



PROJECT EMBER

CALGARY, ALBERTA



HOVE STREET PROJECT EMBER

3939 54th Ave. SE, CALGARY, AB T2C 2L2
LOT 1, BLOCK 1, PLAN 801 0723

Walterfedy Architects Project No.: 2025-0641-10
ISSUED FOR DEVELOPMENT PERMIT 10/01/25 DP# -
DP2025-05923

SITE INFORMATION		PARKING / BIKE INFORMATION	
MUNICIPAL ADDRESS 3939 54th Ave. SE, CALGARY, AB T2C 2L2	SITE AREA EXISTING SITE AREA = 125,355.03 R ² = 11,645.86 m ² - 1.16 Hectare - 2.88 Acres	PARKING FOLLOWING THE CITY OF CALGARY ORIGINAL 1P2007 PARKING GUIDELINES. GENERAL INDUSTRIAL - MEDIUM: 4483m ² 1 STALL PER 100m ² FOR THE FIRST 2000m ² , THEN 1 STALL PER 500m ² OF G.U.F.A. 4483m ² - 2000m ² = 2483m ² DIVIDED BY 500m ² = 4.9 OR 5 STALLS	BIKE PARKING GENERAL INDUSTRIAL - MEDIUM CLASS ONE: NOT REQUIRED CLASS 2: 1 PER 2000m ² G.U.F.A. 4483m ² DIVIDED BY 2000 = 2.2 STALLS OFFICE CLASS ONE: 1 PER 1000m ² G.U.F.A. 63.2m ² PER 1000m ² = 0 STALLS CLASS 2: 1 PER 1000m ² G.U.F.A. 63.2m ² PER 1000m ² = 0 STALLS
LEGAL DESCRIPTION LOT 1, BLOCK 1, PLAN 801 0723	GROSS FLOOR AREA (G.F.A) OFFICE AREA: 375.7m ² (4044 R ²) INDUSTRIAL AREA: 4107.3m ² (42 210.6 R ²)	OFFICE - 63.2m ² 2 STALLS PER 100m ² OF G.U.F.A. 63.2m ² DIVIDED BY 100 x 2 = 1.2 STALLS 48 STALL PROVIDED	
LAND USE DESIGNATION I-G INDUSTRIAL - GENERAL DISTRICT	TOTAL USABLE AREA: 4483m ² (48254.61 R ²) MECH / ELEC AREA: 63.2m ² (680.3 R ²)		
APPLICABLE BY-LAW CITY OF CALGARY LAND USE BY-LAW 1P2007	TOTAL G.F.A = 4 546.2 m² (48 934.97 R²)		
MAXIMUM HEIGHT PERMITTED NO RESTRICTIONS	GROSS USABLE FLOOR AREA (G.U.F.A) TOTAL USABLE AREA: 4483m ² (48254.61 R ²) MECH / ELECT AREA: 63.2m ² (680.28 R ²) TOTAL G.F.A = 4 419.8 m² (47,574.33 R²)		
SITE SETBACKS FRONT: 4.0m SIDE: 1.2m REAR: 1.2m	FLOOR AREA RATIO MAXIMUM PERMITTED F.A.R = 1.0 PROPOSED F.A.R = 4546.2 (G.F.A) DIVIDED BY 11645.86m ² (SITE AREA) = 0.39		
USES - PERMITTED GENERAL INDUSTRIAL - MEDIUM	USES - DISCRETIONARY OFFICE		

