

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: \square = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

- THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- \square ----- denotes Calculation points
 - \square ----- denotes Water Valve
 - \square ----- denotes Gas Valve
 - \square ----- denotes Manhole
 - \odot ----- denotes Tree
 - \bullet ----- denotes Power Pole
 - \triangle ----- denotes Sign
 - \odot ----- denotes Light Standard
 - X-X- denotes Fence
 - S-S- denotes Sanitary Line
 - ST-ST- denotes Storm Line
 - W-W- denotes Water Line
 - G-G- denotes Gas Line
 - E-E- denotes Electrical Line
 - A.G.T-A.G.T- denotes A.G.T Line
 - denotes Utility Right of Way Line
 - denotes Property Line
 - denotes Door
 - denotes Main Floor Windows
 - denotes Second Floor Windows
 - denotes Basement Floor Windows
 - denotes Shed Hatch
 - denotes Detached Garage Hatch
 - denotes Main Building Hatch
 - denotes Concrete and Asphalt Hatch
 - denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BC' denotes Back of Curb
 'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
 Lot 5
 Block 21
 Plan 8942 GB

MUNICIPAL ADDRESS:
 401 19 Street NW
 Calgary, Alberta

LOT COVERAGE DETAIL: (CLUSTER)
 LOT SIZE: 551.562 SQ M
 HOUSE SIZE: 241.037 SQ M
 CANT.: 0.000 SQ M
 COVERED PORCH: 0.000 SQ M
 GARAGE: 82.777 SQ M
 WINGWALL: 0.000 SQ M
 TOTAL: 323.814/551.562 = 58.71%

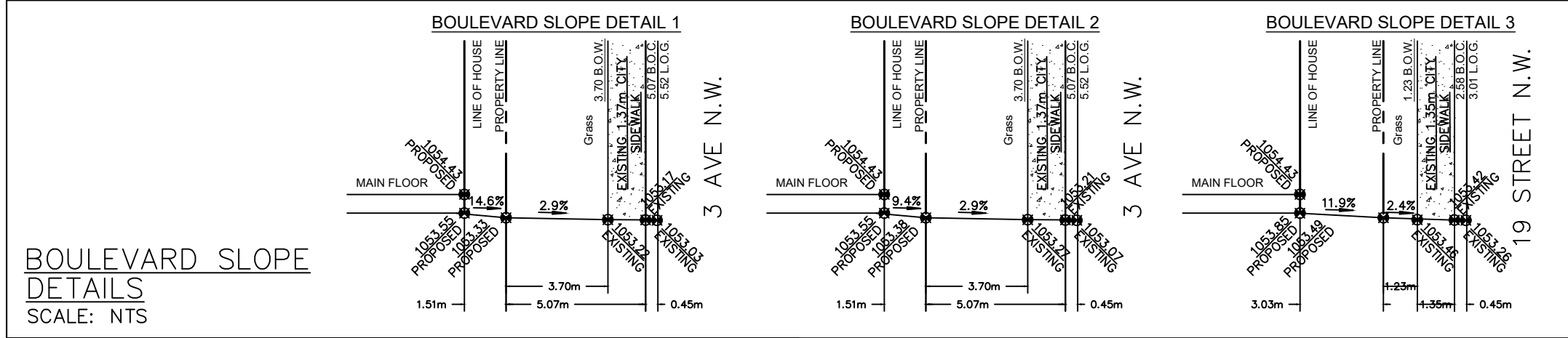
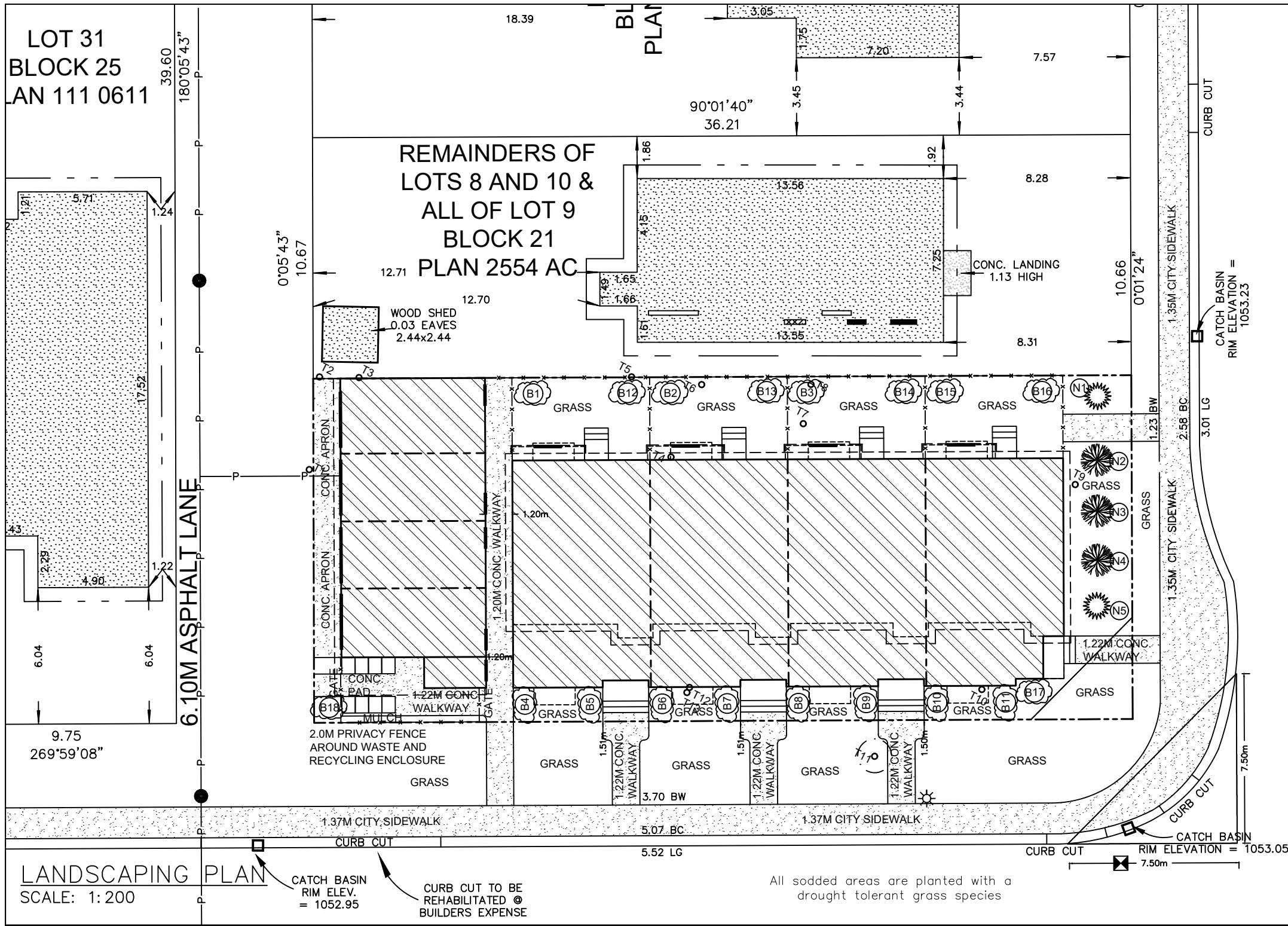
DENSITY:
 TOTAL UNITS: 4
 LOT SIZE: 551.562 SQ M (0.0551562 ha)
 DENSITY: 72 UNITS/ha

