



PROJECT EMBER

CALGARY, ALBERTA



HOVE STREET PROJECT EMBER

3939 54th Ave. SE, CALGARY, AB T2C 2L2
LOT 1, BLOCK 1, PLAN 801 0723

Walterfedy Architects Project No.: 2025-0641-10
DR1 10/01/25 DP# - DP2025-05923

SITE INFORMATION		PARKING / BIKE INFORMATION	
MUNICIPAL ADDRESS 3939 54th Ave. SE, CALGARY, AB T2C 2L2	SITE AREA EXISTING SITE AREA = 125,355.03 R ² = 11,645.86 m ² - 1.16 Hectare - 2.88 Acres	PARKING FOLLOWING THE CITY OF CALGARY ORIGINAL 1P2007 PARKING GUIDELINES. GENERAL INDUSTRIAL - MEDIUM: 4483m ² 1 STALL PER 100m ² FOR THE FIRST 2000m ² , THEN 1 STALL PER 500m ² OF G.U.F.A. 4483m ² - 2000m ² = 2483m ² DIVIDED BY 500m ² = 4.9 OR 5 STALLS	BIKE PARKING GENERAL INDUSTRIAL - MEDIUM CLASS ONE: NOT REQUIRED CLASS 2: 1 PER 2000m ² G.U.F.A. 4483m ² DIVIDED BY 2000 = 2.2 STALLS OFFICE CLASS ONE: 1 PER 1000m ² G.U.F.A. 63.2m ² PER 1000m ² = 0 STALLS CLASS 2: 1 PER 1000m ² G.U.F.A. 63.2m ² PER 1000m ² = 0 STALLS
LEGAL DESCRIPTION LOT 1, BLOCK 1, PLAN 801 0723	GROSS FLOOR AREA (G.F.A) OFFICE AREA: 375.7m ² (4044 R ²) INDUSTRIAL AREA: 4107.3m ² (42 210.6 R ²)	OFFICE - 63.2m ² 2 STALLS PER 100m ² OF G.U.F.A. 63.2m ² DIVIDED BY 100 x 2 = 1.2 STALLS	
LAND USE DESIGNATION I-G INDUSTRIAL - GENERAL DISTRICT	TOTAL USABLE AREA: 4483m ² (48254.61 R ²) MECH / ELEC AREA: 63.2m ² (680.3 R ²)	48 STALL PROVIDED	
APPLICABLE BY-LAW CITY OF CALGARY LAND USE BY-LAW 1P2007	TOTAL G.F.A = 4 546.2 m² (48 934.97 R²)		
MAXIMUM HEIGHT PERMITTED NO RESTRICTIONS	GROSS USABLE FLOOR AREA (G.U.F.A) TOTAL USABLE AREA: 4483m ² (48254.61R ²) MECH / ELECT AREA: 63.2m ² (680.28R ²)		
SITE SETBACKS FRONT: 4.0m SIDE: 1.2m REAR: 1.2m	TOTAL G.F.A = 4 419.8 m² (47,574.33 R²)		
USES - PERMITTED GENERAL INDUSTRIAL - MEDIUM	FLOOR AREA RATIO MAXIMUM PERMITTED F.A.R = 1.0 PROPOSED F.A.R = 4546.2 (G.F.A) DIVIDED BY 11645.86m ² (SITE AREA) = 0.39		
USES - DISCRETIONARY OFFICE			

AMENDED DRAWINGS
DP No Date Received
DP2025-05923 FEB 10 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

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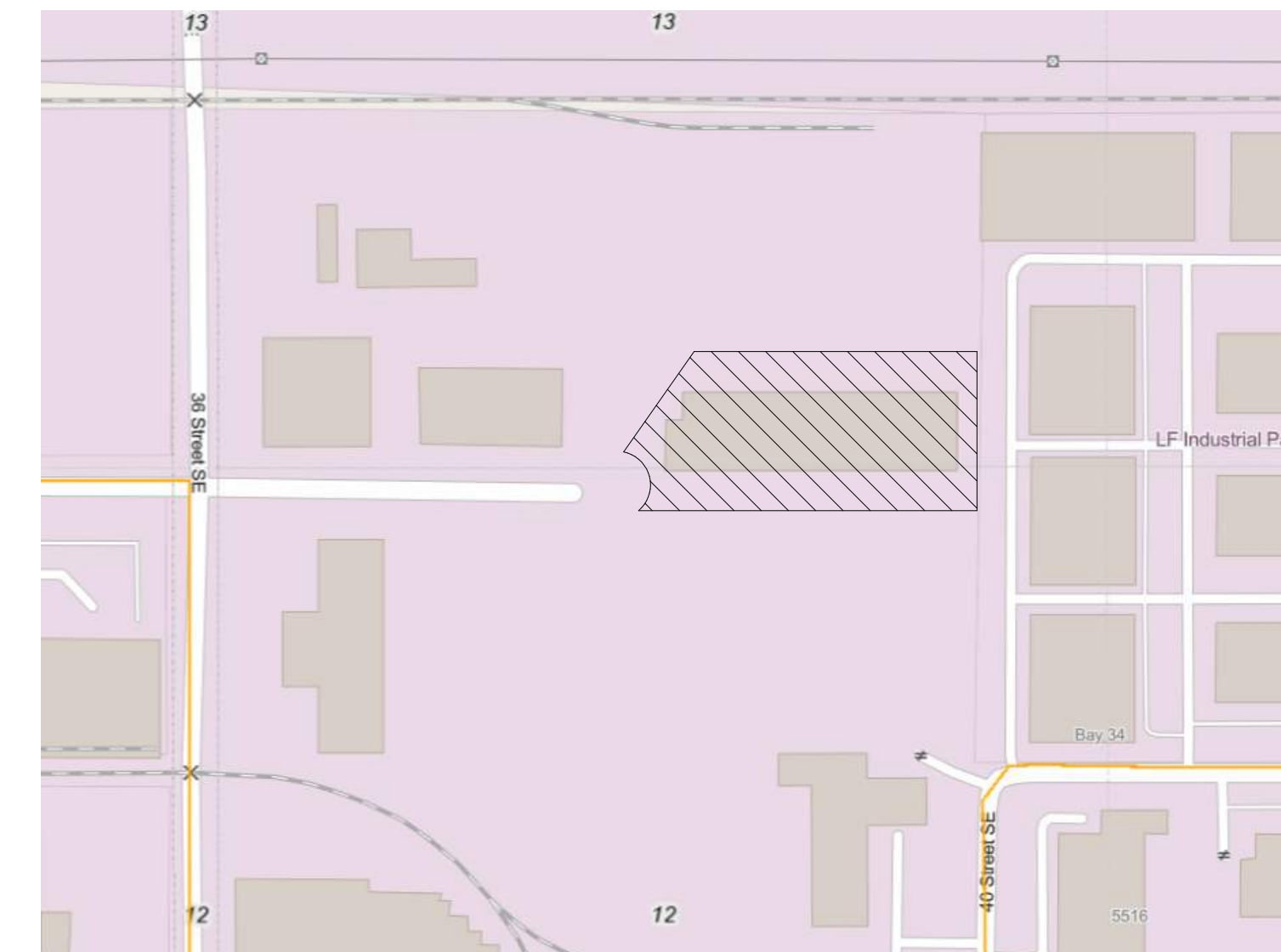


