

SITE PLAN

- LEGEND**
- ELEVATIONS ARE SHOWN THUS: \blacksquare = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
- THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- \blacksquare ----- denotes Calculation points
 - \square ----- denotes Water Valve
 - \blacklozenge ----- denotes Gas Valve
 - \odot ----- denotes Manhole
 - \odot ----- denotes Tree
 - \bullet ----- denotes Power Pole
 - \triangle ----- denotes Sign
 - \odot ----- denotes Light Standard
 - X-X- denotes Fence
 - S-S- denotes Sanitary Line
 - ST-ST- denotes Storm Line
 - W-W- denotes Water Line
 - G-G- denotes Gas Line
 - E-E- denotes Electrical Line
 - A.G.T-A.G.T- denotes A.G.T Line
 - denotes Utility Right of Way Line
 - denotes Property Line
 - denotes Door
 - denotes Main Floor Windows
 - denotes Second Floor Windows
 - denotes Basement Floor Windows
 - denotes Shed Hatch
 - denotes Detached Garage Hatch
 - denotes Main Building Hatch
 - denotes Concrete and Asphalt Hatch
 - denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
 Lot 5
 Block 21
 Plan 8942 GB

MUNICIPAL ADDRESS:
 401 19 Street NW
 Calgary, Alberta

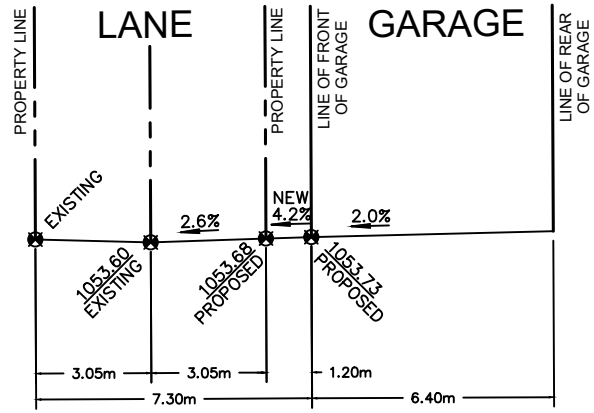
LOT COVERAGE DETAIL: (CLUSTER)	DENSITY:
LOT SIZE: 551.562 SQ M	TOTAL UNITS: 4
HOUSE SIZE: 241.037 SQ M	LOT SIZE: 551.562 SQ M (0.0551562 ha)
CANT.: 0.000 SQ M	DENSITY: 72 UNITS/ha
COVERED PORCH: 0.000 SQ M	PARKING:
GARAGE: 82.777 SQ M	PARKING PROVIDED: 4 STALLS
WINGWALL: 0.000 SQ M	
TOTAL: 323.814/551.562	
= 58.71%	

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	SCALE:	
01.	16/10/2025	DP PLANS	K.R.	401 19th St NW Calgary, Alberta	1: 200	
02.	--	--	--	Lot 5 Block 21 Plan 8942 GB	DATE: OCTOBER 16, 2025	
03.	--	--	--			DIVISION NUMBER: S 01
04.	--	--	--			