AMENDED DRAWINGS
DP No. NOV 07 2025
DP2025-05923
THESE DRAWINGS REFER TO THE
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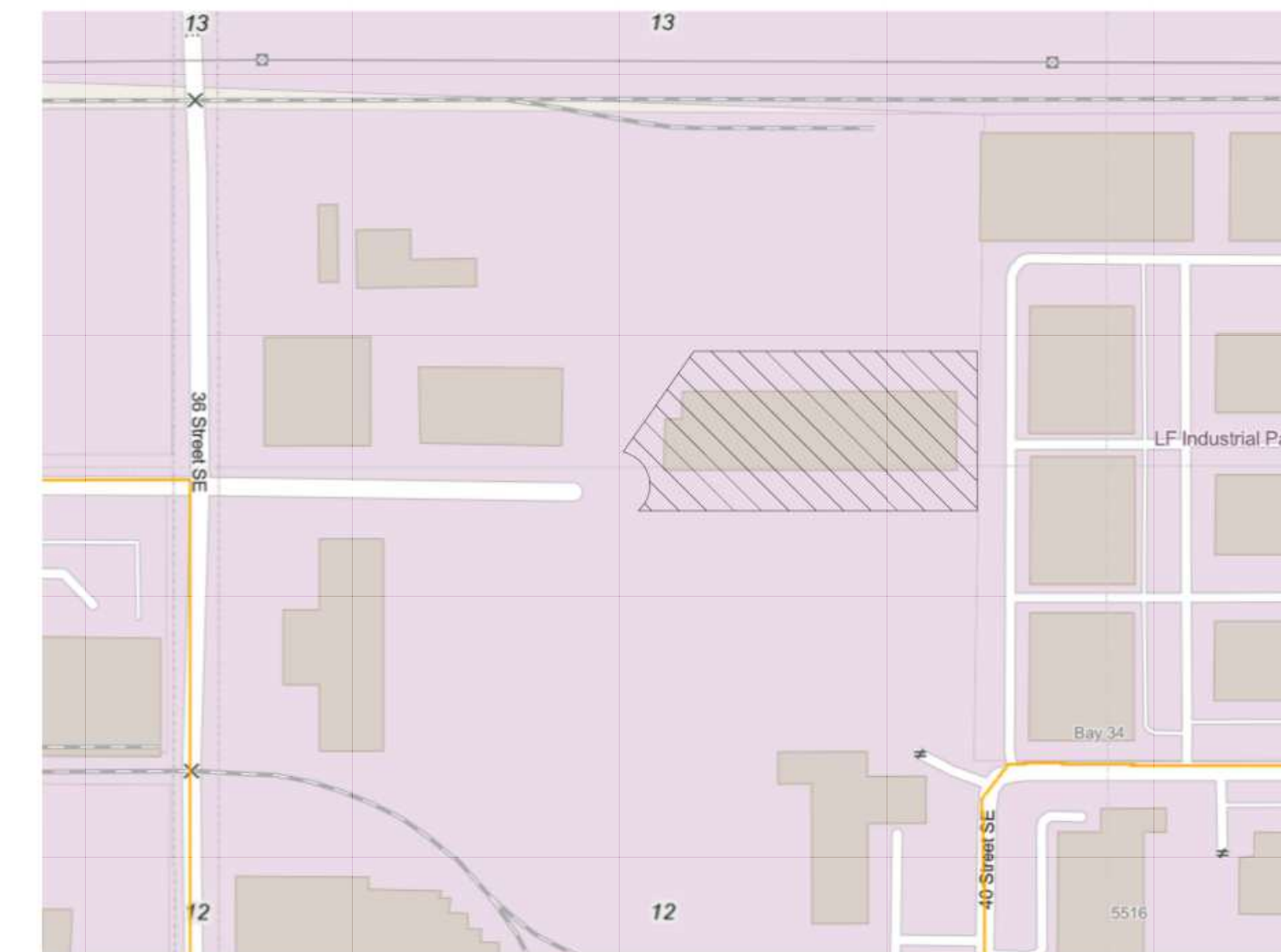


2 BIRDSEYE SITE CONTEXT
A001 Scale: 1 : 200



6 LANDUSAGE
A001 Scale: NTS


VIEW NOTE:
I-G - INDUSTRIAL DISTRICT DIVISION 2



7 ABANDON WELL PLAN
A001 Scale: NTS

VIEW NOTE:
NO ABANDON WELLS WITHIN SITE

CLIENT LOGO



No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-10-01
2	REVISED PER CITY COMMENTS 01	2025-11-07

