

GENERAL NOTES:

LIST OF DRAWINGS

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A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevation
A-2.2	Left & Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevations
A-3.2	Garage Section
A-4.0	Section 1

LIST OF DRAWINGS

A-5.0	Details 1
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E-1.0	Basement Electrical
E-1.1	Main Electrical
E-1.2	Upper Electrical
E-1.3	Loft Electrical
E-6.0	Party Wall at Corner Details



FLOOR AREA - UNIT #1

BASEMENT (SUITE)	= 684.00 SQ. FT.
MAIN	= 672.00 SQ. FT.
UPPER	= 702.33 SQ. FT.
TOTAL	= 1374.33 SQ. FT.

FLOOR AREA - UNIT #2

BASEMENT (SUITE)	= 684.41 SQ. FT.
MAIN	= 672.41 SQ. FT.
UPPER	= 684.41 SQ. FT.
TOTAL	= 1356.82 SQ. FT.

FLOOR AREA - UNIT #3

BASEMENT (SUITE)	= 784.00 SQ. FT.
MAIN	= 723.33 SQ. FT.
UPPER	= 784.00 SQ. FT.
TOTAL	= 1607.33 SQ. FT.

FLOOR AREA - UNIT #4

BASEMENT (SUITE)	= 770.00 SQ. FT.
MAIN	= 784.00 SQ. FT.
UPPER	= 770.00 SQ. FT.
TOTAL	= 1644.00 SQ. FT.

FLOOR AREA - UNIT #5

BASEMENT (SUITE)	= 794.33 SQ. FT.
MAIN	= 779.67 SQ. FT.
UPPER	= 794.33 SQ. FT.
TOTAL	= 1674.00 SQ. FT.

MUNICIPAL ADDRESS:
4649 70 ST N.W.

PROJECT:
ROW HOUSE

PROJECT NUMBER:
318 - 25

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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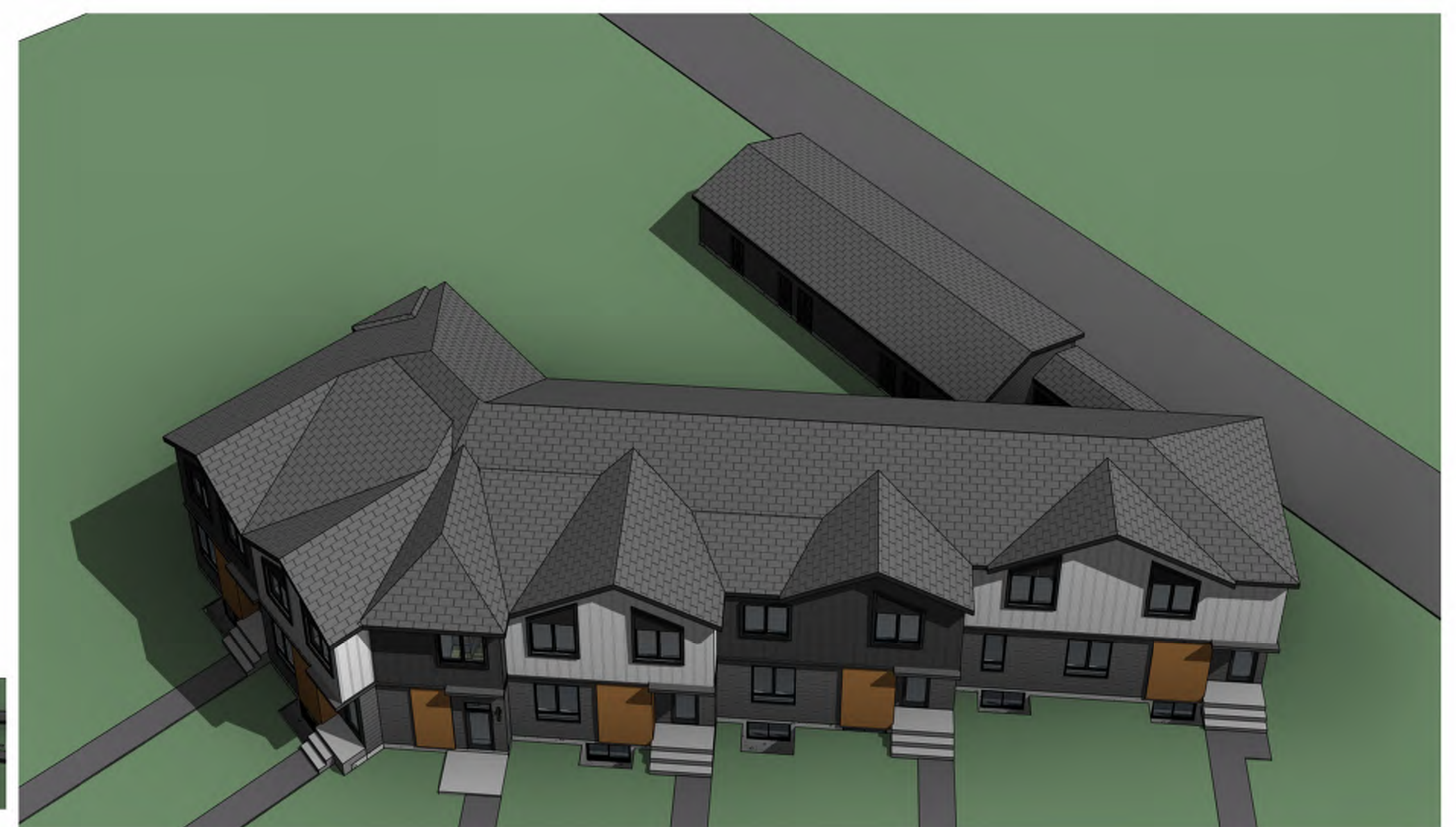
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DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