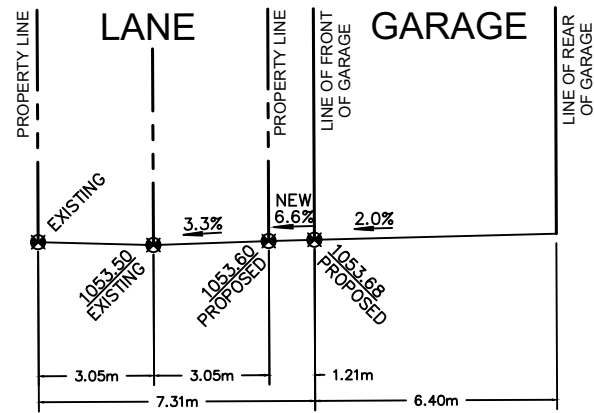
SITE PLAN

SCALE: 1:200

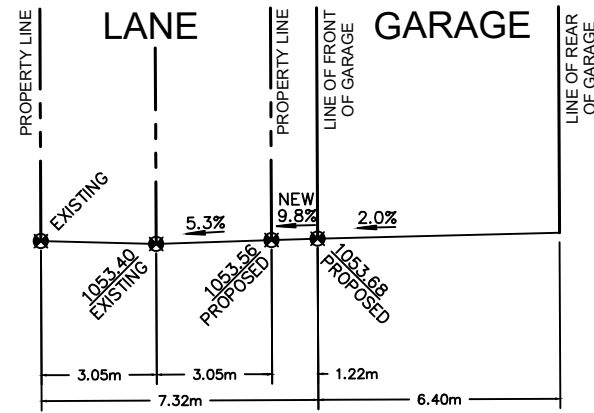
DRIVE WAY SLOPE DETAIL #1



DRIVE WAY SLOPE DETAIL #2

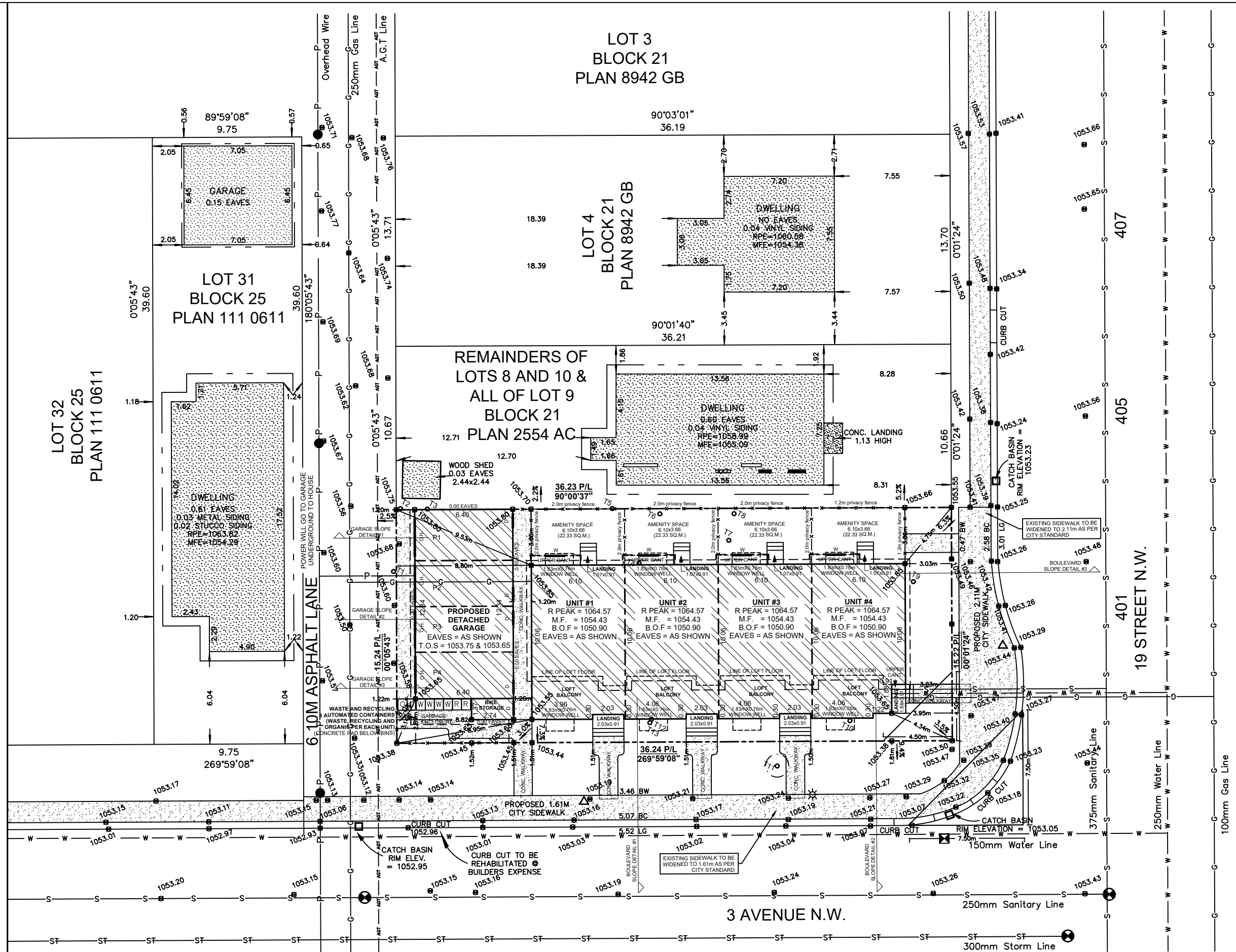


DRIVE WAY SLOPE DETAIL #3



DRIVE WAY SLOPE DETAILS
SCALE: NTS

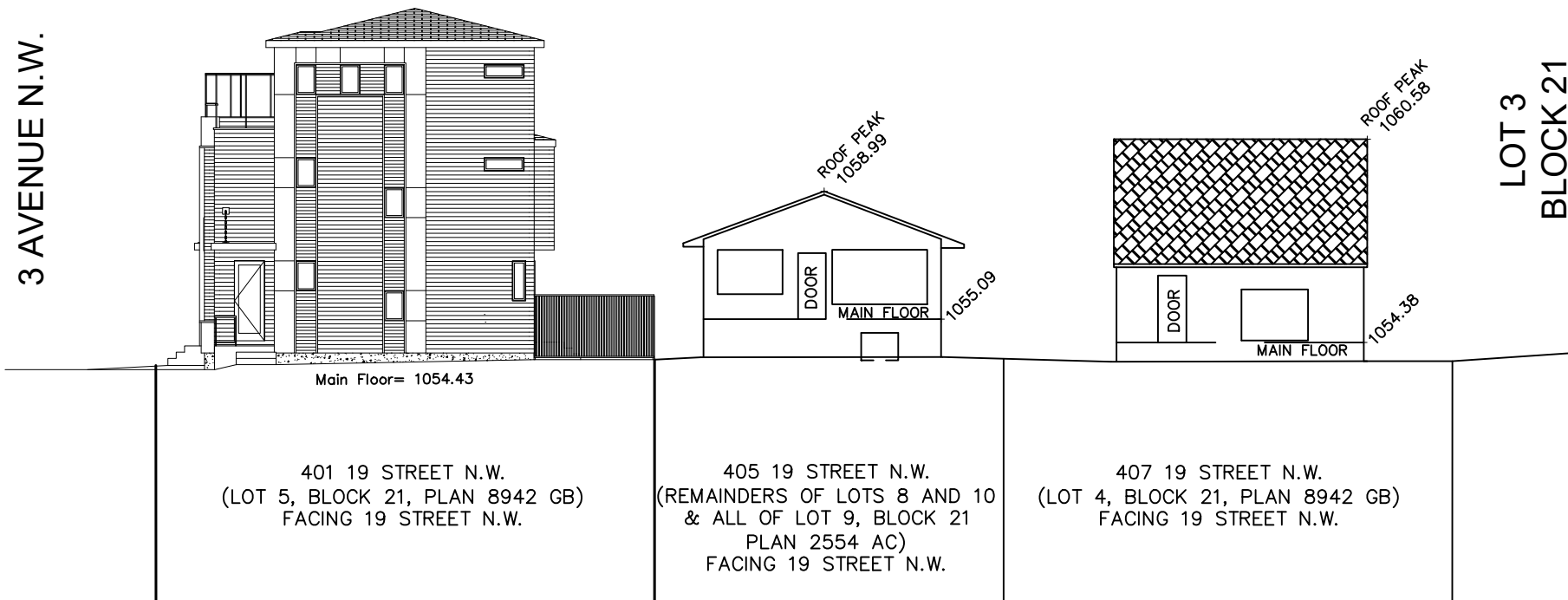
BLOCK PLAN
SCALE: 1:250



NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	16/10/2025	DP PLANS	K.R.	401 19th St NW Calgary, Alberta	ROW HOUSE	1: 200
02.	--	--	--	Lot 5	DATE:	DIVISION NUMBER:
03.	--	--	--	Block 21	OCTOBER 16, 2025	S 02
04.	--	--	--	Plan 8942 GB		