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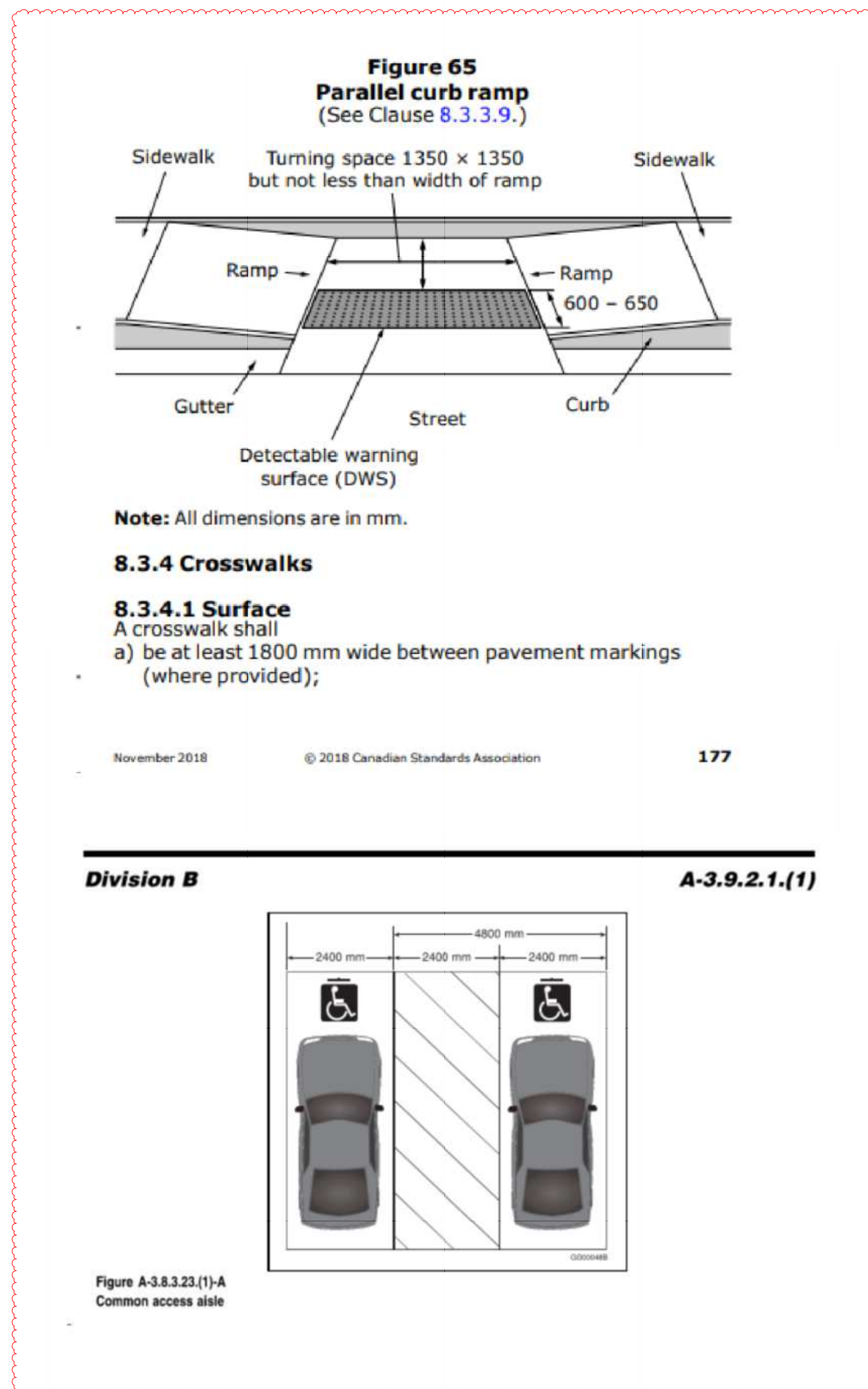
1 NORTH SITE CONTEXT
A001 Scale: 1 : 150



4 SOUTH SITE CONTEXT
A001 Scale: 1 : 150

Project Description:

This Development Permit application is for a new industrial warehouse building located in the Foothills Industrial Area of Calgary. The proposed building replaces a previous structure that was destroyed by fire. The project consists of a single-story warehouse with office areas located at the south corners, situated on a 2.88-acre site. The building is oriented to face south to maximize natural sunlight and includes staff parking and landscaping along the frontage. Truck marshalling and loading areas are located on the north side of the site, screened from view from the street.