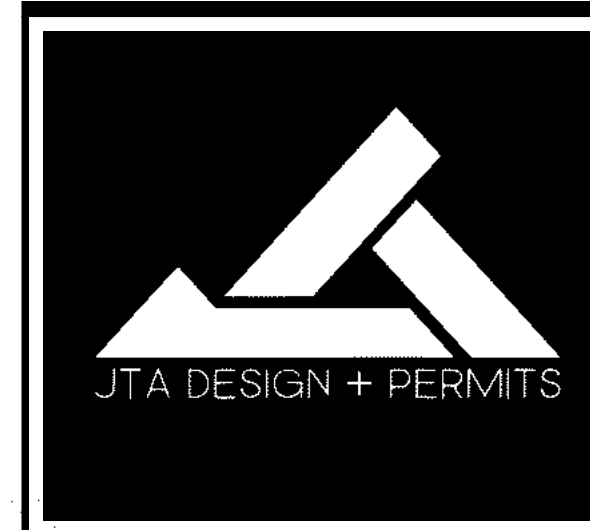
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SCALE:

A-0.0

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GENERAL NOTES:

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4649 70 ST N.W.

PROJECT:
ROW HOUSE

PROJECT NUMBER:
318 - 25

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DRAWING SET:

SHEET NAME:
Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-11-17 5:35:14 PM

SCALE: 3/16" = 1'-0"

PAGE: **A-2.0**

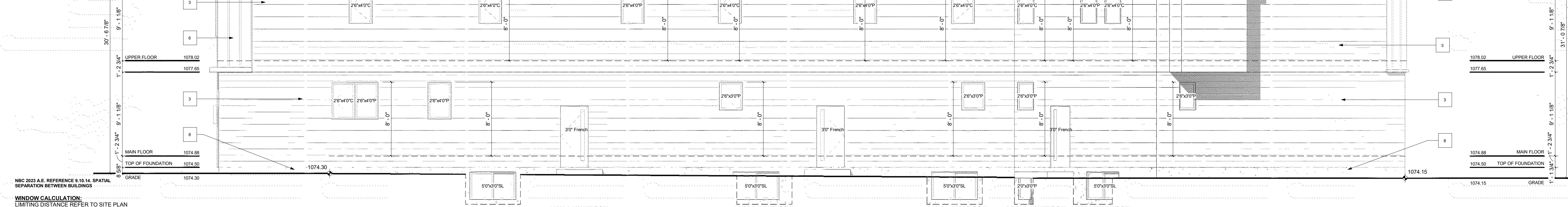
- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 HARDIE SIDING FINISH - BLACK
 - 4 SMART BOARD - BLACK
 - 5 WOOD SIDING
 - 6 METAL SIDING (BLACK)
 - 7 METAL SIDING (LIGHT GRAY)
 - 8 CONC. PARGING
 - 9 CAST IN PLACE CONCRETE



- VENTED SOFFIT NOTES:**
- VENTED SOFFIT (FRONT AND BACK)
 - VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 - NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

FRONT ELEVATION
SCALE: 3/16" = 1'-0"

- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 HARDIE SIDING FINISH - BLACK
 - 4 SMART BOARD - BLACK
 - 5 WOOD SIDING
 - 6 METAL SIDING (BLACK)
 - 7 METAL SIDING (LIGHT GRAY)
 - 8 CONC. PARGING
 - 9 CAST IN PLACE CONCRETE



NBC 2023 A/E REFERENCE 9.10.14 SPATIAL SEPARATION BETWEEN BUILDINGS

WINDOW CALCULATION:
LIMITING DISTANCE REFER TO SITE PLAN

WALL AREA = 2557.60 SQ. FT.
WINDOW AREA = 137.35 SQ. FT.
TOTAL: 137.35 / 2557.60 = 5.37%

- VENTED SOFFIT NOTES:**
- VENTED SOFFIT (FRONT AND BACK)
 - VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 - NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