3 AVENUE N.W.

Roof Peak Elev.= 1064.57



LOT 3
BLOCK 21
PLAN 8942 GB

GROSS FLOOR AREAS

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA
BASEMENT	653.00 SQ FT	660.00 SQ FT	660.00 SQ FT	660.00 SQ FT
MAIN FLOOR	634.50 SQ FT	653.33 SQ FT	653.33 SQ FT	653.33 SQ FT
UPPER FLOOR	674.33 SQ FT	674.33 SQ FT	674.33 SQ FT	674.33 SQ FT
LOFT	486.25 SQ FT	486.25 SQ FT	486.25 SQ FT	486.25 SQ FT
TOTAL AREA	1795.08 SQ FT	1813.91 SQ FT	1813.91 SQ FT	1813.91 SQ FT

EAST STREETScape

LOT 32
BLOCK 25
PLAN 111 0611

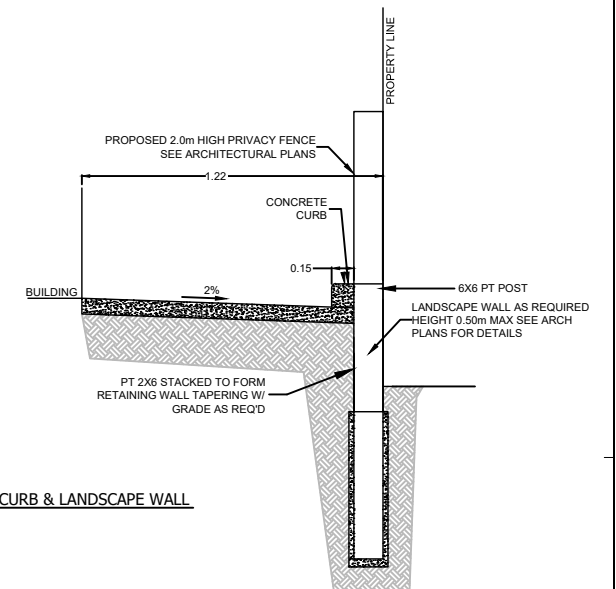
Roof Peak
1063.82



19 STREET N.W.

SOUTH STREETScape

IF APPLICABLE



CONCRETE CURB & LANDSCAPE WALL

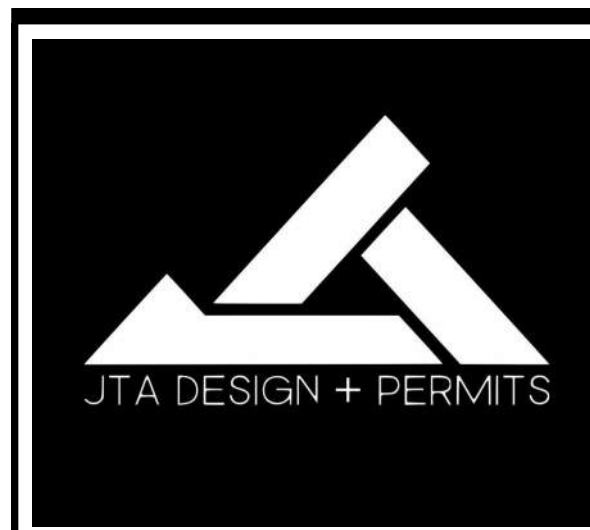
NOTE: USE ON SITE ONLY WHERE APPLICABLE

FENCE SECTION DETAIL

STREETSCAPE
SCALE: 1:200

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02.	--	--	--	Lot 5 Block 21 Plan 8942 GB	DATE: OCTOBER 16, 2025	DIVISION NUMBER: S 04
03.	--	--	--			
04.	--	--	--			

LIST OF DRAWINGS	
A-0.0	Cover Page
A-0.1	General Notes & Schedules
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevations
A-2.1	Left & Right Elevations
A-3.0	Garage Plans & Elevations



GENERAL NOTES:



MUNICIPAL ADDRESS:
401 19 Street N.W.
CALGARY, AB

PROJECT:
FOUR UNIT ROWHOUSE

PROJECT NUMBER:
335 - 25

STATUS:
DP

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

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04.	--	--	--
05.	--	--	--
06.	--	--	--

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DRAWING SET:
DP PLANS

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY: -

PRINTED: 2026-01-26 12:19:19 PM

SCALE:

PAGE: **A-0.0**

FLOOR AREA - #UNIT 1	FLOOR AREA - #UNIT 2	FLOOR AREA - #UNIT 3	FLOOR AREA - #UNIT 4
BASEMENT = 653.00 SQ. FT.	BASEMENT = 660.00 SQ. FT.	BASEMENT = 660.00 SQ. FT.	BASEMENT = 660.00 SQ. FT.
MAIN = 634.50 SQ. FT.	MAIN = 653.33 SQ. FT.	MAIN = 653.33 SQ. FT.	MAIN = 653.33 SQ. FT.
UPPER = 674.33 SQ. FT.	UPPER = 674.33 SQ. FT.	UPPER = 674.33 SQ. FT.	UPPER = 674.33 SQ. FT.
LOFT = 486.25 SQ. FT.	LOFT = 486.25 SQ. FT.	LOFT = 486.25 SQ. FT.	LOFT = 486.25 SQ. FT.
TOTAL = 1795.08 SQ. FT.	TOTAL = 1813.91 SQ. FT.	TOTAL = 1813.91 SQ. FT.	TOTAL = 1813.91 SQ. FT.