PARKING:
 PARKING PROVIDED: 4 STALLS

SITE PLAN

SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	16/10/2025	DP PLANS	K.R.	401 19th St NW Calgary, Alberta	ROW HOUSE	1:200
02.	--	--	--	Lot 5 Block 21 Plan 8942 GB	DATE: OCTOBER 16, 2025	DIVISION NUMBER: S 01
03.	--	--	--			
04.	--	--	--			



PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
B1	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B2	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B3	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B4	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B5	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B6	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B7	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B8	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B9	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B10	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B11	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B12	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B13	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B14	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B15	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B16	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B17	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B18	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New

LANDSCAPING LEGEND

- denotes Deciduous Tree
- denotes Coniferous Tree
- denotes Shrubs

EXISTING TREE SCHEDULE

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	DISPOSITION
T1	Deciduous	0.50	2.50	5.00	On Property Line	To Be Removed
T2	Deciduous	0.60	2.50	5.00	On Property Line	To Be Removed
T3	Deciduous	0.60	3.50	4.50	On Property Line	To Be Removed
T4	Deciduous	0.70	5.00	5.00	In Subject Property	To Be Removed
T5	Bush	---	1.00	2.00	On Property Line	To Be Removed
T6	Bush	---	1.00	2.00	In Subject Property	To Be Removed
T7	Bush	---	1.00	1.50	In Subject Property	To Be Removed
T8	Bush	---	2.00	2.00	On Property Line	To Be Removed
T9	Deciduous	0.50	3.00	7.50	In Subject Property	To Be Removed
T10	Deciduous	0.50	3.00	8.00	In Subject Property	To Be Removed
T11	Hawthorn	---	1.50	2.50	In City Property	To Stay
T12	Deciduous	0.50	2.50	3.50	In Subject Property	To Be Removed
T13	Bush	---	2.50	2.00	In Subject Property	To Be Removed

LANDSCAPE COVERAGE
 LOT SIZE = 551,562 SQ. M
 LANDSCAPE AREA = 227,748 SQ. M
 HARD LANDSCAPE (CONC. WALKWAY AND CONC. PADS) = 85,043 SQ. M
 SOFT LANDSCAPE (GRASS + MULCH) = 142,705 SQ. M
 142,705 / 227,748 = 62.66% OF SOFT LANDSCAPE
 85,043 / 227,748 = 37.34% OF HARD LANDSCAPE

NOTE: All soft surfaced landscape area will be irrigated by an underground irrigation system.
 NOTE: Minimum 300mm topsoil is required in all pervious areas.
 Minimum 600mm topsoil depth for tree and shrub beds.

An urban forestry technician will need to be onsite during excavation to determine the level of impact and if the tree can be retained. Plans should be undertaken by the developer to have an estimate for possible tree removal ahead of the excavation date.

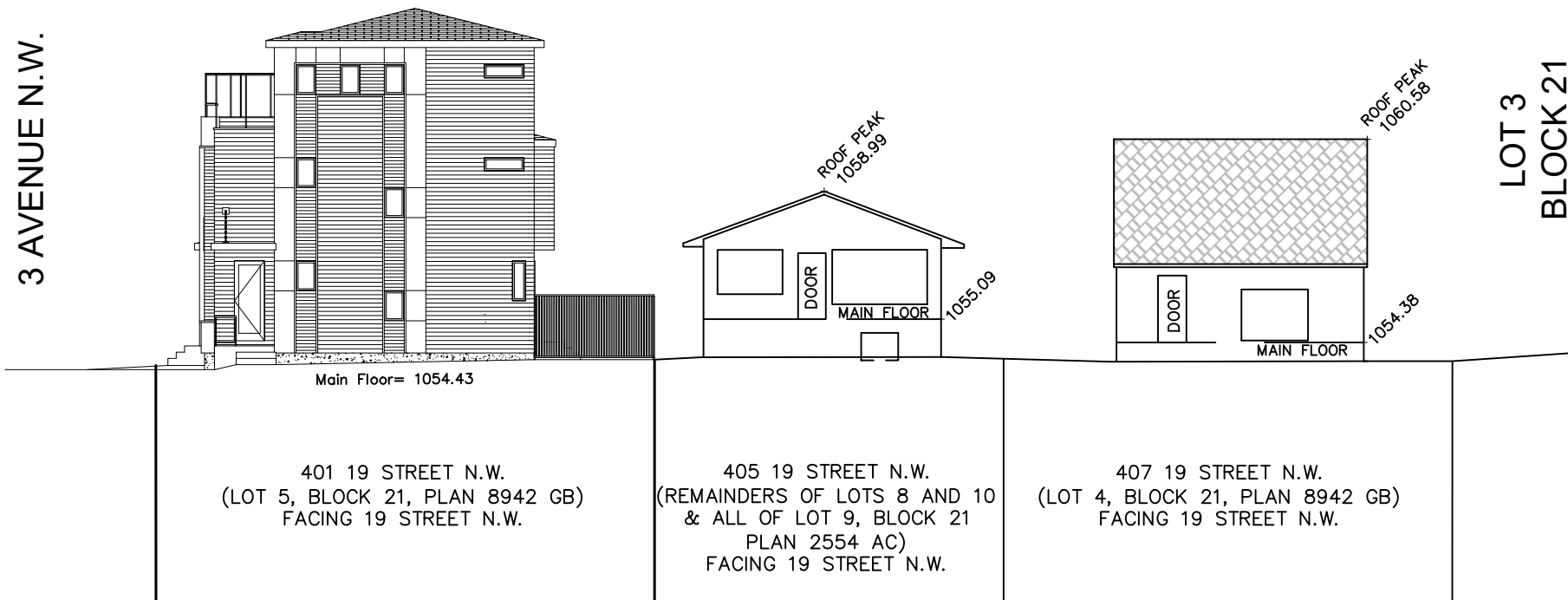
"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	16/10/2025	DP PLANS	K.R.	401 19th St NW Calgary, Alberta	ROW HOUSE	1: 200
02.	--	--	--	Lot 5 Block 21 Plan 8942 GB	DATE: OCTOBER 16, 2025	DIVISION NUMBER: S 03
03.	--	--	--			
04.	--	--	--			