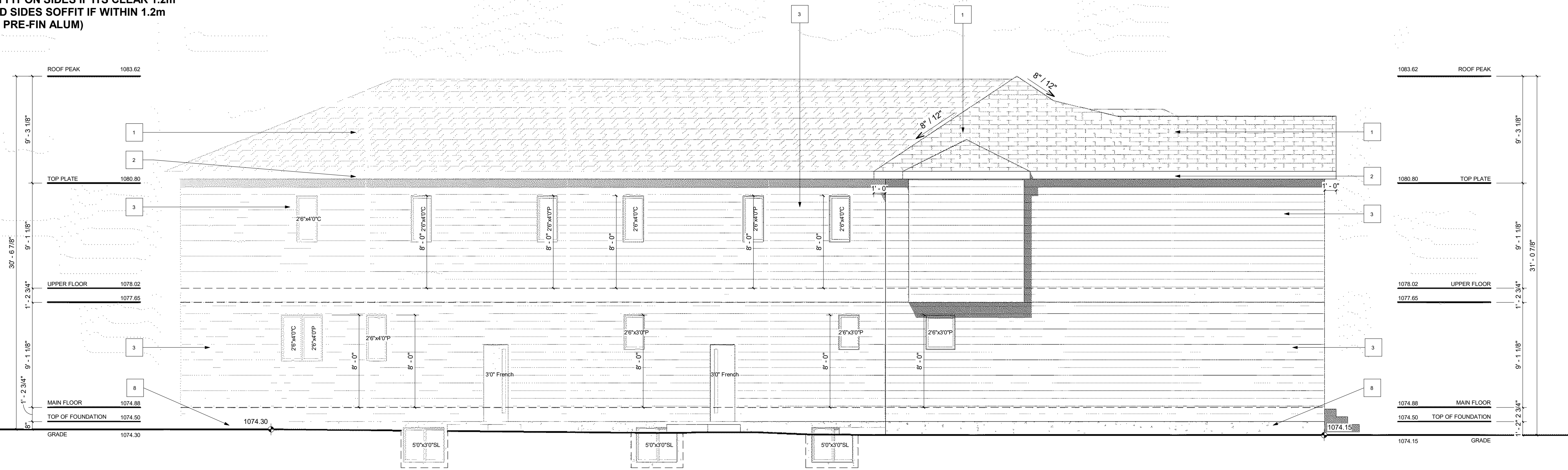
- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 HARDIE SIDING FINISH - BLACK
- 4 SMART BOARD - BLACK
- 5 WOOD SIDING
- 6 METAL SIDING (BLACK)
- 7 METAL SIDING (LIGHT GRAY)
- 8 CONC. PARGING
- 9 CAST IN PLACE CONCRETE

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

NBC 2023 A.E. REFERENCE 8.10.14. SPATIAL SEPARATION BETWEEN BUILDINGS
1.20m LIMITING DISTANCE

WINDOW CALCULATION:
WALL AREA = 845.49 SQ. FT.
WINDOW AREA = 7.97 SQ. FT.
TOTAL: 7.97 / 845.49 = 0.94%



LEFT ELEVATION

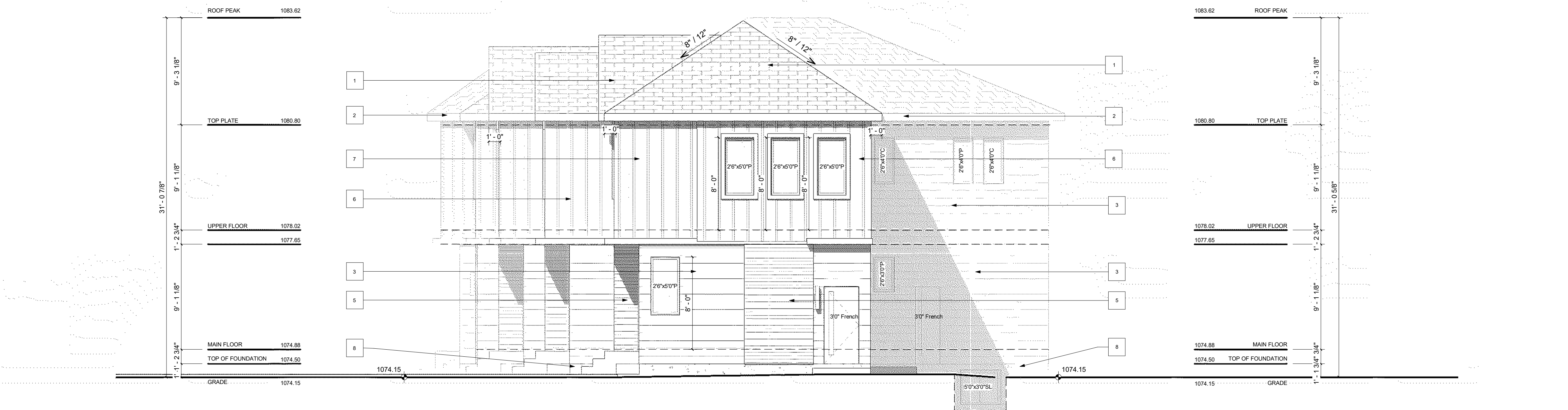
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 HARDIE SIDING FINISH - BLACK
- 4 SMART BOARD - BLACK
- 5 WOOD SIDING
- 6 METAL SIDING (BLACK)
- 7 METAL SIDING (LIGHT GRAY)
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- 9 CAST IN PLACE CONCRETE

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
4649 70 ST N.W.

PROJECT:
ROW HOUSE

PROJECT NUMBER:
318 - 25

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DRAWING SET:

SHEET NAME:
Left & Right Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-11-17 5:35:19 PM

SCALE: 3/16" = 1'-0"

PAGE: **A-2.2**

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 HARDIE SIDING FINISH - BLACK
- 4 SMART BOARD - BLACK
- 5 WOOD SIDING
- 6 METAL SIDING (BLACK)
- 7 METAL SIDING (LIGHT GRAY)
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**UNPROTECTED OPENING CALCULATION
(9.10.14.4. 1) c) COMPARTMENT A**

LIMITING DISTANCE = 1.20m + 3.05m = 4.25m
 LIMITING DISTANCE SQUARED = 18.0625sqm
 UNPROTECTED OPENINGS = 11.89sqm
 11.89sqm < 18.06sqm

**UNPROTECTED OPENING CALCULATION
(9.10.14.4. 1) c) COMPARTMENT B**

LIMITING DISTANCE = 1.20m + 3.05m = 4.25m
 LIMITING DISTANCE SQUARED = 18.0625sqm
 UNPROTECTED OPENINGS = 11.89sqm
 11.89sqm < 18.06sqm