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUM. FASCIA
- 3 HARDIE SIDING - DARK GRAY
- 4 SMOOTH STUCCO - WHITE
- 5 SMOOTH STUCCO - LIGHT GRAY
- 6 SMOOTH STUCCO - BLACK
- 7 HARDIE SIDING - WOOD
- 8 CAST IN PLACE CONCRETE
- 9 CONCRETE PAVING

ROOF PEAK	1064.57
TOP PLATE	1063.19
T.O. LOFT FLOOR	1060.72
T.O. UPPER FLOOR	1057.58
T.O. MAIN FLOOR	1054.43
T.O. FOUNDATION	1054.05
GRADE	1053.55



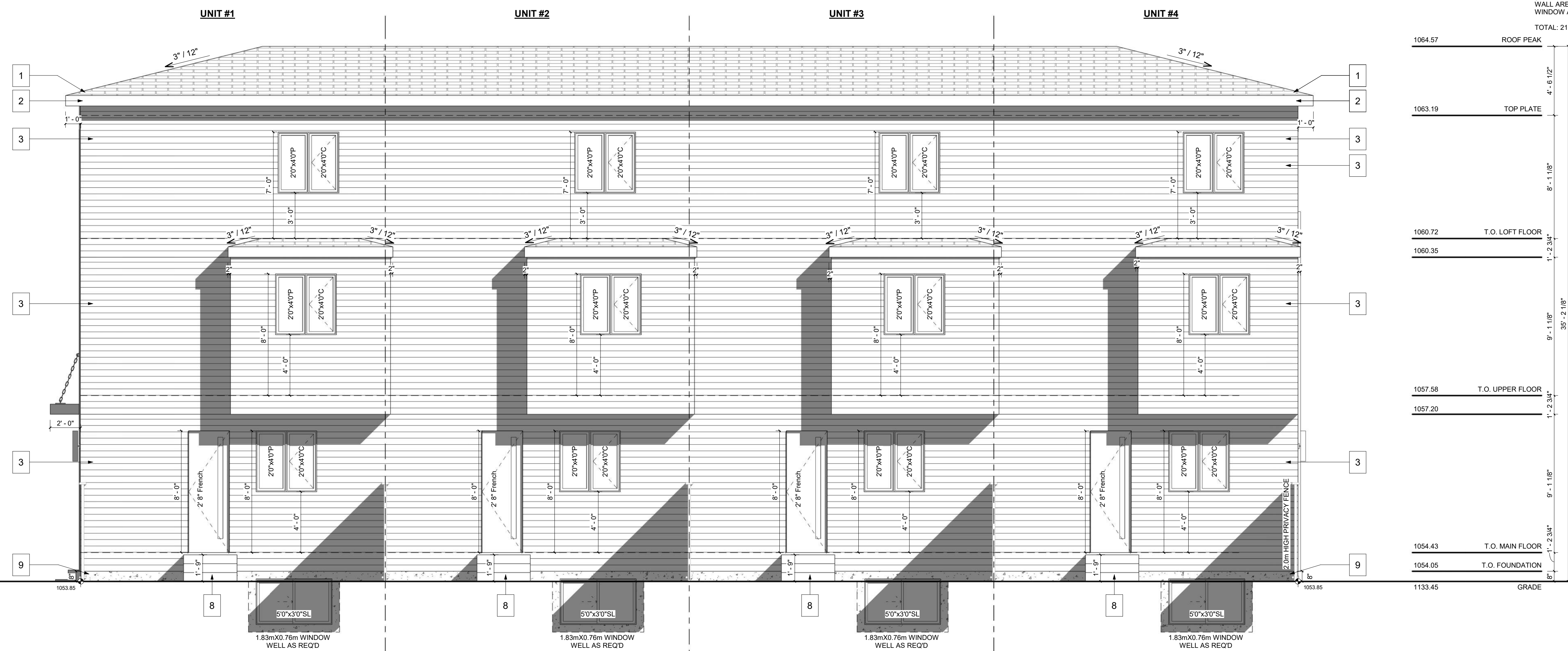
ROOF PEAK	1064.57
TOP PLATE	1063.19
T.O. LOFT FLOOR	1060.72
T.O. UPPER FLOOR	1057.58
T.O. MAIN FLOOR	1054.43
T.O. FOUNDATION	1054.05
GRADE	1053.55

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUM. FASCIA
- 3 HARDIE SIDING - DARK GRAY
- 4 SMOOTH STUCCO - WHITE
- 5 SMOOTH STUCCO - LIGHT GRAY
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ROOF PEAK	1064.57
TOP PLATE	1063.19
T.O. LOFT FLOOR	1060.72
T.O. UPPER FLOOR	1057.58
T.O. MAIN FLOOR	1054.43
T.O. FOUNDATION	1054.05
GRADE	1133.45



ROOF PEAK	1064.57
TOP PLATE	1063.19
T.O. LOFT FLOOR	1060.72
T.O. UPPER FLOOR	1057.58
T.O. MAIN FLOOR	1054.43
T.O. FOUNDATION	1054.05
GRADE	1133.45

REAR ELEVATION
SCALE: 1/4" = 1'-0"



GENERAL NOTES:
VENTED SOFFIT NOTES:
 - VENTED SOFFIT (FRONT AND BACK)
 - VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 - NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

MUNICIPAL ADDRESS:
401 19 Street N.W.
CALGARY, AB

PROJECT:
FOUR UNIT
ROWHOUSE

PROJECT NUMBER:
335 - 25

STATUS:
DP

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WINDOW CALCULATION
 (3.66m LIMITING DISTANCE)
 WALL AREA = 2450.83 SQ. FT.
 WINDOW AREA = 213.45 SQ. FT.
 TOTAL: 213.45 / 2450.83 = 8.71%

NO.	DATE(D/M/Y)	DETAIL	BY
01.	21/10/2025	DP PLANS	K.R.
02.	--	--	--
03.	--	--	--
04.	--	--	--
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06.	--	--	--

