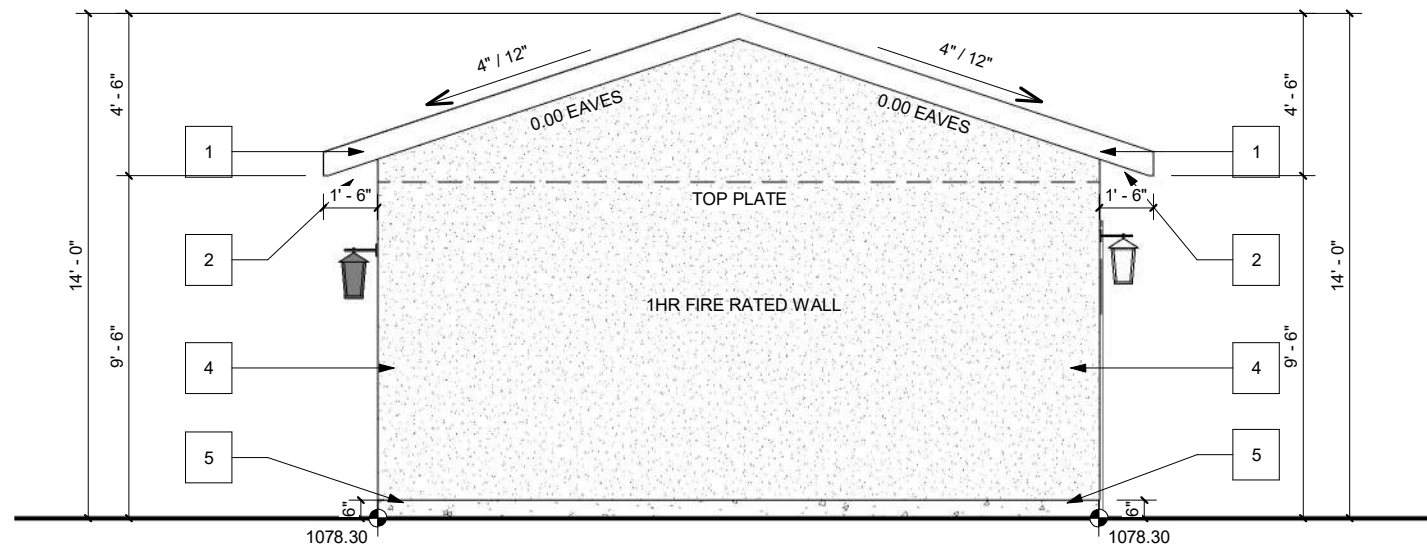
SCALE: AS SHOWN      SHEET: A-4.1

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 STUCCO FINISH
- 5 CONC. PARGING



**GARAGE LEFT**  
SCALE: 3/16" = 1'-0"



**GARAGE RIGHT**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT: **NEW HOME**

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 2026-01-22 11:24:54 AM

PROJECT NAME:  
1159 - Radnor Ave NE (WEST LOT)  
Calgary, Alberta

DESIGNER: JT      JOB #: #349-25

SCALE: AS SHOWN      SHEET: A-4.2