**UNPROTECTED OPENING CALCULATION
(9.10.14.4. 1) c) COMPARTMENT C**

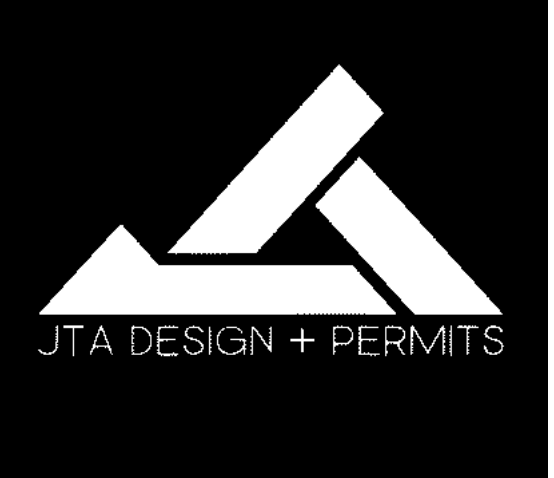
LIMITING DISTANCE = 1.20m + 3.05m = 4.25m
 LIMITING DISTANCE SQUARED = 18.0625sqm
 UNPROTECTED OPENINGS = 11.89sqm
 11.89sqm < 18.06sqm

GARAGE FRONT ELEVATION (LANE)

SCALE: 3/16" = 1'-0"

GARAGE LEFT ELEVATION

SCALE: 3/16" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
4649 70 ST N.W.

PROJECT:
ROW HOUSE

PROJECT NUMBER:
318 - 25

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DRAWING SET:

SHEET NAME:
Garage Elevations

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

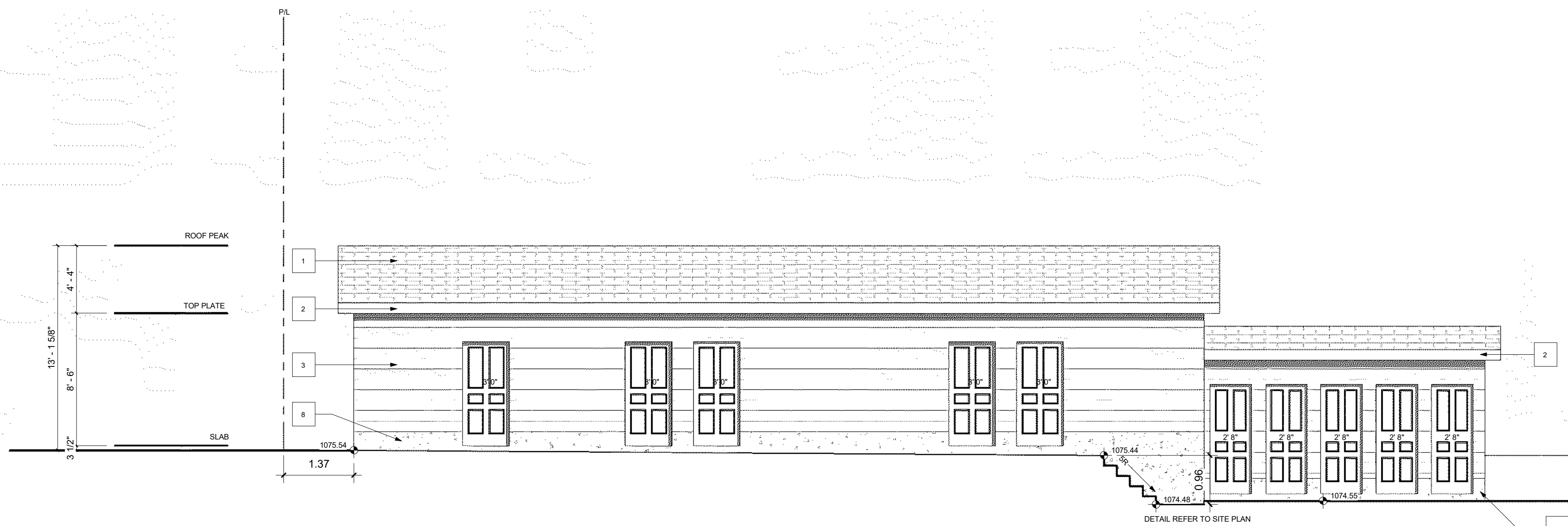
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SCALE: 3/16" = 1'-0"