3 AVENUE N.W.

Roof Peak Elev.= 1064.57



GROSS FLOOR AREAS

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA
BASEMENT	653.00 SQ FT	660.00 SQ FT	660.00 SQ FT	660.00 SQ FT
MAIN FLOOR	634.50 SQ FT	653.33 SQ FT	653.33 SQ FT	653.33 SQ FT
UPPER FLOOR	674.33 SQ FT	674.33 SQ FT	674.33 SQ FT	674.33 SQ FT
LOFT	486.25 SQ FT	486.25 SQ FT	486.25 SQ FT	486.25 SQ FT
TOTAL AREA	1795.08 SQ FT	1813.91 SQ FT	1813.91 SQ FT	1813.91 SQ FT

EAST STREETScape

LOT 32
BLOCK 25
PLAN 111 0611

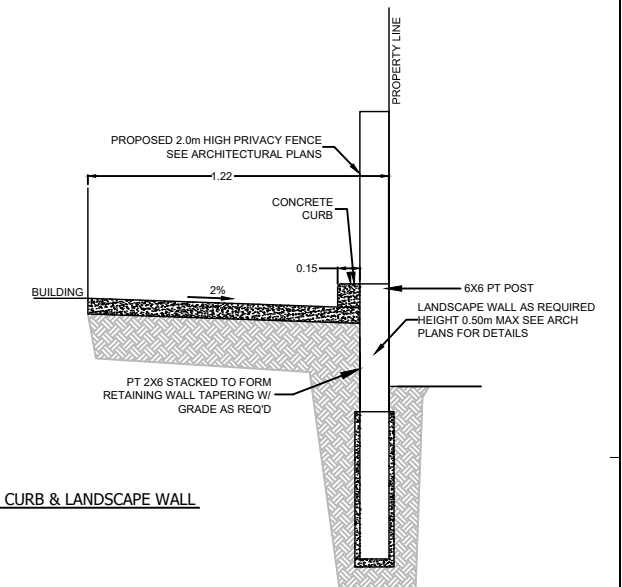
ROOF PEAK
1063.82



19 STREET N.W.

SOUTH STREETScape

IF APPLICABLE



NOTE: USE ON SITE ONLY WHERE APPLICABLE

FENCE SECTION DETAIL

STREETSCAPE
SCALE: 1:200

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03.	--	--	--			
04.	--	--	--			

LIST OF DRAWINGS	
A-0.0	Cover Page
A-0.1	General Notes & Schedules
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevations
A-2.1	Left & Right Elevations
A-3.0	Garage Plans & Elevations



GENERAL NOTES:



MUNICIPAL ADDRESS:
401 19 Street N.W.
CALGARY, AB

PROJECT:
**FOUR UNIT
ROWHOUSE**

PROJECT NUMBER:
335 - 25

STATUS:
DP

DO NOT SCALE DRAWINGS.
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DRAWING SET:
DP PLANS

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY: -

PRINTED: 2025-10-31 8:33:16 AM

SCALE:

PAGE: **A-0.0**

FLOOR AREA - #UNIT 1

BASEMENT	= 653.00 SQ. FT.
MAIN	= 634.50 SQ. FT.
UPPER	= 674.33 SQ. FT.
LOFT	= 486.25 SQ. FT.
TOTAL	= 1795.08 SQ. FT.