2 BIRDSEYE SITE CONTEXT
DP001 Scale: 1 : 200



6 LANDUSAGE
DP001 Scale: NTS


VIEW NOTE:
I-G - INDUSTRIAL DISTRICT DIVISION 2



7 ABANDON WELL PLAN
DP001 Scale: NTS

VIEW NOTE:
NO ABANDON WELLS WITHIN SITE

CLIENT LOGO



No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-10-01
2	REVISED PER CITY COMMENTS 01	2025-11-07
3	DR1	2026-02-09



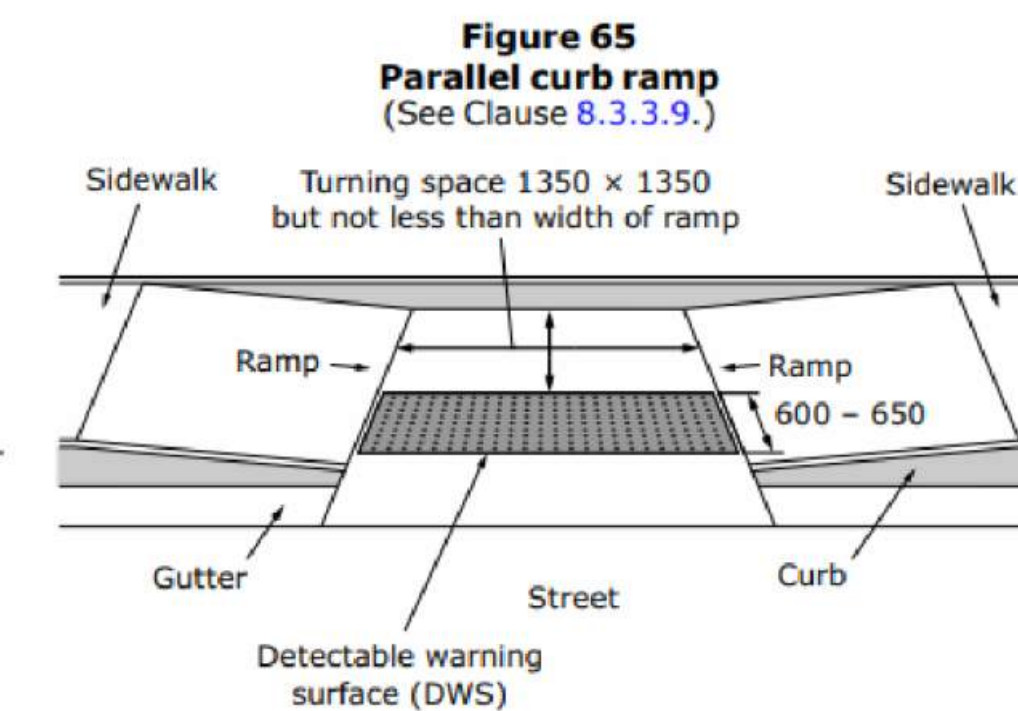
1 NORTH SITE CONTEXT
DP001 Scale: 1 : 150



4 SOUTH SITE CONTEXT
DP001 Scale: 1 : 150

Project Description:

This Development Permit application is for a new industrial warehouse building located in the Foothills Industrial Area of Calgary. The proposed building replaces a previous structure that was destroyed by fire. The project consists of a single-story warehouse with office areas located at the south corners, situated on a 2.88-acre site. The building is oriented to face south to maximize natural sunlight and includes staff parking and landscaping along the frontage. Truck marshalling and loading areas are located on the north side of the site, screened from view from the street.



Note: All dimensions are in mm.

8.3.4 Crosswalks

8.3.4.1 Surface

A crosswalk shall
a) be at least 1800 mm wide between pavement markings (where provided);

November 2018 © 2018 Canadian Standards Association 177

Division B

A-3.9.2.1.(1)



Figure A-3.8.3.23.(1)-A
Common access aisle



3 EAST SITE CONTEXT
DP001 Scale: 1 : 150



5 WEST SITE CONTEXT
DP001 Scale: 1 : 150

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DP No: DP2025-05923 Date Received: FEB 10 2026
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CLIENT
HOVE STREET

PROJECT
PROJECT EMBER

3939 54th Ave. SE, CALGARY, AB T2C 2L2
LOT 1, BLOCK 1, PLAN 801 0723
DEVELOPMENT PERMIT #: DP2025-05923 BUILDING PERMIT #:

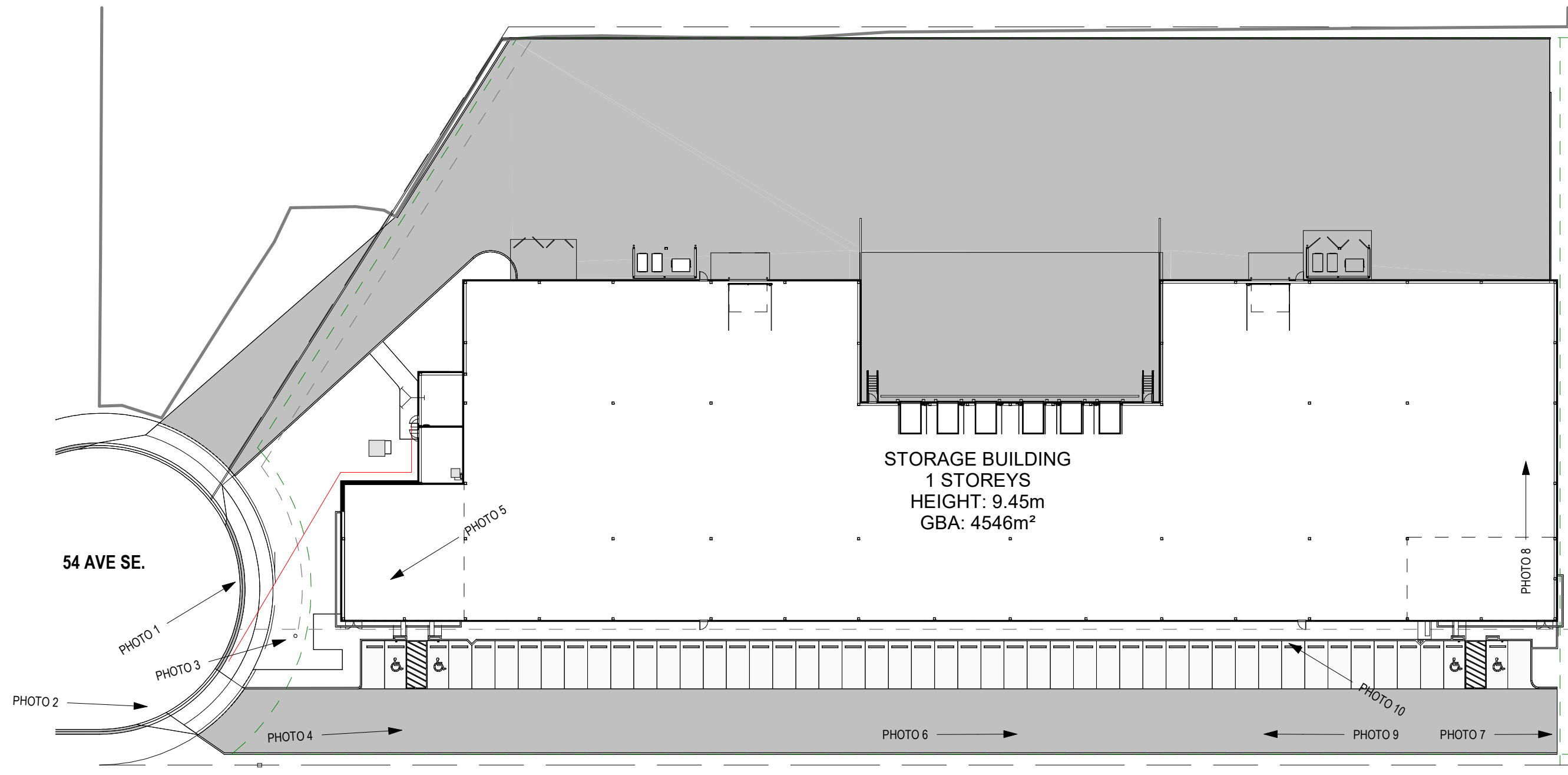
TITLE
SITE CONTEXT & PROJECT DESCRIPTION

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DATE:	08/15/25	DP001
PROJECT NO.:	2025-0641-10	
DRAWN BY:	Author	
CHECKED BY:	Checker	



1 KEY SITE PLAN
 DP103 Scale: 1 : 500



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9



PHOTO 10

CLIENT LOGO



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1	ISSUED FOR DEVELOPMENT PERMIT	2025-10-01
2	DR1	2026-02-09