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DRAWING SET:
DP PLANS

SHEET NAME:
Front & Rear Elevations

DESIGN BY: JT

DRAWN BY: JT

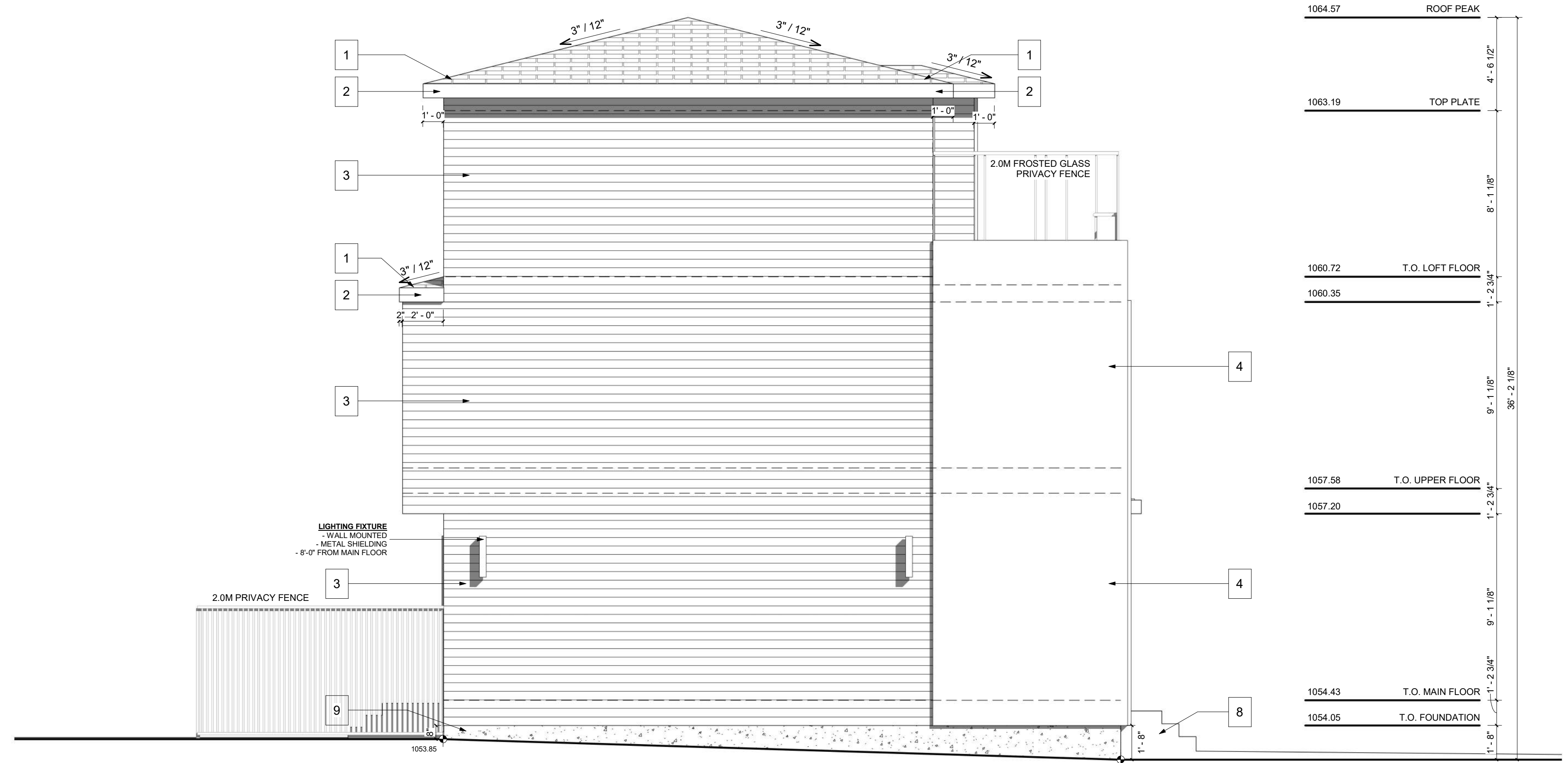
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SCALE: 1/4" = 1'-0"