FLOOR AREA - #UNIT 2

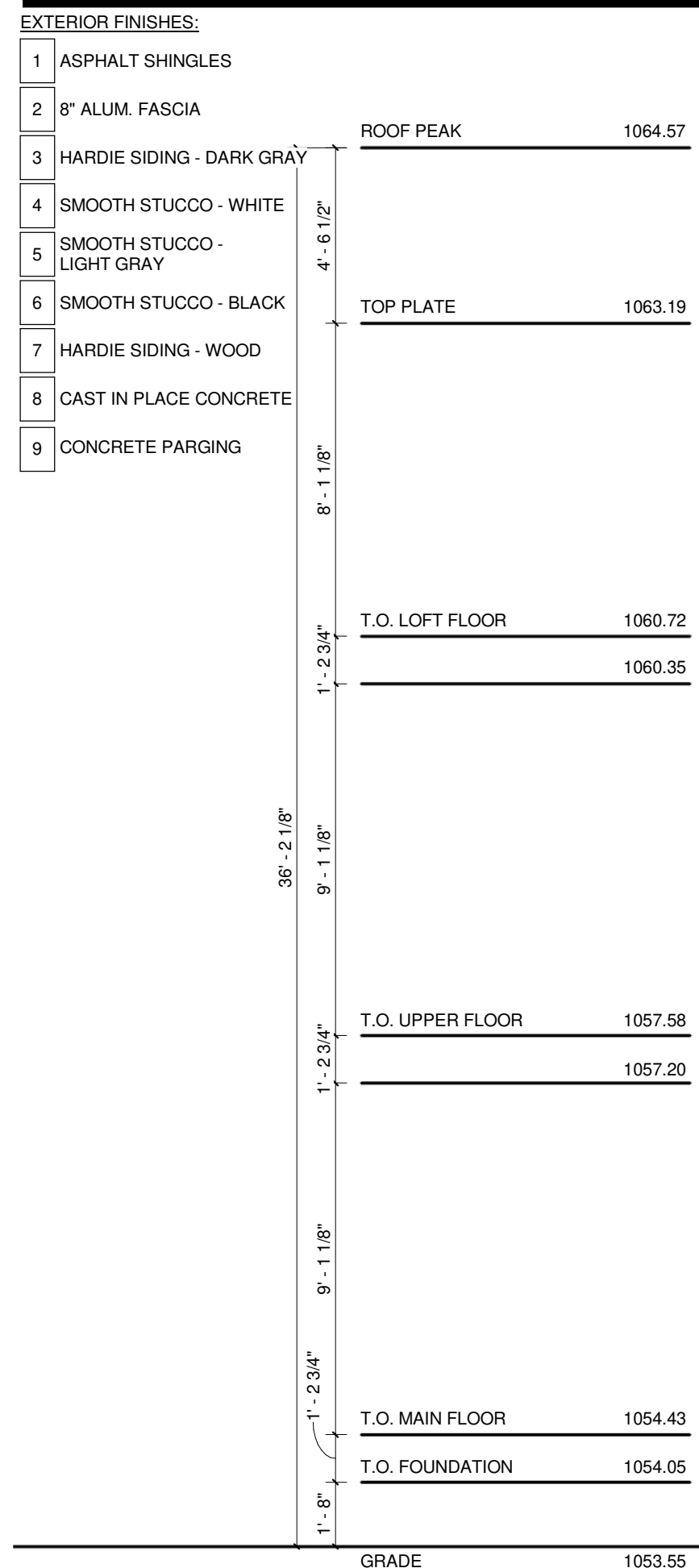
BASEMENT	= 660.00 SQ. FT.
MAIN	= 653.33 SQ. FT.
UPPER	= 674.33 SQ. FT.
LOFT	= 486.25 SQ. FT.
TOTAL	= 1813.91 SQ. FT.

FLOOR AREA - #UNIT 3

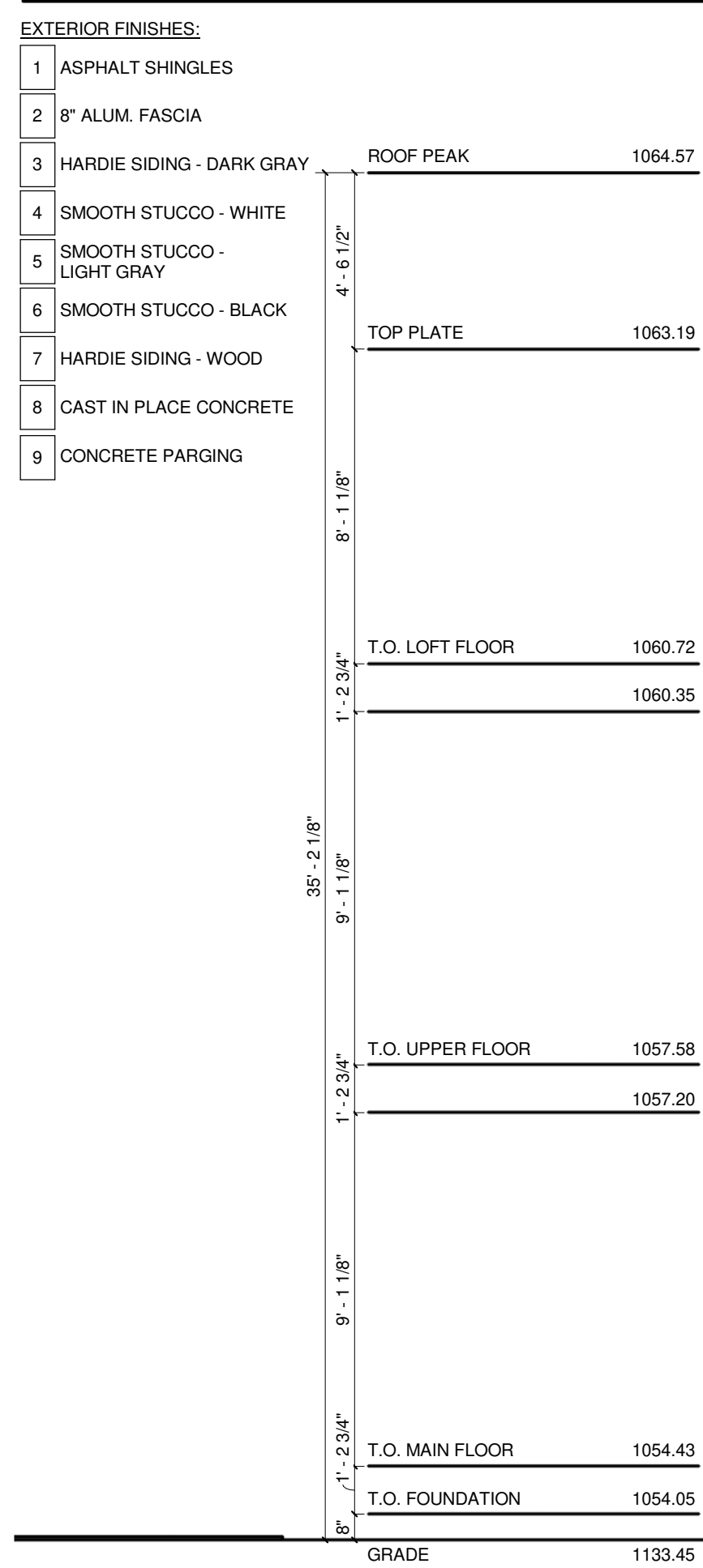
BASEMENT	= 660.00 SQ. FT.
MAIN	= 653.33 SQ. FT.
UPPER	= 674.33 SQ. FT.
LOFT	= 486.25 SQ. FT.
TOTAL	= 1813.91 SQ. FT.