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TITLE
SITE PHOTOS

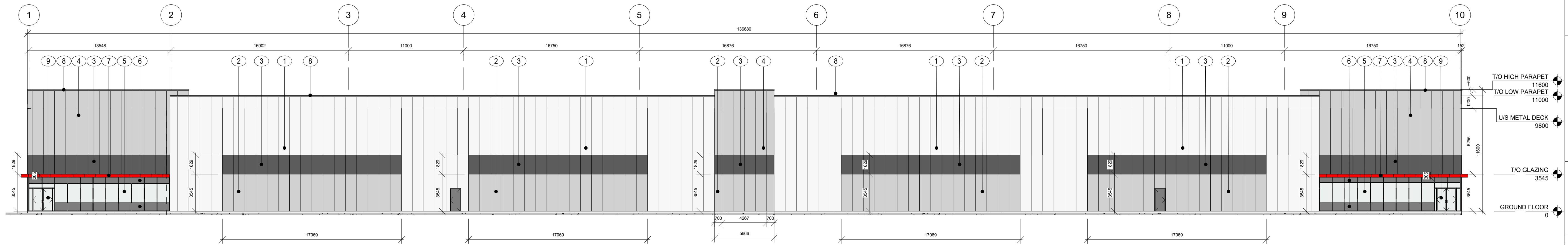
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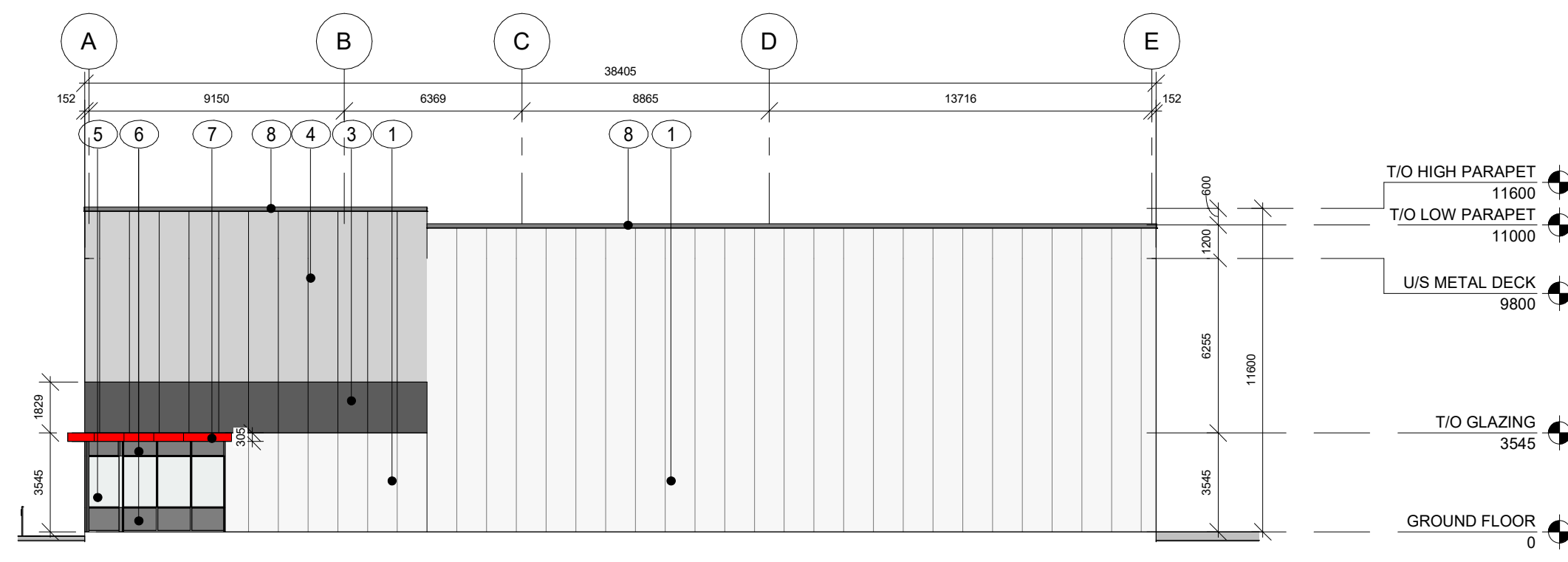
SCALE:	AS NOTED	SHEET NO.:	DP103
DATE:	09/18/25		
PROJECT NO.:	2025-0641-10		
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CHECKED BY:	Checker		