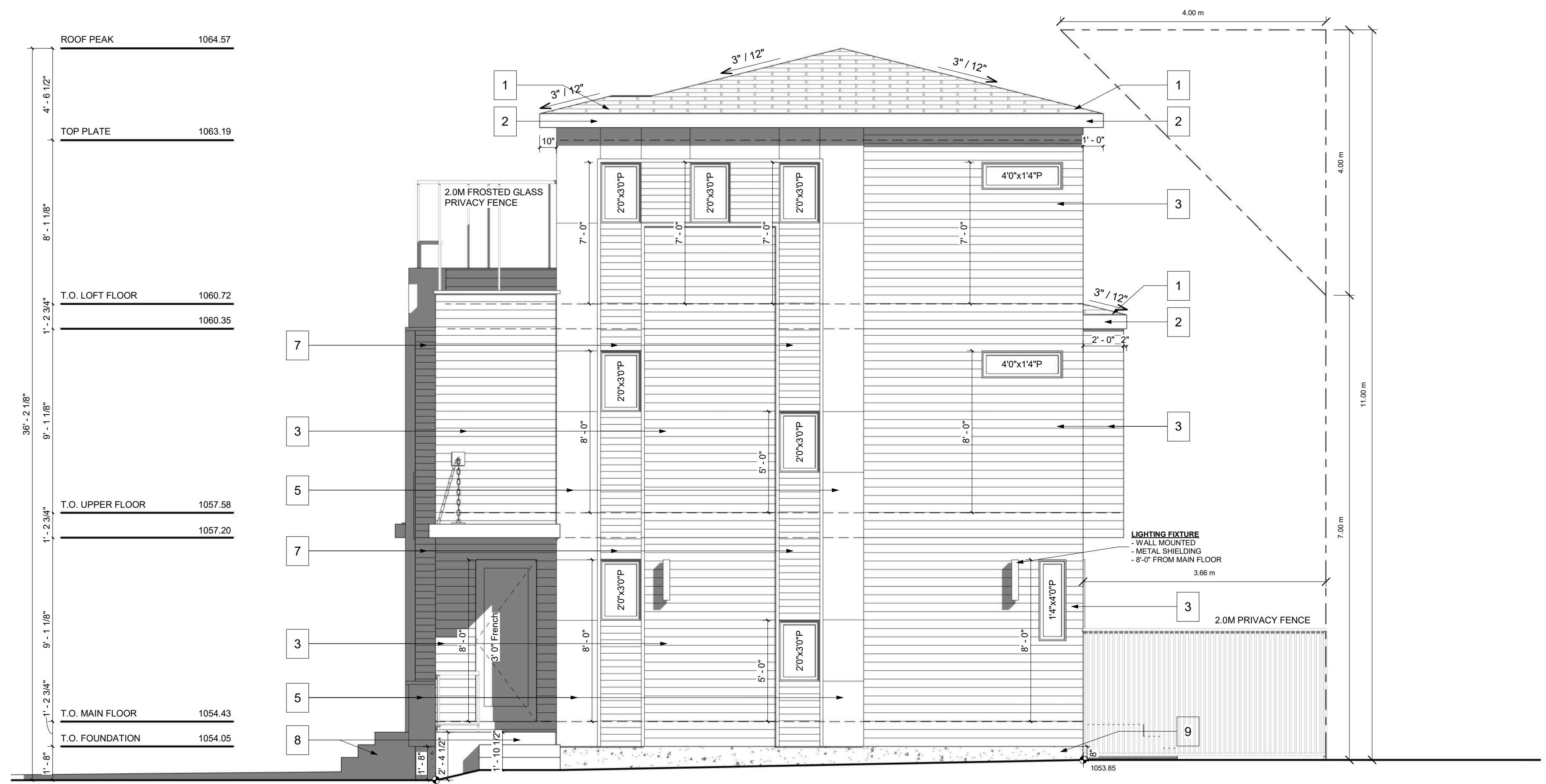
PAGE: **A-2.0**

- EXTERIOR FINISHES:
- 1 ASPHALT SHINGLES
 - 2 8" ALUM. FASCIA
 - 3 HARDIE SIDING - DARK GRAY
 - 4 SMOOTH STUCCO - WHITE
 - 5 SMOOTH STUCCO - LIGHT GRAY
 - 6 SMOOTH STUCCO - BLACK
 - 7 HARDIE SIDING - WOOD
 - 8 CAST IN PLACE CONCRETE
 - 9 CONCRETE PAVING



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES:
- 1 ASPHALT SHINGLES
 - 2 8" ALUM. FASCIA
 - 3 HARDIE SIDING - DARK GRAY
 - 4 SMOOTH STUCCO - WHITE
 - 5 SMOOTH STUCCO - LIGHT GRAY
 - 6 SMOOTH STUCCO - BLACK
 - 7 HARDIE SIDING - WOOD
 - 8 CAST IN PLACE CONCRETE
 - 9 CONCRETE PAVING



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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VENTED SOFFIT NOTES:
 - VENTED SOFFIT (FRONT AND BACK)
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 (SOFFIT ARE PRE-FIN ALUM)

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PROJECT:
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DRAWING SET:
DP PLANS
 SHEET NAME:
Left & Right Elevations

DESIGN BY: JT

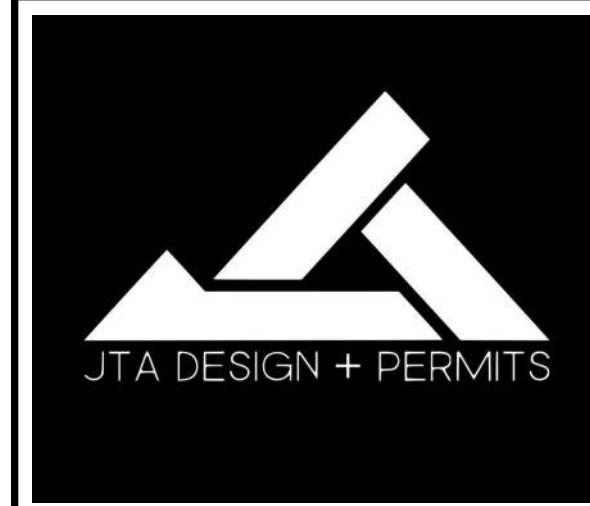
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SCALE: 1/4" = 1'-0"

PAGE: **A-2.1**



GENERAL NOTES:

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401 19 Street N.W.
CALGARY, AB

PROJECT:
**FOUR UNIT
ROWHOUSE**
PROJECT NUMBER:
335 - 25
STATUS:
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SHEET NAME:
Garage Plans & Elevations