PAGE: **A-3.1**

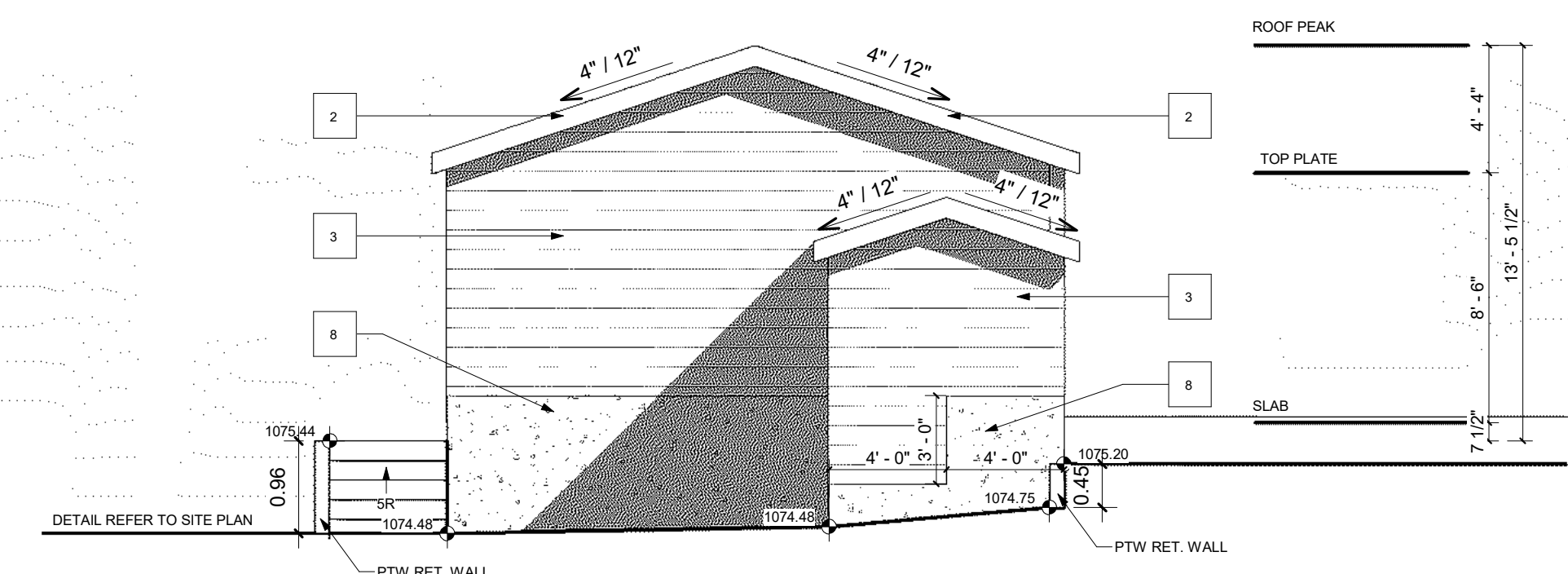
WINDOW CALCULATION:
LIMITING DISTANCE REFER TO SITE PLAN

WALL AREA = 1070.64 SQ. FT.
WINDOW AREA = 46.94 SQ. FT.
TOTAL: 46.94 / 1070.64 = 4.38%



GARAGE REAR ELEVATION

SCALE: 3/16" = 1'-0"



GARAGE RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: \square = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- \square --- denotes Calculation points
- \square --- denotes Water Valve
- \blacklozenge --- denotes Gas Valve
- \bullet --- denotes Manhole
- \odot --- denotes Tree
- \oplus --- denotes Power Pole
- \triangle --- denotes Sign
- \odot --- denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- E- denotes Electrical Line
- A.G.T- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-GO Housing
 Grade-Oriented

SCALE: 1:200

LEGAL DESCRIPTION:

Lots 9
 Block 14
 Plan 1679 HJ

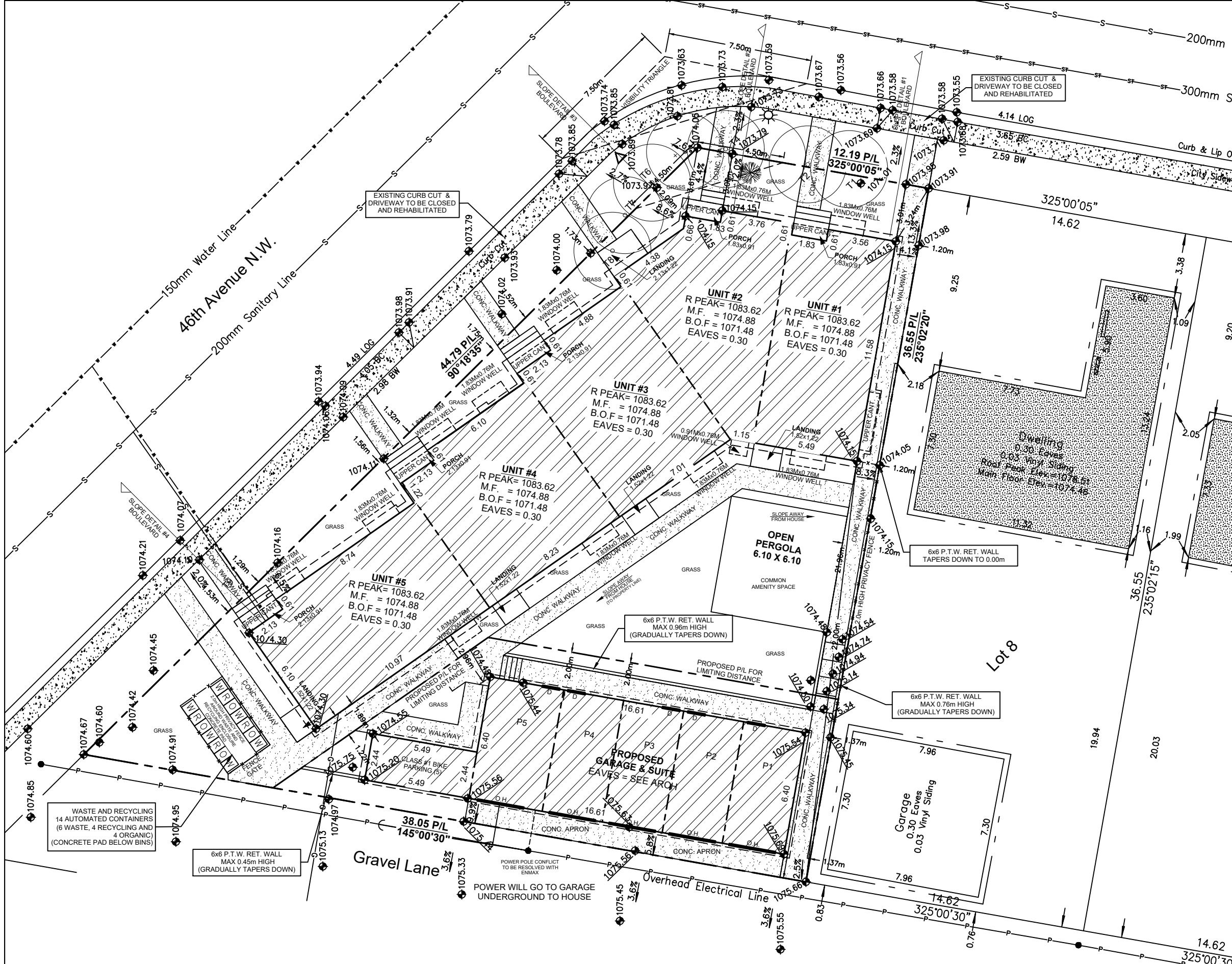
MUNICIPAL ADDRESS:

4649 - 70 STREET N.W.
 Calgary, Alberta

LOT COVERAGE DETAIL:
 (CLUSTER HOUSE)

LOT SIZE: 918.033 SQ M	TOTAL UNITS: 11
HOUSE SIZE: 314.764 SQ M	LOT SIZE: 918.033 SQ M (0.0918033 ha)
CANT.: 0.000 SQ M	DENSITY: 75 UNITS/ha
COVERED PORCH: 6.132 SQ M	PARKING:
GARAGE & SUITE: 132.606 SQ M	PARKING PROVIDED: 6 STALLS
WINGWALL: 0.000 SQ M	CLASS #1 BIKE PARKING: 6 STALLS

TOTAL: 453,502/918,033
 = 49.39%



SITE PLAN

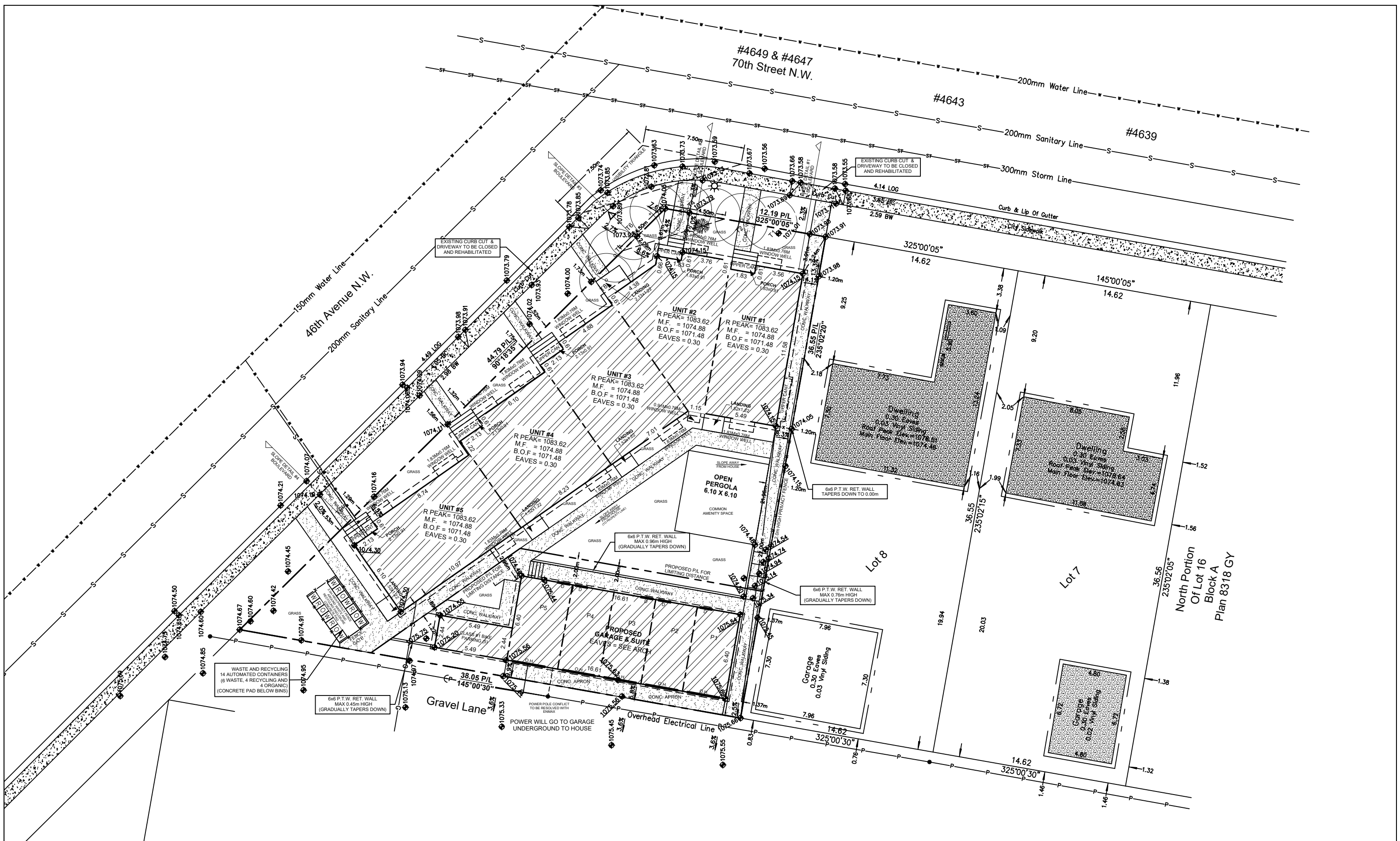
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY
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03.			
04.			