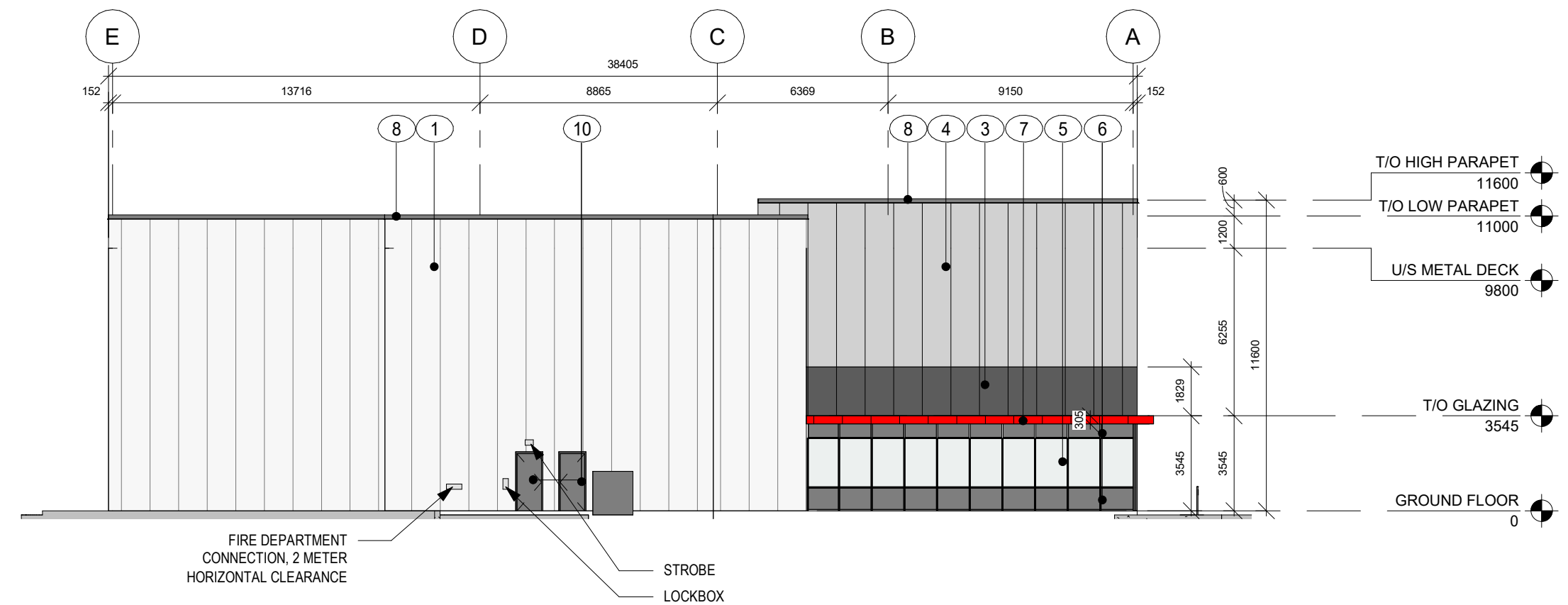
1 SOUTH ELEVATION
DP400 Scale: 1 : 200

MATERIAL LEGEND	
1	1067mm WIDE INSULATED METAL PANEL, COLOUR: WHITE
2	1067mm WIDE INSULATED METAL PANEL, COLOUR: LIGHT GREY
3	1067mm WIDE INSULATED METAL PANEL, COLOUR: DARK GREY
4	1067mm WIDE INSULATED METAL PANEL, COLOUR: MEDIUM GREY
5	STORE FRONT CURTAIN WALL GLAZING SYSTEM
6	STORE FRONT CURTAIN WALL SPANDREL PANEL SYSTEM, COLOUR: DARK GREY
7	610mm OR 915mm DEEP SOLAR SHADE PART OF THE GLAZING SYSTEM, COLOR: RED
8	PARAPET CAP, COLOUR: MATCH ASSOCIATED IMP
9	STORE FRONT DOUBLE DOOR, FINISH TO MATCH MULLION ON EXTERIOR & CLEAR ANODIZED ON THE INSIDE
10	EXTERIOR DOOR, COLOUR: MATCH ASSOCIATED IMP
11	2743mm x 3050mm INSULATED SECTIONAL OVERHEAD DOOR c/w DOCK LEVELERS, BUMPERS, AND PADS, R-VALUE AS PER NECB CONSULTANT COLOUR: TO MATCH ASSOCIATED IMP
12	4270mm x 4270mm INSULATED SECTIONAL OVERHEAD DOOR R-VALUE AS PER NECB CONSULTANT COLOUR: TO MATCH ASSOCIATED IMP
13	GARBAGE ENCLOSURE TO HOUSE TWO 3yd BINS AND ONE 4yd BIN, DOOR NOT SHOWN FOR GRAPHICAL PURPOSES
14	203mm STEEL BOLLARD PAINTED RED

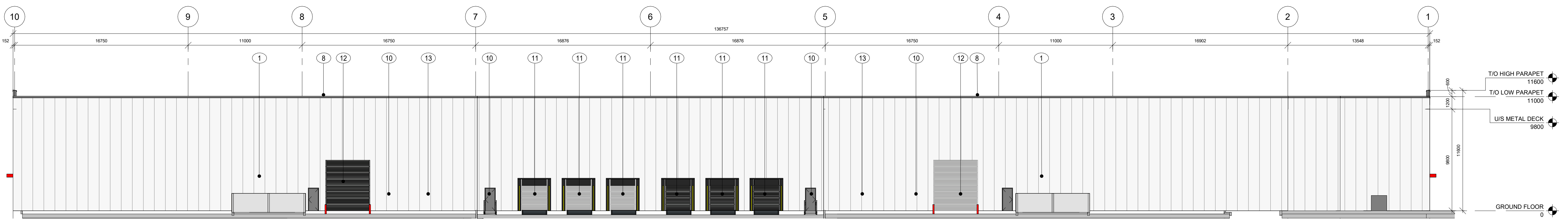
No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-10-01
2	DR1	2026-02-09



2 EAST ELEVATION
DP400 Scale: 1 : 200



3 WEST ELEVATION
DP400 Scale: 1 : 200



4 NORTH ELEVATION
DP400 Scale: 1 : 200

WINDOW SCHEDULE LEGEND	
	GLASS
	GLAZING: 1/4" TINTED GRAY TEMPERED 1/4" ARGON W/ BLACK WARM EDGE SPACER 1/4" SOLARBANGLO LOW-E ON #3
	FRAME: 64 mm x 152 mm EXTRUDED ALUMINUM FRAME FRAME COLOUR: BLACK MULLION CAPS CLEAR ANODIZED FRAME
	BACK PAINTED GLASS SPANDREL PANELS
	COLOUR: GRAY FRAME: 64 mm x 152 mm EXTRUDED ALUMINUM FRAME FRAME COLOUR: BLACK MULLION CAPS CLEAR ANODIZED FRAME

AMENDED DRAWINGS
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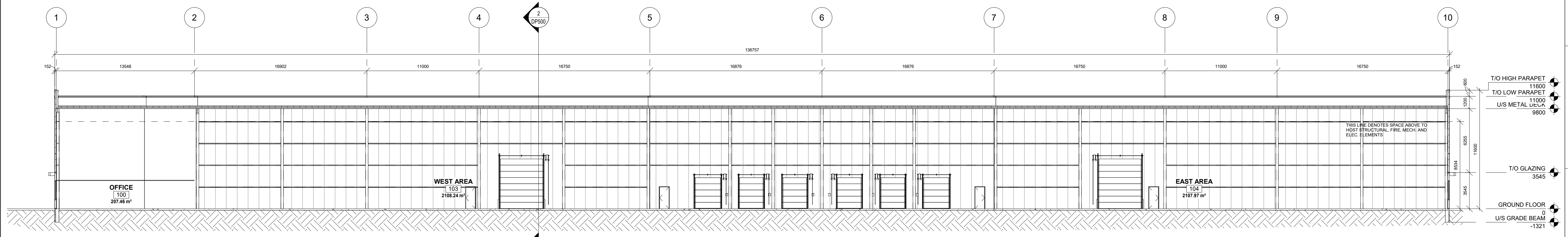
TITLE
PROPOSED BUILDING ELEVATIONS