DESIGN BY: JT

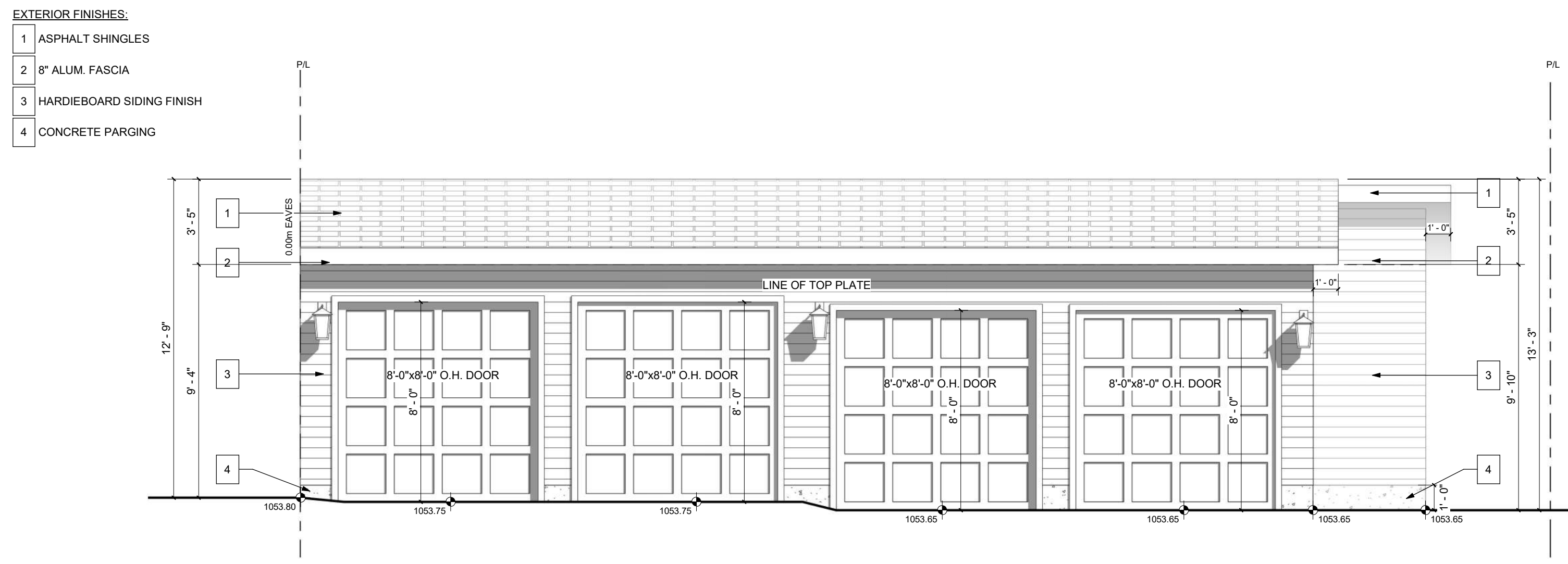
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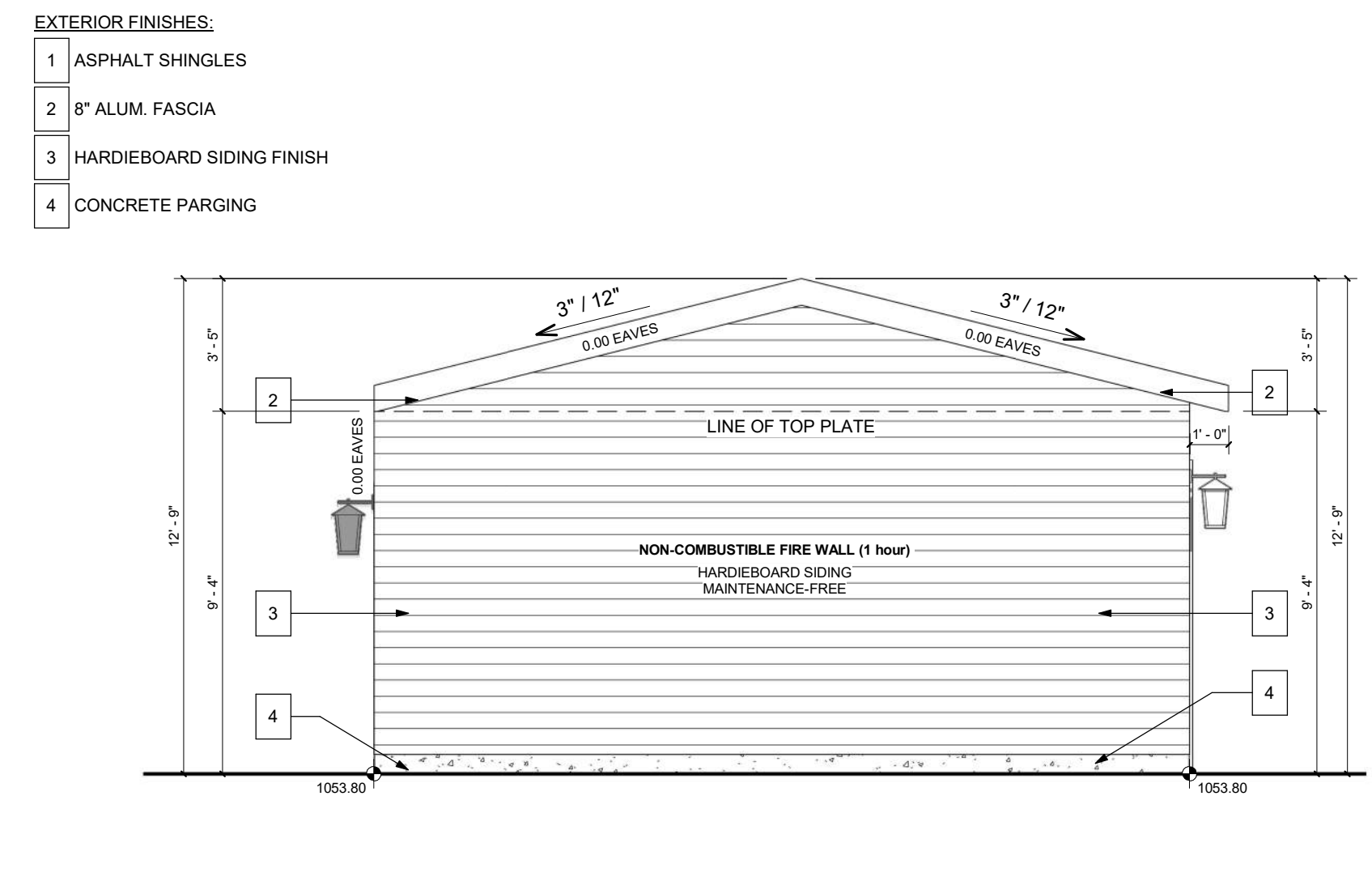
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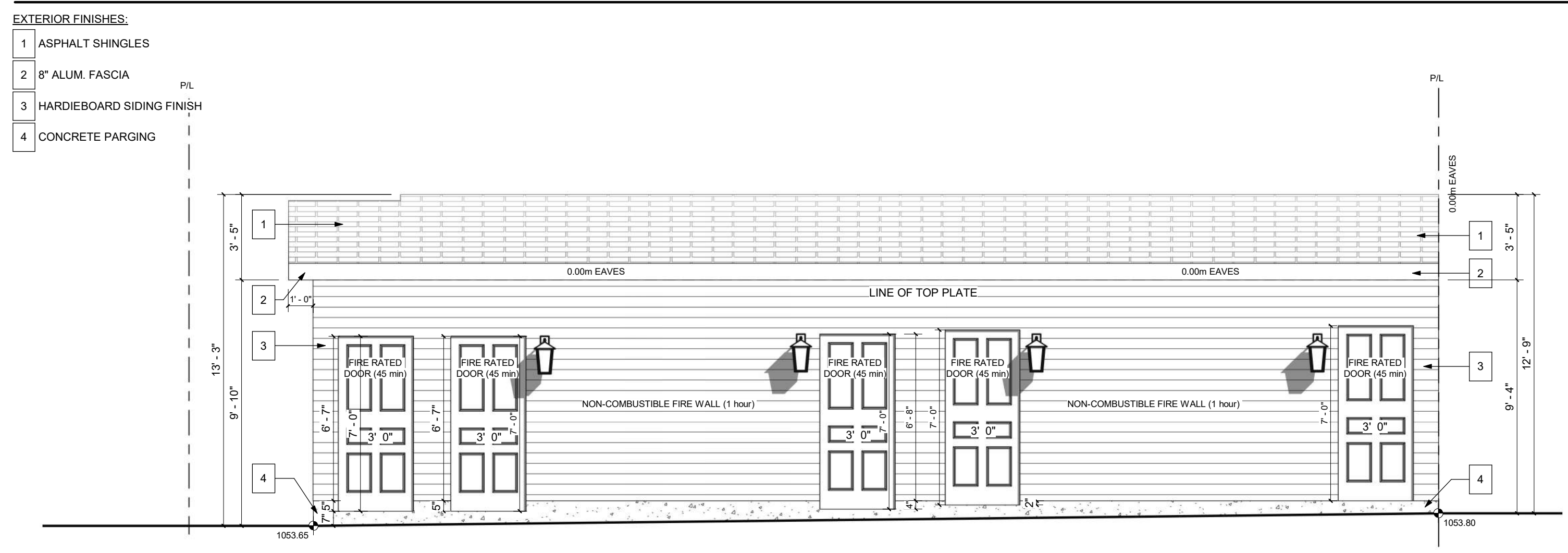