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 www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS:
 4649 70 ST N.W.
 Calgary, Alberta

PROJECT:	ROW HOUSE	SCALE:	1:200
DATE:	OCT 16, 2025	DIVISION:	NUMBER
			S 01



BLOCK PLAN
SCALE: 1:250

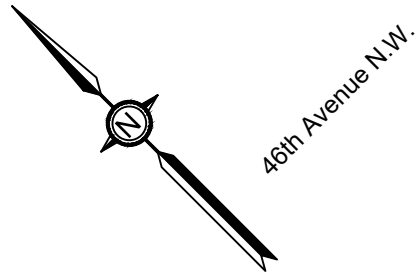
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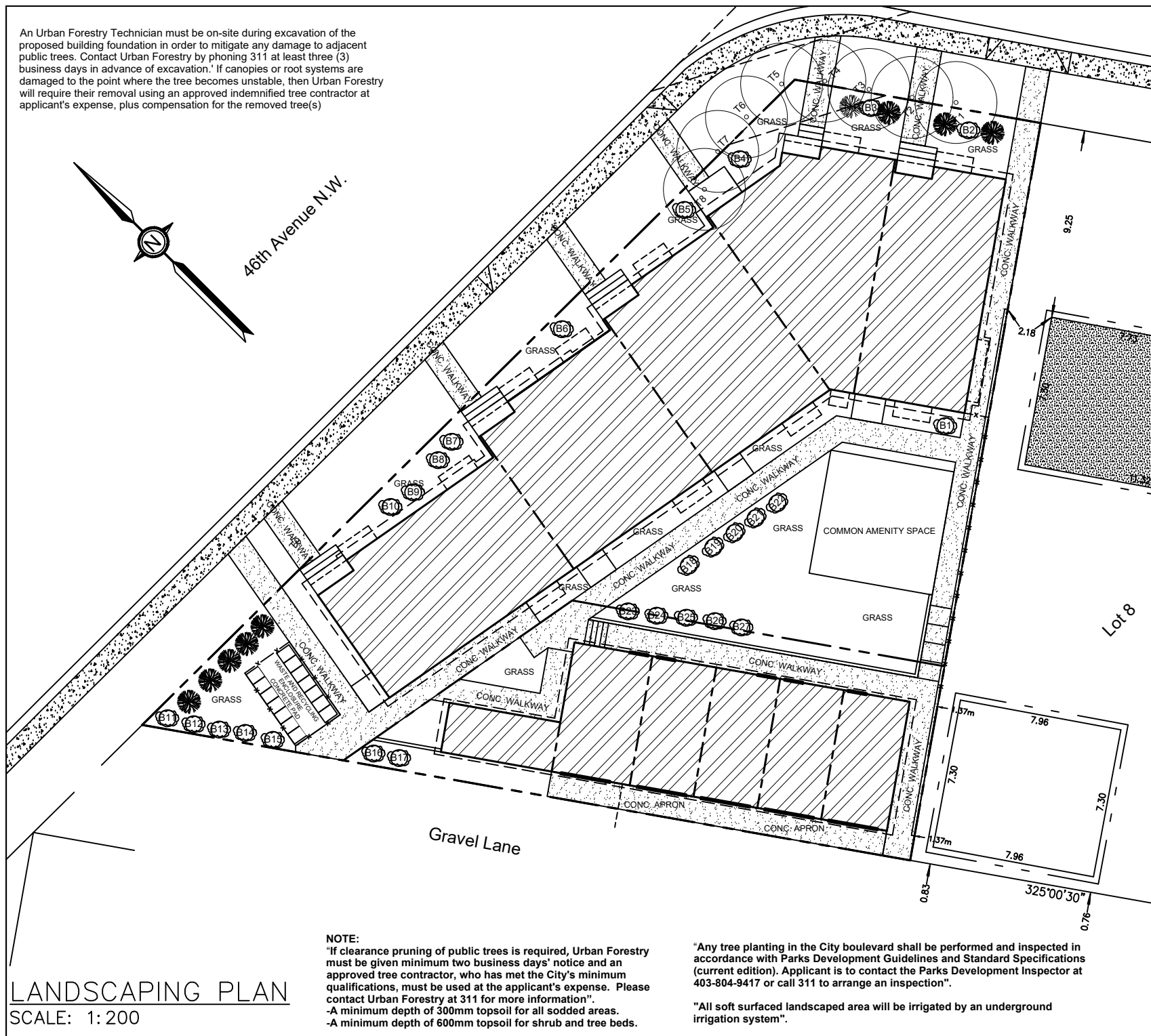
PROJECT NAME AND ADDRESS:
4649 70 ST N.W.
Calgary, Alberta
Lots 9
Block 14
Plan 1679 HJ

PROJECT	SCALE
ROW HOUSE	1: 300
DATE:	DIVISION NUMBER
OCT 16, 2025	S 02

An Urban Forestry Technician must be on-site during excavation of the proposed building foundation in order to mitigate any damage to adjacent public trees. Contact Urban Forestry by phoning 311 at least three (3) business days in advance of excavation. If canopies or root systems are damaged to the point where the tree becomes unstable, then Urban Forestry will require their removal using an approved indemnified tree contractor at applicant's expense, plus compensation for the removed tree(s)



46th Avenue N.W.