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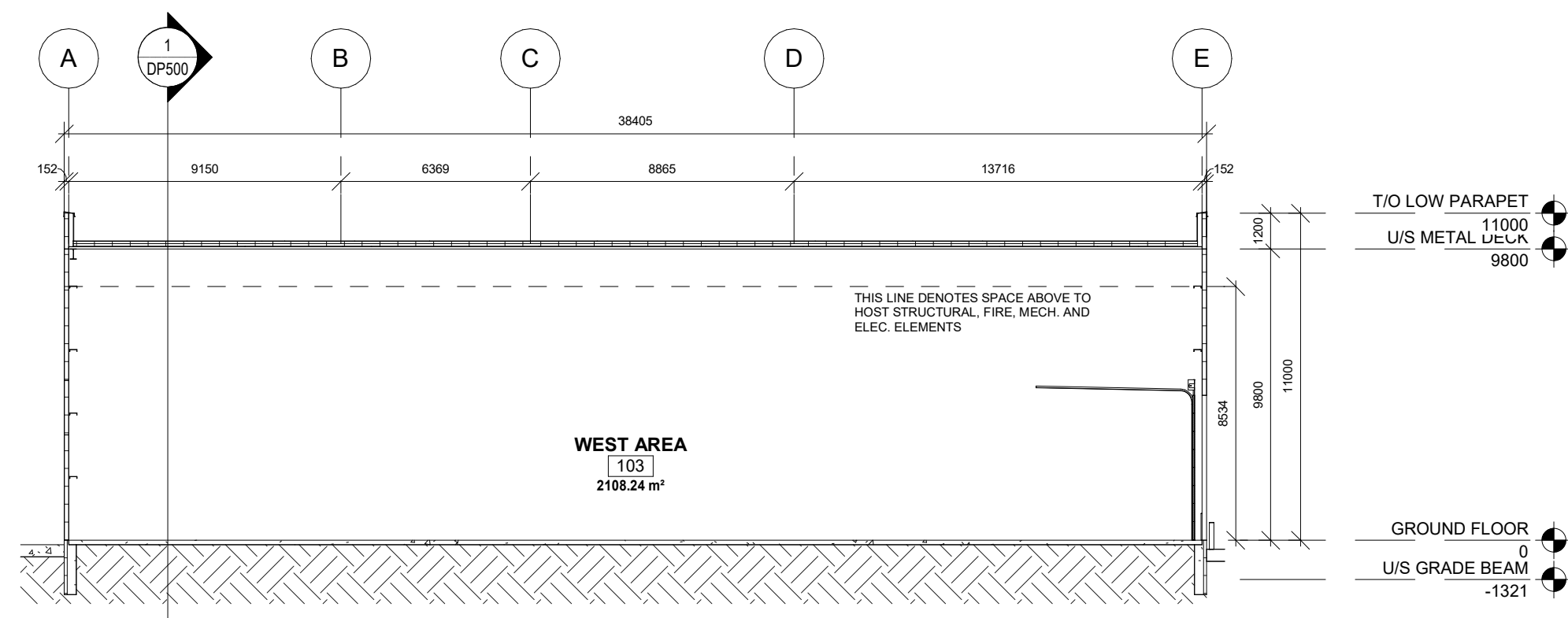
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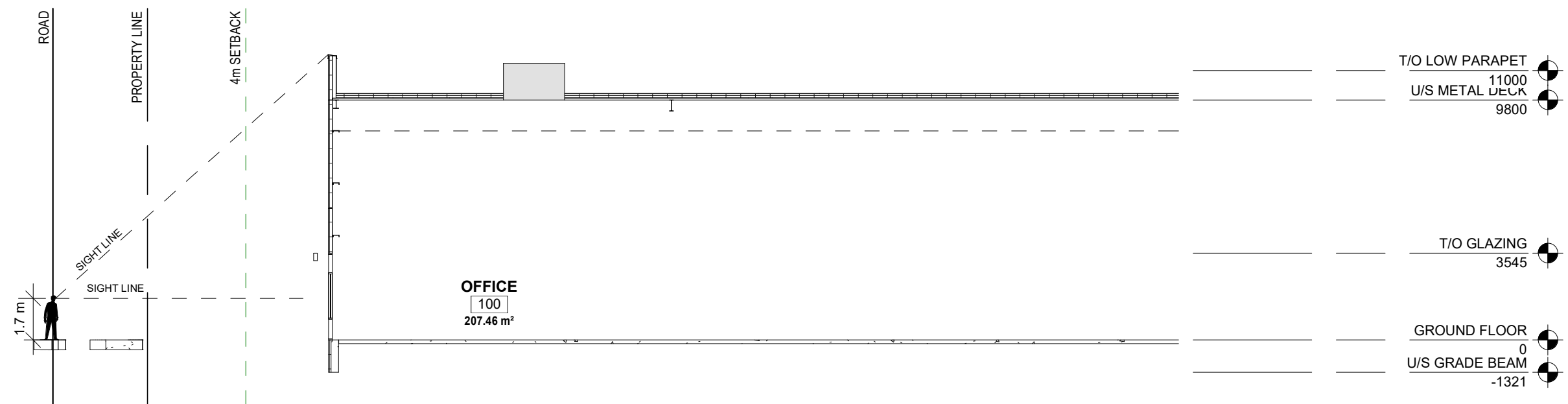
CLIENT LOGO



1 EAST / WEST BUILDING SECTION
DP500 Scale: 1 : 200



2 NORTH / SOUTH BUILDING SECTION
DP500 Scale: 1 : 200



3 MECHANICAL EQUIPMENT SIGHT LINES
DP500 Scale: 1 : 200

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1	ISSUED FOR DEVELOPMENT PERMIT	2025-10-01
2	DR1	2026-02-09