3 EAST SITE CONTEXT
A001 Scale: 1 : 150



5 WEST SITE CONTEXT
A001 Scale: 1 : 150

CLIENT: HOVE STREET

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3939 54th Ave. SE, CALGARY, AB T2C 2L2
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TITLE: SITE CONTEXT & PROJECT DESCRIPTION

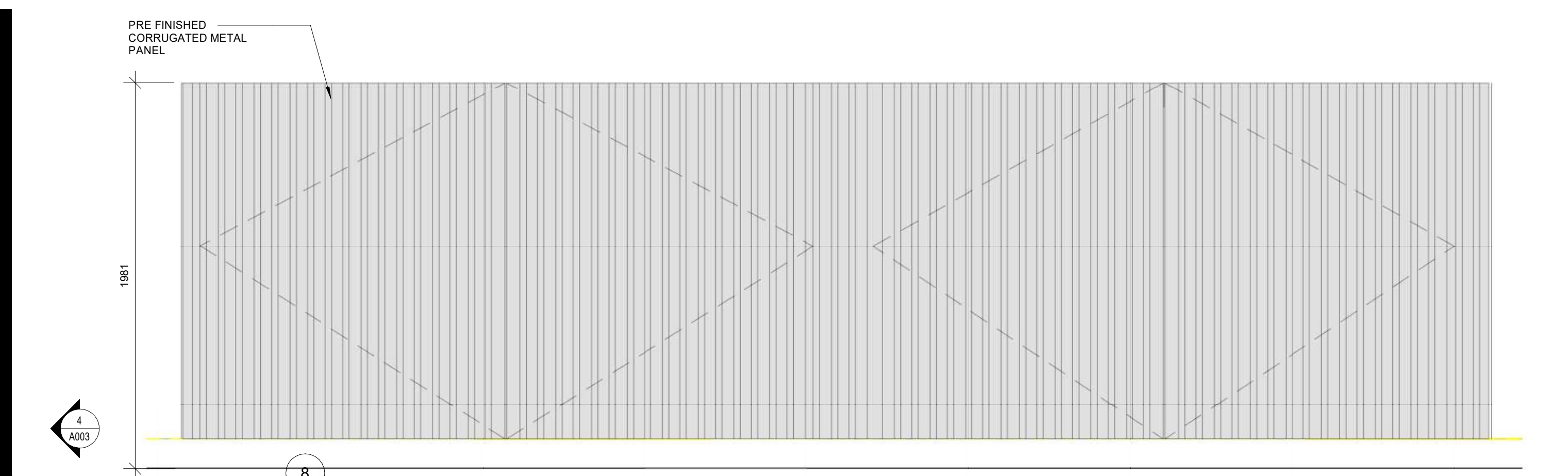
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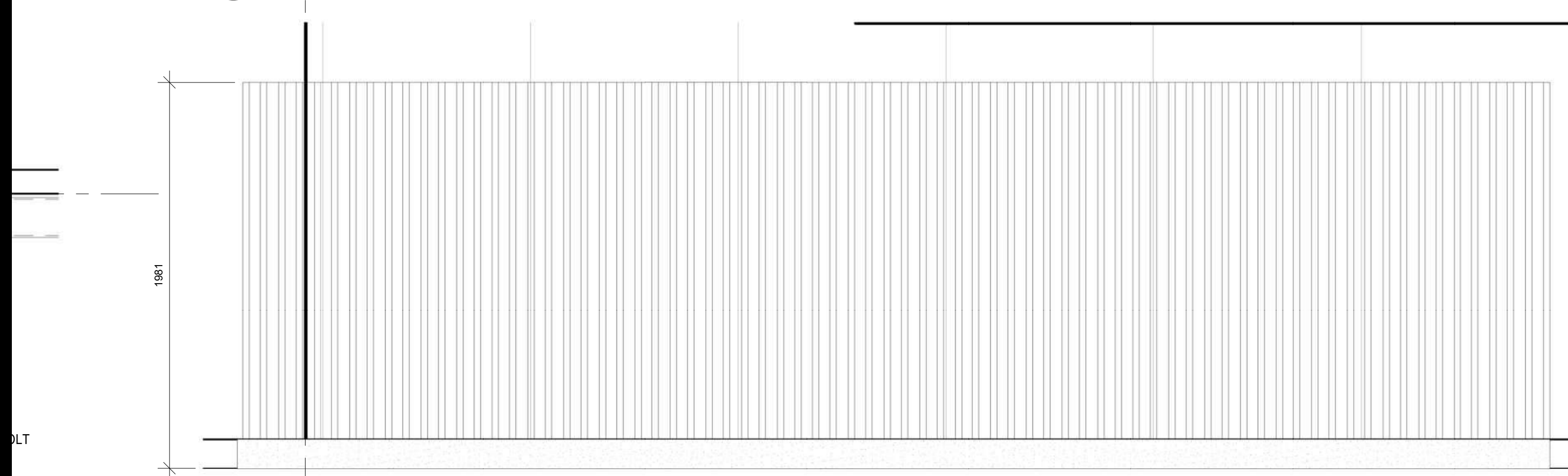