FLOOR AREA - #UNIT 4

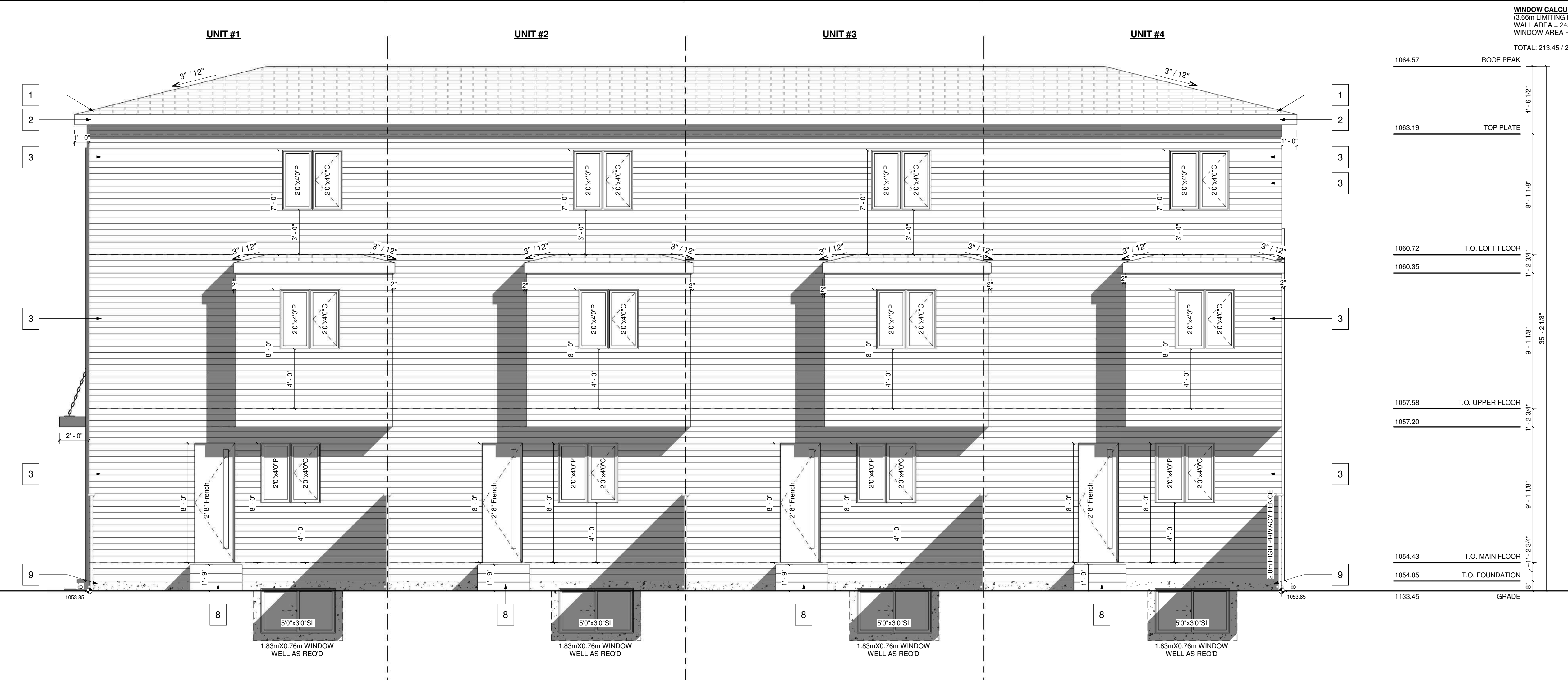
BASEMENT	= 660.00 SQ. FT.
MAIN	= 653.33 SQ. FT.
UPPER	= 674.33 SQ. FT.
LOFT	= 486.25 SQ. FT.
TOTAL	= 1813.91 SQ. FT.



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



WINDOW CALCULATION
(3.66m LIMITING DISTANCE)
WALL AREA = 2450.83 SQ. FT.
WINDOW AREA = 213.45 SQ. FT.
TOTAL: 213.45 / 2450.83 = 8.71%

NO.	DATE(D/M/Y)	DETAIL	BY
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02.	--	--	--
03.	--	--	--
04.	--	--	--
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DRAWING SET:
DP PLANS

SHEET NAME:
Front & Rear Elevations

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-10-31 8:33:27 AM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**



GENERAL NOTES:
VENTED SOFFIT NOTES:
- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