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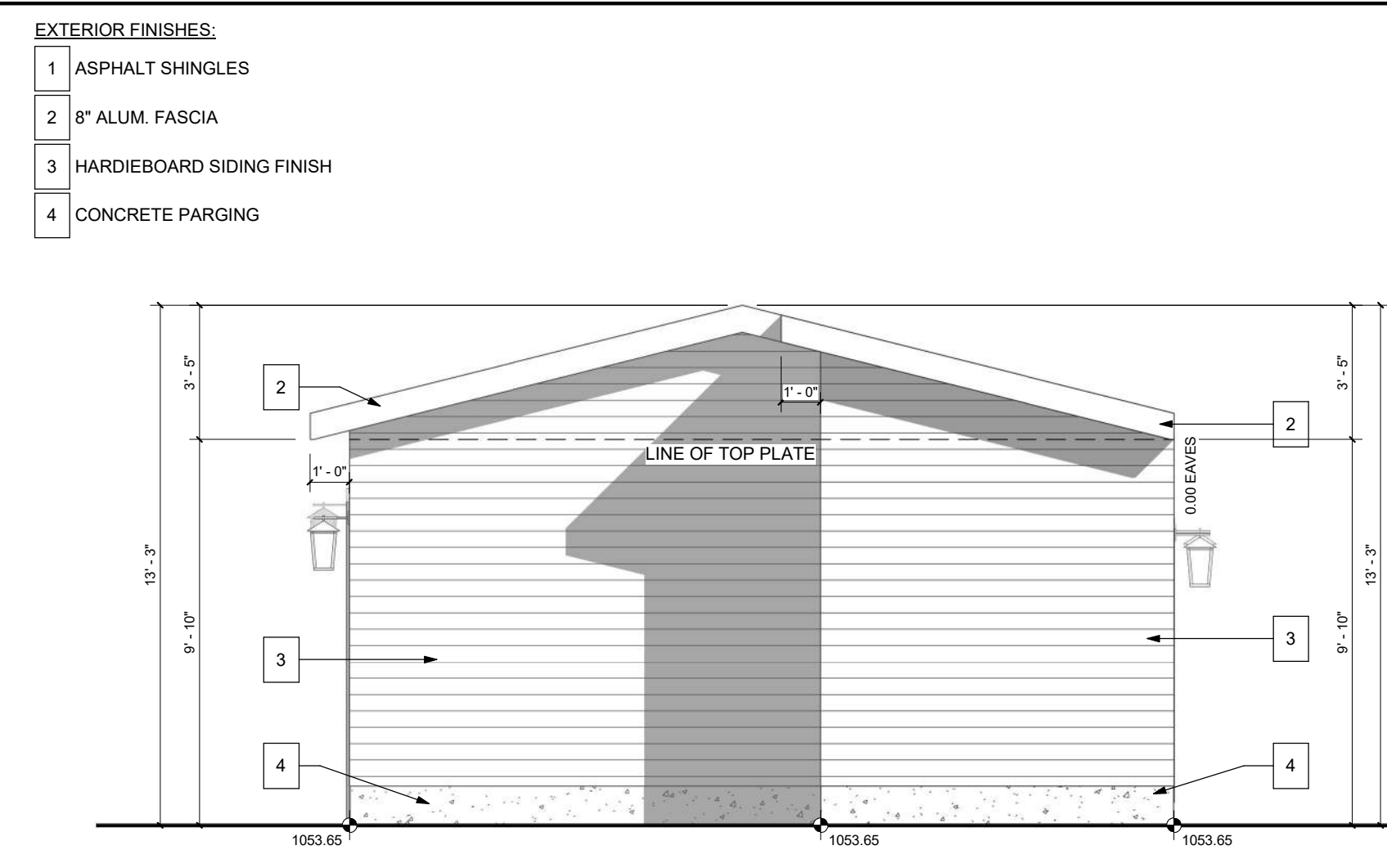
GARAGE FRONT
SCALE: 1/4" = 1'-0"



GARAGE LEFT
SCALE: 1/4" = 1'-0"



GARAGE REAR
SCALE: 1/4" = 1'-0"



GARAGE RIGHT
SCALE: 1/4" = 1'-0"