NOTE:

"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".
 -A minimum depth of 300mm topsoil for all sodded areas.
 -A minimum depth of 600mm topsoil for shrub and tree beds.

"Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or call 311 to arrange an inspection".

"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

LANDSCAPING PLAN

SCALE: 1:200

TREE SCHEDULE:

Tree No.	Variety	Calliper (±)	Canopy (±)	Height (±)	Location	Disposition
T1	Spruce	0.20	4.00	8.00	In City Property	To Be Removed
T2	Spruce	0.20	4.00	8.00	In City Property	To Be Removed
T3	Spruce	0.20	4.00	8.00	In City Property	To Be Removed
T4	Spruce	0.20	4.00	8.00	In City Property	To Be Removed
T5	Spruce	0.20	4.00	8.00	In City Property	To Be Removed
T6	Spruce	0.20	4.00	8.00	In City Property	To Be Removed
T7	Spruce	0.20	4.00	8.00	In City Property	To Be Removed
T8	Spruce	0.20	4.00	8.00	In Subject Property	To Be Removed
T9	Bush Line	10.00	1.50	2.00	In City Property	To Be Removed

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N7	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N8	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N9	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
B1 to B4	Lilac (Shrub)	--	0.61	0.61	In Subject Property	New
B5 to B7	Bearberry (Shrub)	--	0.61	0.61	In Subject Property	New
B8 to B12	Juniper (Shrub)	--	0.61	0.61	In Subject Property	New
B8 to B12	Mugo Pine (Shrub)	--	0.61	0.61	In Subject Property	New
B13 to B16	Juniper (Shrub)	--	0.61	0.61	In Subject Property	New
B17 to B19	Bearberry (Shrub)	--	0.61	0.61	In Subject Property	New
B20 to B24	Lilac (Shrub)	--	0.61	0.61	In Subject Property	New
B25 to B27	Mugo Pine (Shrub)	--	0.61	0.61	In Subject Property	New

LANDSCAPING LEGEND

- denotes Deciduous Tree
- denotes Shrubs
- denotes Coniferous Tree

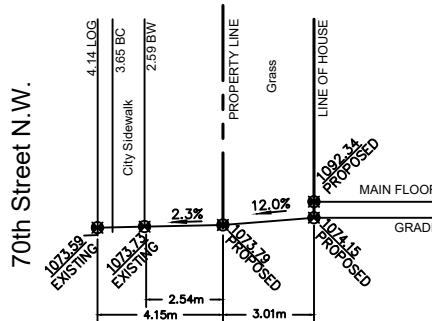
LANDSCAPE COVERGE

LOT SIZE = 918.033 SQ. M
 LANDSCAPE AREA = 397.473 SQ. M
 HARD LANDSCAPE (CONC. WALKWAY) = 116.640 SQ. M
 SOFT LANDSCAPE (GRASS + MULCH) = 280.833 SQ. M

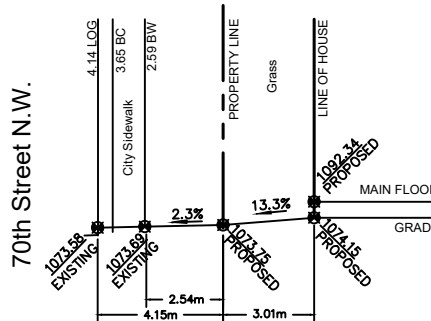
116.640 / 397.473 = 29.34% OF HARD LANDSCAPE
 280.833 / 397.473 = 70.73% OF SOFT LANDSCAPE

UNDER GROUND IRRIGATION SYSTEM

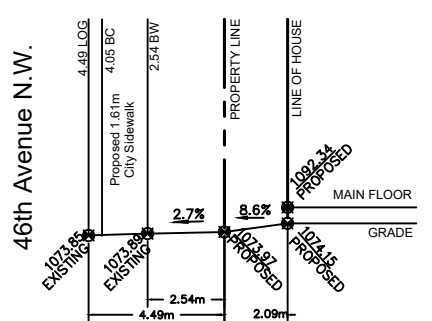
BOULEVARD SLOPE DETAIL 2



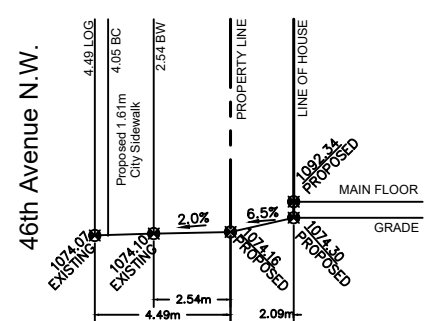
BOULEVARD SLOPE DETAIL 1



BOULEVARD SLOPE DETAIL 3



BOULEVARD SLOPE DETAIL 4



BOULEVARD SLOPE

SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY
01.	16/10/2025	DP PLANS	T.Y.
02.			
03.			
04.			

JOHN TRINH & ASSOCIATES
 Design | Drafting | Planning | Permits
 www.johntrinh.ca -- 403.472.8184

PROJECT NAME AND ADDRESS:
 4649 70 ST N.W.
 Calgary, Alberta
 Lots 9
 Block 14
 Plan 1679 HJ

PROJECT	SCALE
ROW HOUSE	AS SHOWN
DATE:	DIVISION NUMBER
OCT 16, 2025	S 03