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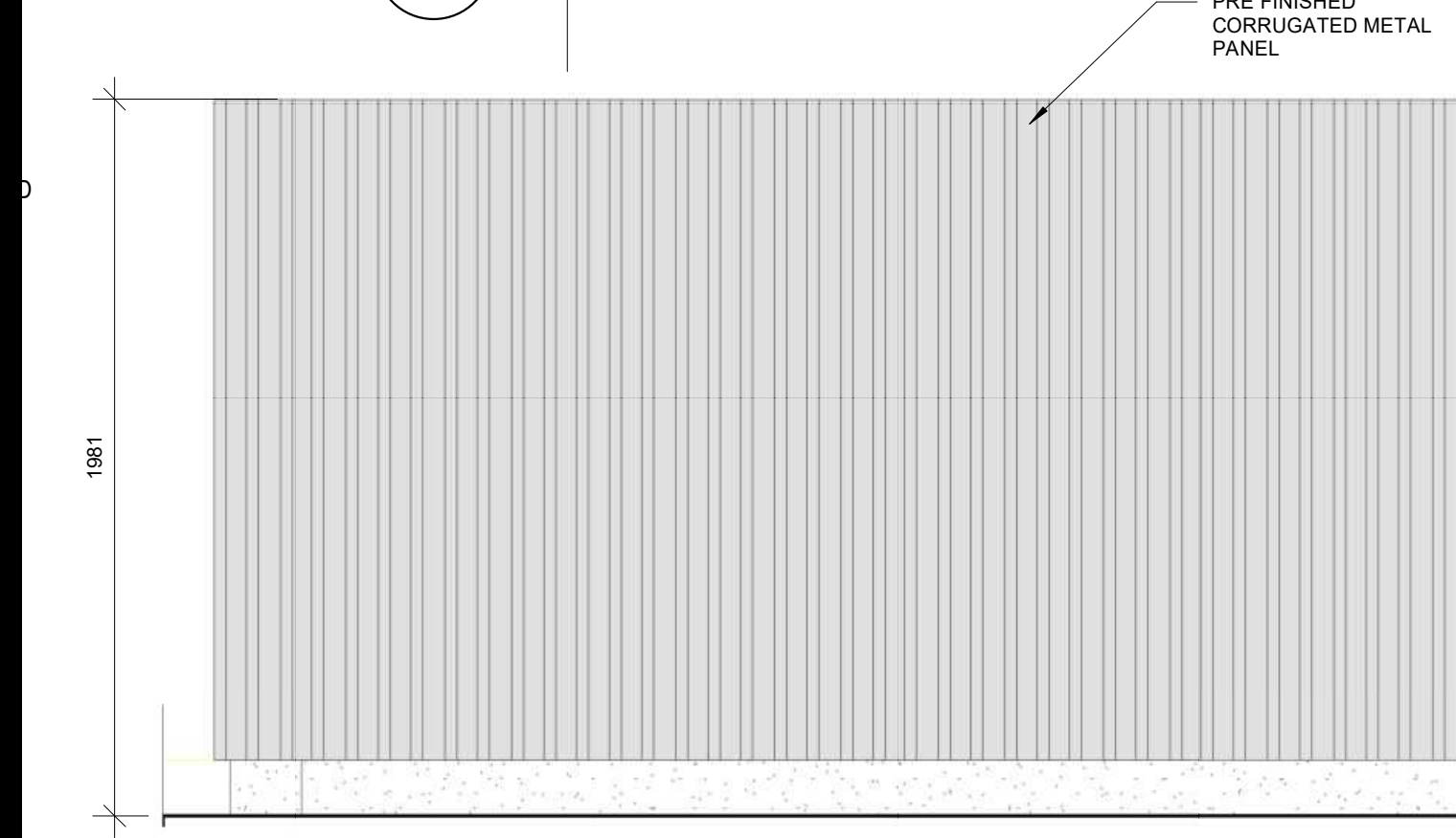
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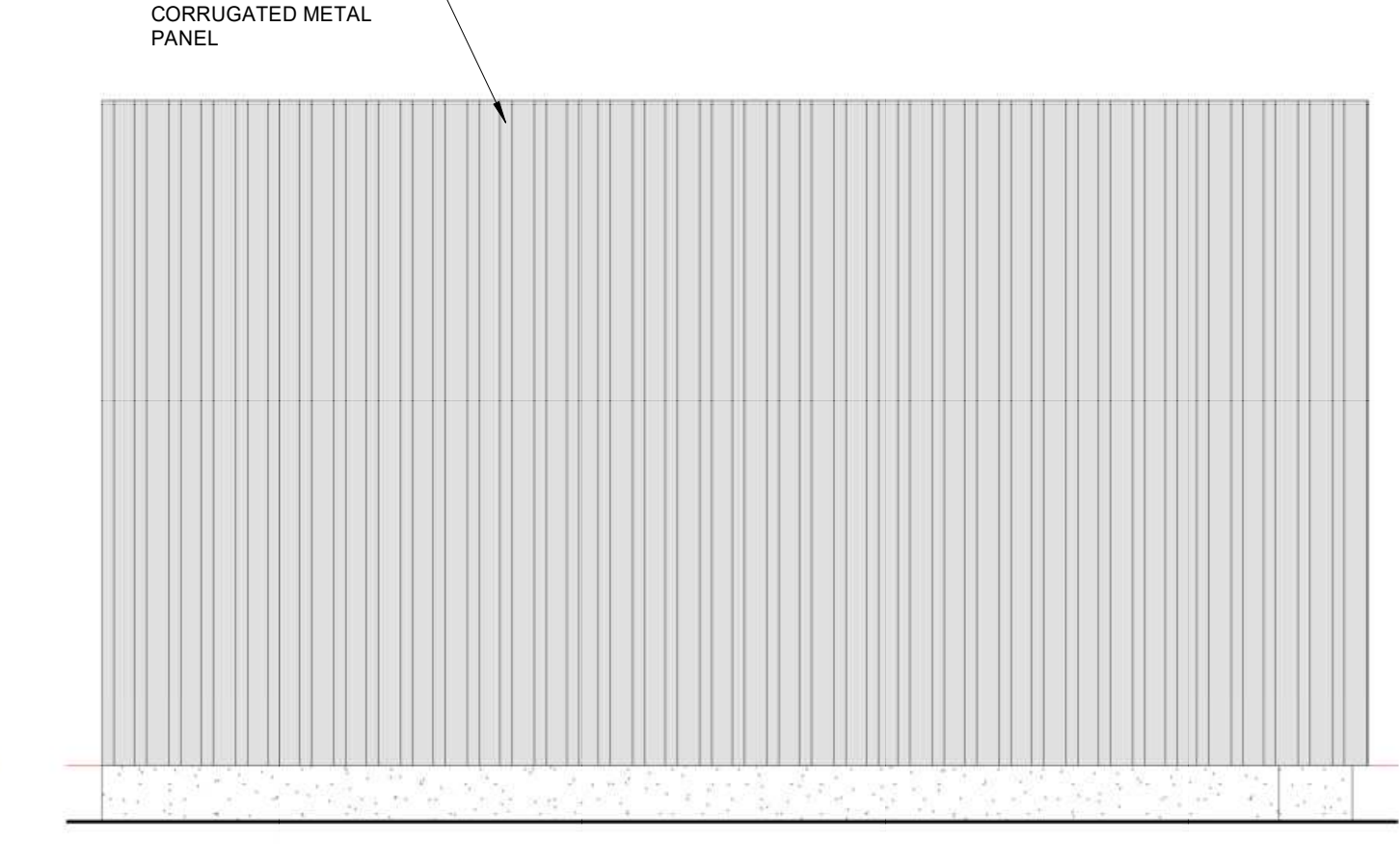
2 GARBAGE ENCLOSURE ELEVATION FRONT
A003 Scale: 1 : 20