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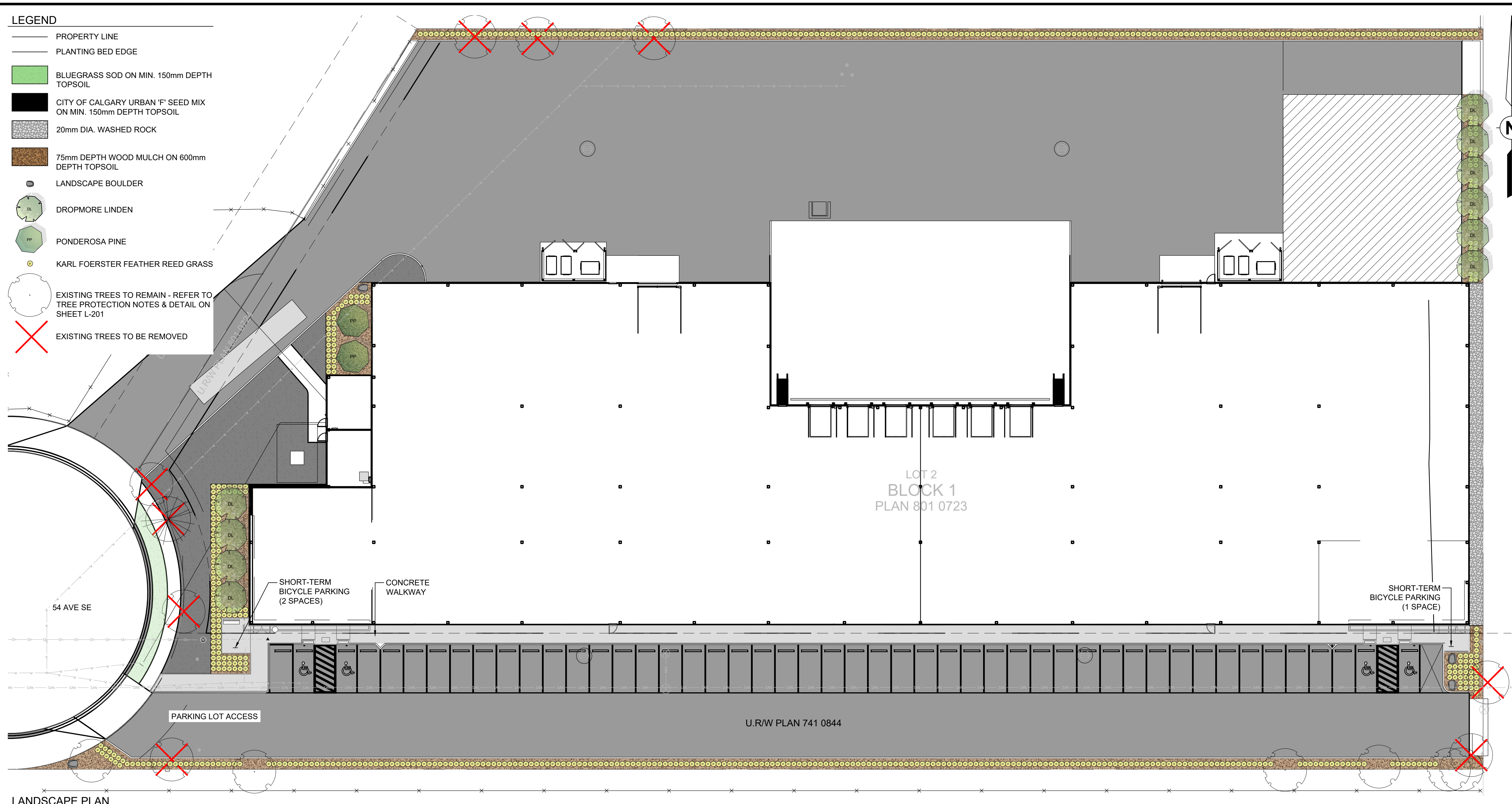
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DATE:	09/18/18		
PROJECT NO.:	2025-0641-10		
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CHECKED BY:	Checker		



LANDSCAPE REQUIREMENTS (ZONE I-G)

FRONT SETBACK (WEST)		
1 TREE / 35m ² & 2 SHRUBS / 35m ²		154
TOTAL AREA (m ²)		
MINIMUM REQUIREMENT:		
TREES		04
SHRUBS AND GRASSES		09
NUMBER OF EXISTING DECIDUOUS TREES (WITHIN SETBACK)		00
NUMBER OF EXISTING CONIFEROUS TREES (WITHIN SETBACK)		00
PROPOSED:		
DECIDUOUS TREES		00
CONIFEROUS TREES		00
SHRUBS AND GRASSES		00
SIDE SETBACK (SOUTH)		
1 TREE / 35m ² & 2 SHRUBS / 35m ²		192
TOTAL AREA (m ²)		
MINIMUM REQUIREMENT:		
TREES		05
SHRUBS AND GRASSES		11
NUMBER OF EXISTING DECIDUOUS TREES (WITHIN SETBACK)		06
NUMBER OF EXISTING CONIFEROUS TREES (WITHIN SETBACK)		00
PROPOSED:		
DECIDUOUS TREES		00
CONIFEROUS TREES		00
SHRUBS AND GRASSES		244
SIDE SETBACK (EAST)		
1 TREE / 35m ² & 2 SHRUBS / 35m ²		153
TOTAL AREA (m ²)		
MINIMUM REQUIREMENT:		
TREES		04
SHRUBS AND GRASSES		09
NUMBER OF EXISTING DECIDUOUS TREES (WITHIN SETBACK)		00
NUMBER OF EXISTING CONIFEROUS TREES (WITHIN SETBACK)		00
PROPOSED:		
DECIDUOUS TREES		06
CONIFEROUS TREES		00
SHRUBS AND GRASSES		88
SIDE SETBACK (NORTH)		
1 TREE / 35m ² & 2 SHRUBS / 35m ²		143
TOTAL AREA (m ²)		
MINIMUM REQUIREMENT:		
TREES		04
SHRUBS AND GRASSES		08
NUMBER OF EXISTING DECIDUOUS TREES (WITHIN SETBACK)		00
NUMBER OF EXISTING CONIFEROUS TREES (WITHIN SETBACK)		00
PROPOSED:		
DECIDUOUS TREES		00
CONIFEROUS TREES		00
SHRUBS AND GRASSES		199
INTERIOR SITE LANDSCAPING (TO SUPPLEMENT DEFICIENT SETBACK REQUIREMENTS)		
PROPOSED:		
DECIDUOUS TREES		04
CONIFEROUS TREES		02
SHRUBS AND GRASSES		139

AMENDED DRAWINGS
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GENERAL NOTES

- THIS DRAWING HAS BEEN PREPARED FOR REVIEW PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
- DESIGN INTENT: THESE DRAWINGS REPRESENT THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ANY ADDITIONAL CLARIFICATION OR DETAILS NECESSARY TO ACCOMMODATE SITE CONDITIONS OR ARCHITECTURAL DETAILS.
- COMPOSITE BASE SHEET: THE PROPOSED IMPROVEMENTS SHOWN ON THESE DRAWINGS ARE SUPERIMPOSED ON A BASE SHEET. THIS BASE SHEET IS COMPILED FROM THE TOPOGRAPHIC SURVEY, OTHER ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, AND OTHER DATA AS MADE AVAILABLE TO THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED AS AN AID ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME.
- UTILITIES: PRIOR TO CONSTRUCTION: THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THE LOCATIONS OF THEIR UNDERGROUND FACILITIES.