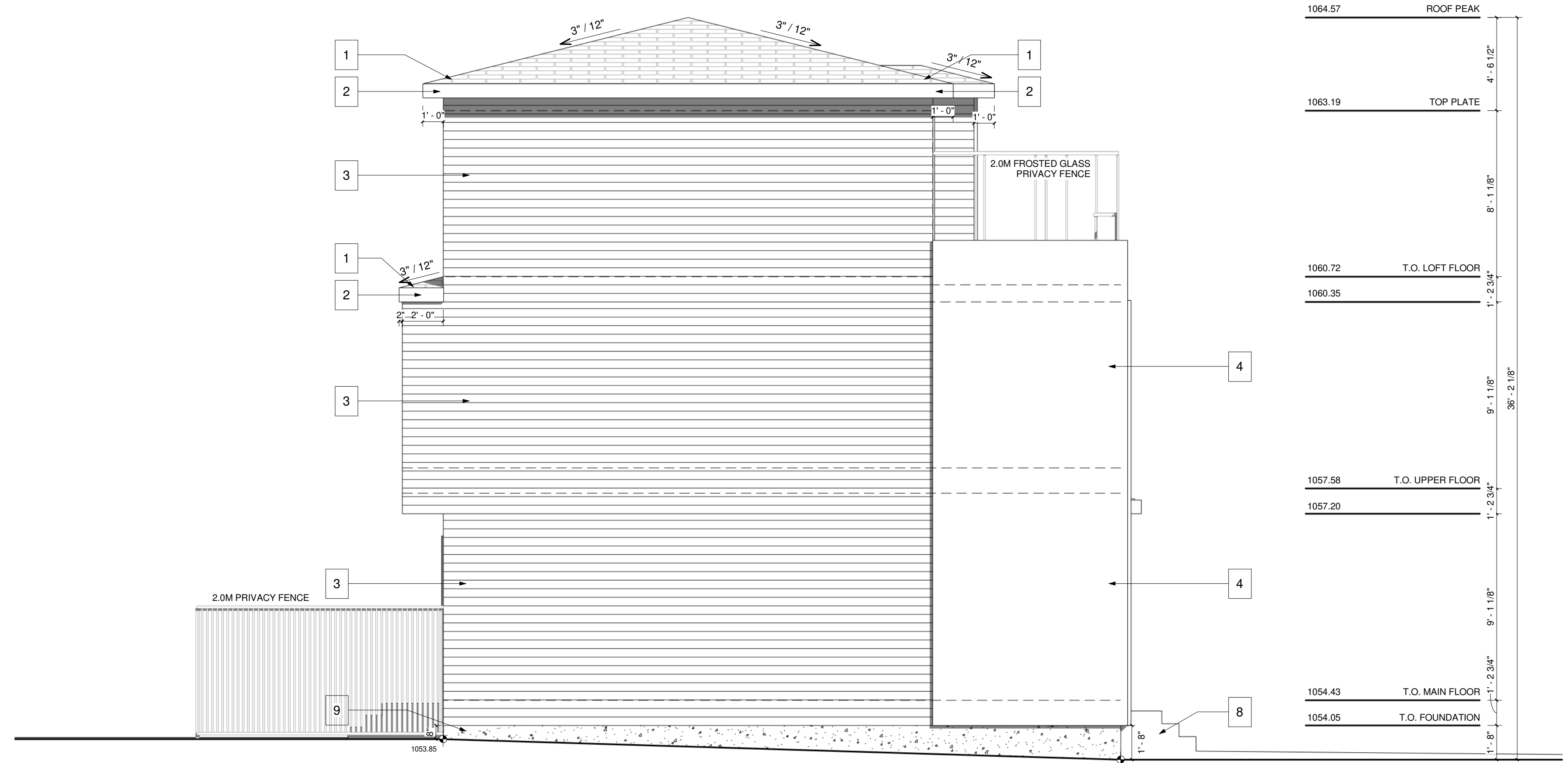
MUNICIPAL ADDRESS:
**401 19 Street N.W.
CALGARY, AB**

PROJECT:
**FOUR UNIT
ROWHOUSE**

PROJECT NUMBER:
335 - 25

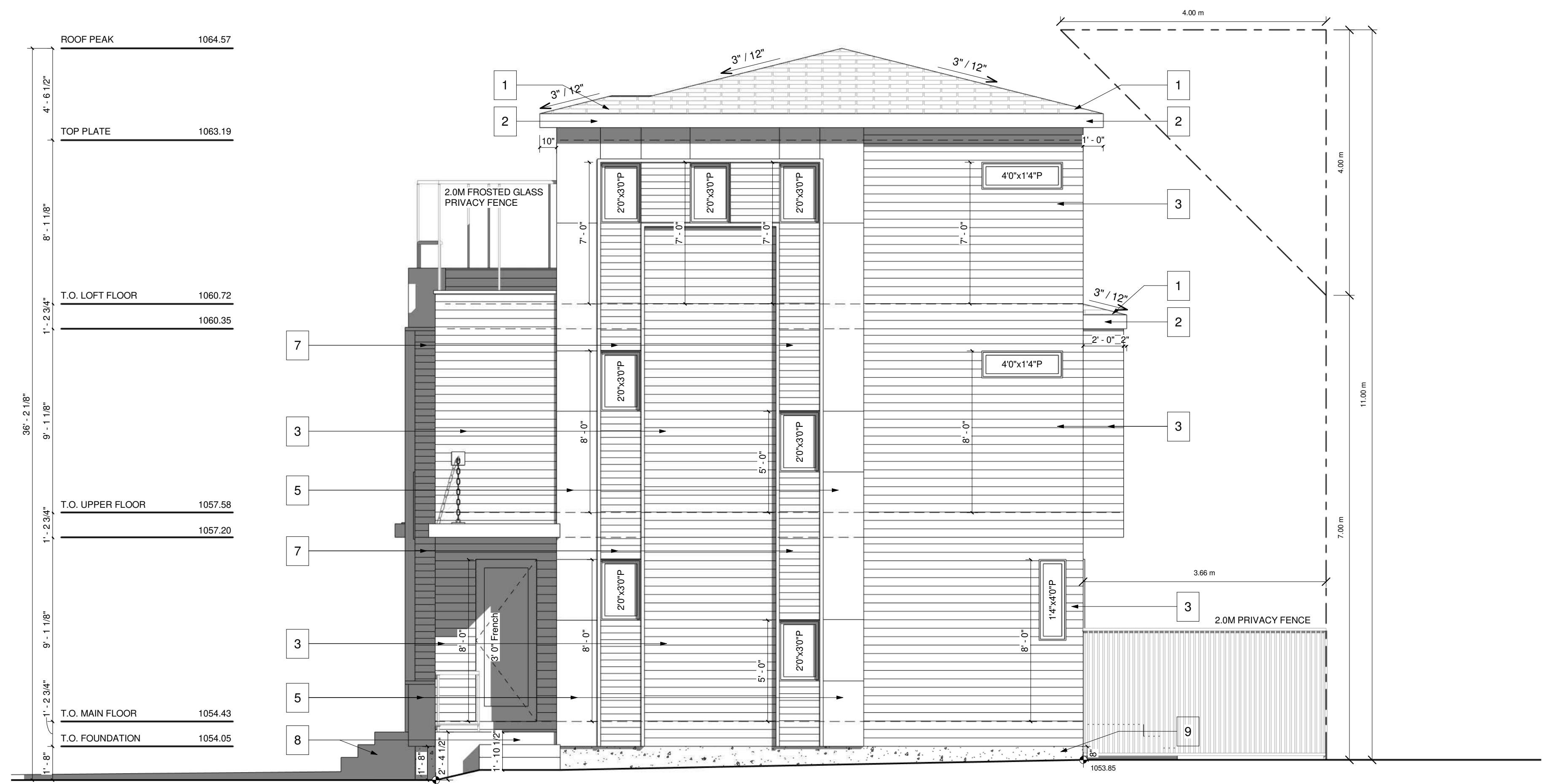
STATUS:
DP

- EXTERIOR FINISHES:
- 1 ASPHALT SHINGLES
 - 2 8" ALUM. FASCIA
 - 3 HARDIE SIDING - DARK GRAY
 - 4 SMOOTH STUCCO - WHITE
 - 5 SMOOTH STUCCO - LIGHT GRAY
 - 6 SMOOTH STUCCO - BLACK
 - 7 HARDIE SIDING - WOOD
 - 8 CAST IN PLACE CONCRETE
 - 9 CONCRETE PAVING