- PROJECT STAKING: ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD FOR REVIEW BY THE OWNER'S INSPECTOR PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.
- GRADING AND DRAINAGE: ALL PROPOSED ROCK AND MULCH AREAS SHALL SMOOTHLY CONFORM TO EXISTING ADJACENT FEATURES. PROVIDE POSITIVE DRAINAGE ON ALL PAVING AND THROUGHOUT ALL PLANTING AREAS.
- BACKFILL: EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILLING SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REINSTATED TO EXISTING CONDITION OR BETTER.
- THE CONTRACTOR SHALL MAINTAIN AND WATER PLANT MATERIAL UNTIL LANDSCAPE ARCHITECTS FINAL ACCEPTANCE WITH TEMPORARY IRRIGATION SYSTEM.
- IF THE SITE WORK IS DIFFERENT OR MODIFIED FROM WHAT IS DEPICTED ON THE LANDSCAPE PLAN, OR POOR SOIL AND/OR DEBRIS ARE ENCOUNTERED, REQUIRING CHANGES TO THE LANDSCAPE PLAN, CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTION.
- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.

PLANTING NOTES

- CARRY OUT ALL LANDSCAPE CONSTRUCTION AS PER THE CURRENT EDITION OF THE CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS: LANDSCAPE CONSTRUCTION UNLESS NOTED OTHERWISE.
- ALL PLANT MATERIAL TO COME FROM A CERTIFIED DISEASE-FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.
- ENSURE MULCH HAS A CLEAR RADIUS OF 100mm AROUND PLANT STEMS.
- STAKE TREE LOCATIONS AND BED EDGES FOR APPROVAL BY LANDSCAPE ARCHITECT.
- FIELD ADJUST THE LOCATION OF TREES AND SHRUBS TO AVOID CONFLICT WITH LOCATION OF ANY UTILITIES. CONTACT LANDSCAPE ARCHITECT IF PROBLEMS ARE ENCOUNTERED.
- PLANT SPECIES SUBSTITUTIONS ARE DISCOURAGED. IF PLANT AVAILABILITY IS A PROBLEM, CONTACT THE LANDSCAPE ARCHITECT FOR ACCEPTABLE ALTERNATIVES.
- FIELD ADJUST PLANTING LOCATIONS AS NECESSARY TO MINIMIZE DISTURBANCE TO EXISTING TREE ROOTS.
- ALL PLANTING AREAS TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM.

TREE PROTECTION NOTES

- PUBLIC TREES WITHIN 6m OF CONSTRUCTION DISTURBANCE REQUIRE TREE PROTECTION FENCING.
- NO TRIMMING OR REMOVAL OF ANY TREE IS PERMITTED WITHOUT CITY APPROVAL.
- TRIMMING OR TREE REMOVALS WILL BE DONE THROUGH AN ISA CERTIFIED ARBORIST.
- PREVENT SOIL COMPACTION OR CONTAMINATION AROUND TREES. KEEP EQUIPMENT, SOIL, BUILDING MATERIAL, AND DEBRIS OUTSIDE TREE PROTECTION FENCING.
- PRUNE ALL TREE ROOTS BEYOND 2m OF TREE TRUNK FLUSH WITH EXCAVATION WALL USING SHARP PRUNING TOOLS. PLACE A TARP OVER EXCAVATION WALL TO PREVENT EXPOSED ROOTS FROM DRYING OUT.
- ENSURE FENCING DOES NOT INTERFERE WITH ACCESS TO FIRE HYDRANTS, OR OBSCURE INTERSECTIONS OR TRAFFIC SIGNAGE.
- WATER PROTECTED TREES ONCE PER WEEK MINIMUM DURING CONSTRUCTION (TWICE PER WEEK DURING TEMPERATE WEATHER).
- IMMEDIATELY REPORT TO THE CITY OF ANY DAMAGE TO PUBLIC TREES DURING CONSTRUCTION.

SITE FURNITURE SCHEDULE

KEY	QTY	DESCRIPTION	MANUFACTURER	SUPPLIER	MODEL / TYPE	COLOUR / MATERIALS	MOUNTING
-	2	BIKE RACK	MAGLIN	JACKIE NIELSEN jackie.nielsen@maglin.com 1-800-716-5506 x6020	MBR-0150-00002	POWDERCOATED GLOSS BLACK	SURFACE MOUNTED AS PER MANUFACTURER'S SPECIFICATIONS
o	1	TRASH RECEPTACLE	MAGLIN	JACKIE NIELSEN jackie.nielsen@maglin.com 1-800-716-5506 x6020	MBR-0250-00004	POWDERCOATED GLOSS BLACK	SURFACE MOUNTED AS PER MANUFACTURER'S SPECIFICATIONS
=	1	BENCH	MAGLIN	JACKIE NIELSEN jackie.nielsen@maglin.com 1-800-716-5506 x6020	MBE-0300-00014	POWDERCOATED GLOSS BLACK	SURFACE MOUNTED AS PER MANUFACTURER'S SPECIFICATIONS

PLANT SCHEDULE

Total Qty.	Key	Botanical Name	Common Name	Size	Spacing O.C.	Mature Spread	Mature ht.
10	DL	<i>Tilia flavescens 'Dropmore'</i>	Dropmore Linden	75mm cal., B&B	3.6m	5m	12m
2	PP	<i>Pinus ponderosa</i>	Ponderosa Pine	2500mm ht, B&B	3.6m	5m	15m
6			Existing Trees To Remain				
670	kf	<i>Calamagrostis acutiflora</i>	Karl Foerster Feather Reed Grass	#2 pot	0.6m	0.85m	1.5m

Rev	Date	Description	Drawn	Design	App'd
03	2026-02-09	REISSUED FOR DEVELOPMENT PERMIT	LJ	LJ	TM
02	2025-10-01	ISSUED FOR DEVELOPMENT PERMIT	LJ	LJ	TM
01	2025-09-22	ISSUED FOR CLIENT REVIEW	LJ	LJ	TM

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PROJECT EMBER
 3939 54 AVE SE, CALGARY

HOVE STREET LANDSCAPE PLAN

Drawing No. **L101**

Project Number 2431-60132-00 Rev. 02