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES:
- 1 ASPHALT SHINGLES
 - 2 8" ALUM. FASCIA
 - 3 HARDIE SIDING - DARK GRAY
 - 4 SMOOTH STUCCO - WHITE
 - 5 SMOOTH STUCCO - LIGHT GRAY
 - 6 SMOOTH STUCCO - BLACK
 - 7 HARDIE SIDING - WOOD
 - 8 CAST IN PLACE CONCRETE
 - 9 CONCRETE PAVING



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



GENERAL NOTES:
VENTED SOFFIT NOTES:
 - VENTED SOFFIT (FRONT AND BACK)
 - VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 - NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

MUNICIPAL ADDRESS:
401 19 Street N.W.
CALGARY, AB

PROJECT:
FOUR UNIT
ROWHOUSE
 PROJECT NUMBER:
335 - 25
 STATUS:
DP

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DRAWING SET:
DP PLANS
 SHEET NAME:
Left & Right Elevations

DESIGN BY: JT
 DRAWN BY: JT

LAST REVISION BY: -

PRINTED: 2025-10-31 8:33:30 AM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.1**

GENERAL NOTES:

MUNICIPAL ADDRESS:
401 19 Street N.W.
CALGARY, AB

PROJECT:
FOUR UNIT
ROWHOUSE

PROJECT NUMBER:
335 - 25

STATUS:
DP

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DRAWING SET:
DP PLANS

SHEET NAME:
Garage Plans & Elevations

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY: -

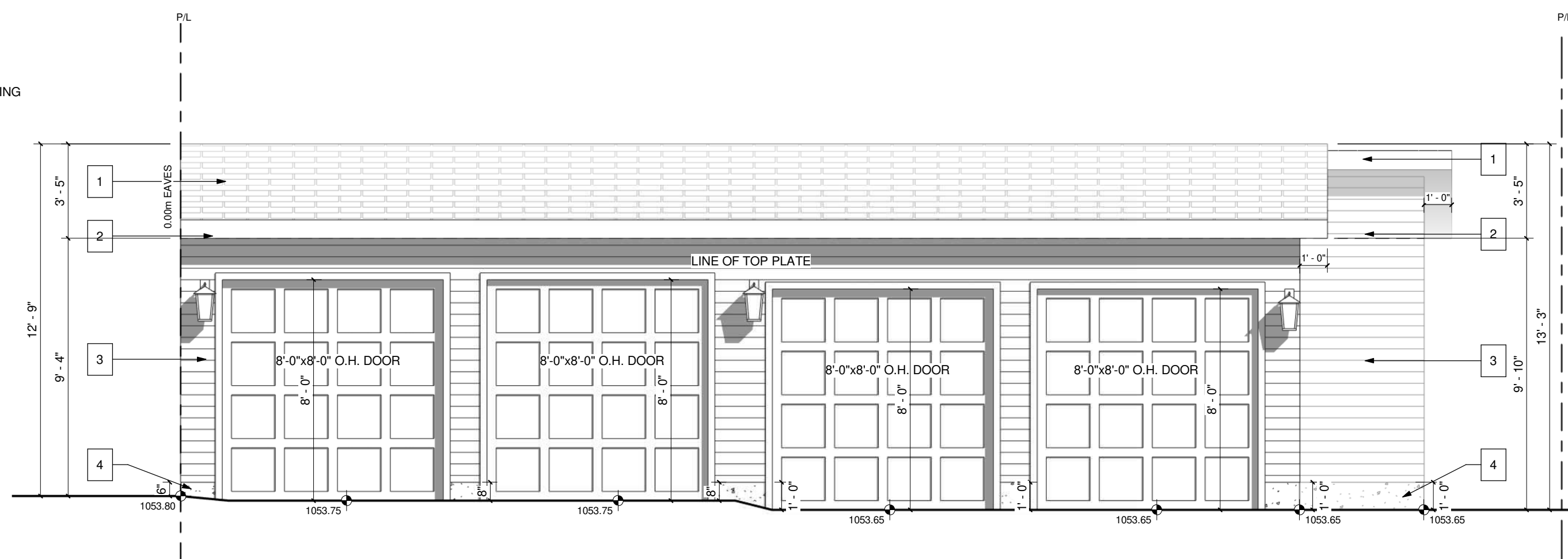
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SCALE: As indicated

PAGE: **A-3.0**

EXTERIOR FINISHES:

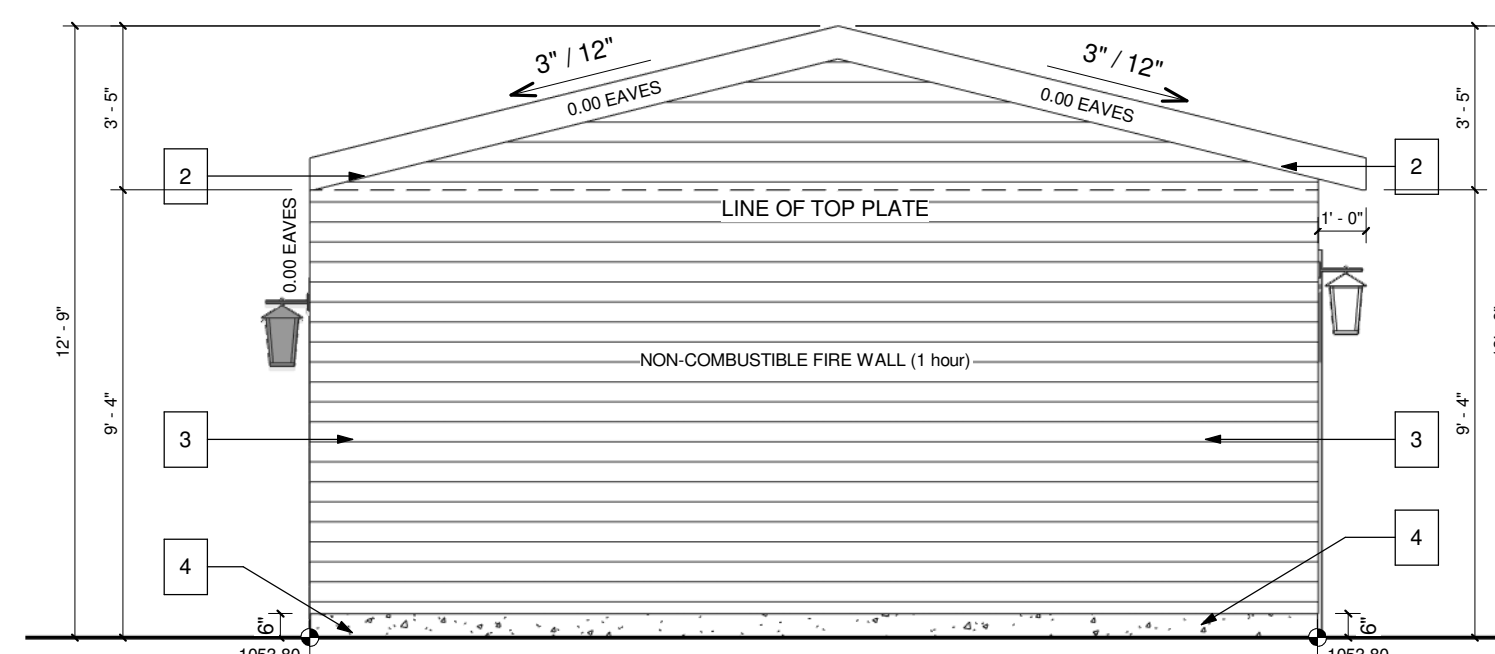
- 1 ASPHALT SHINGLES
- 2 8" ALUM. FASCIA
- 3 SIDING FINISH
- 4 CONCRETE PARGING



GARAGE FRONT
 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUM. FASCIA
- 3 SIDING FINISH
- 4 CONCRETE PARGING



GARAGE LEFT
 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

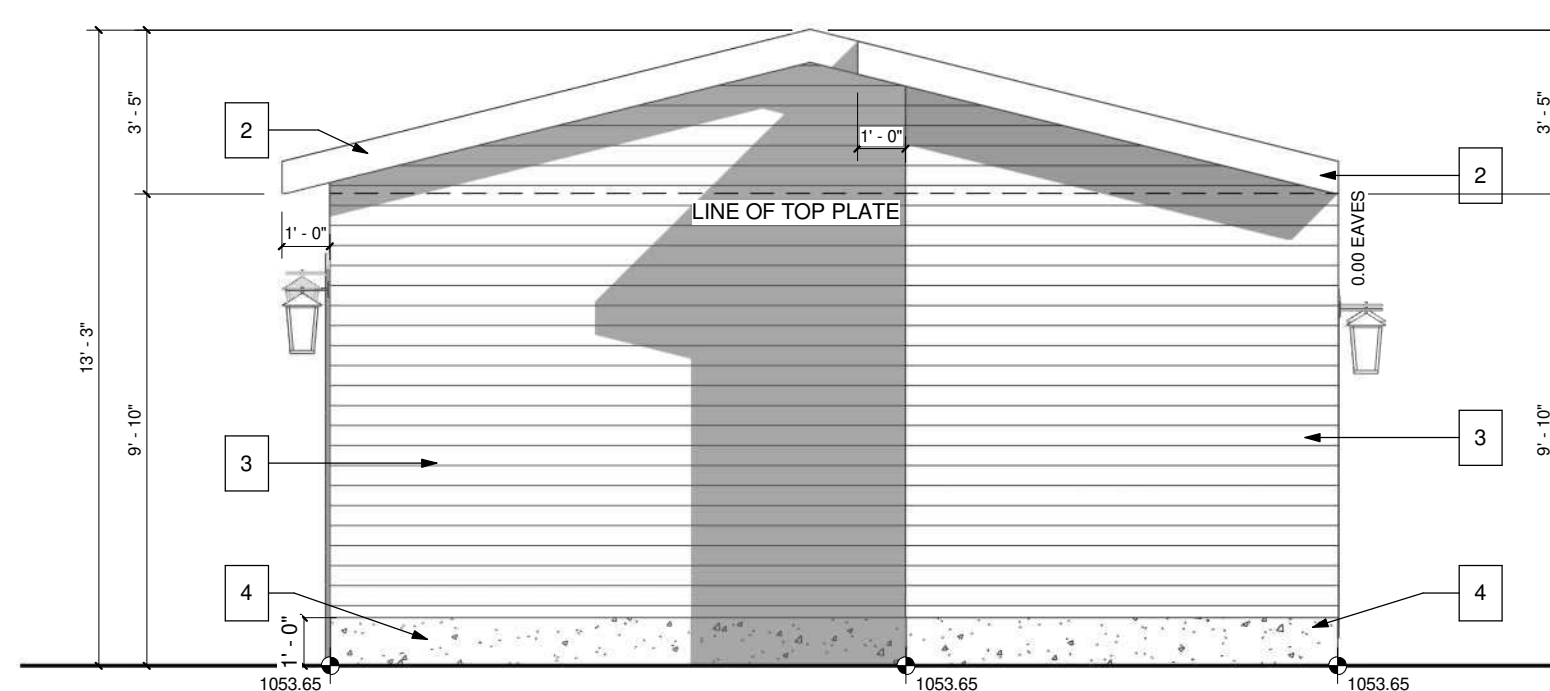
- 1 ASPHALT SHINGLES
- 2 8" ALUM. FASCIA
- 3 SIDING FINISH
- 4 CONCRETE PARGING



GARAGE REAR
 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUM. FASCIA
- 3 SIDING FINISH
- 4 CONCRETE PARGING



GARAGE RIGHT
 SCALE: 1/4" = 1'-0"