3 GARBAGE ENCLOSURE ELEVATION REAR
A003 Scale: 1 : 20



4 GARBAGE ENCLOSURE ELEVATION SIDE 1
A003 Scale: 1 : 20



5 GARBAGE ENCLOSURE ELEVATION SIDE 2
A003 Scale: 1 : 20

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CLIENT

HOVE STREET

PROJECT

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 LOT 1, BLOCK 1, PLAN 801 0723

DEVELOPMENT PERMIT # : DP2025-05923 BUILDING PERMIT # :

TITLE

GARBAGE ENCLOSURE PLAN, ELEVATIONS, SECTIONS & DETAIL

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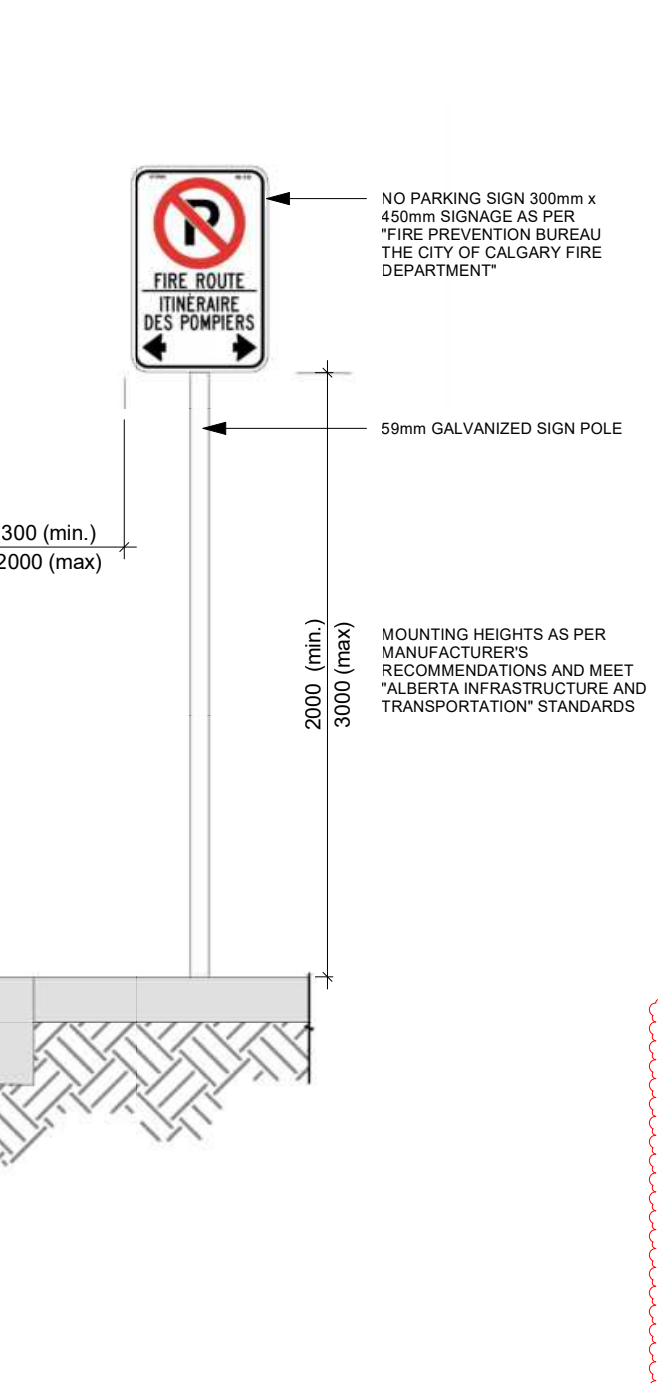
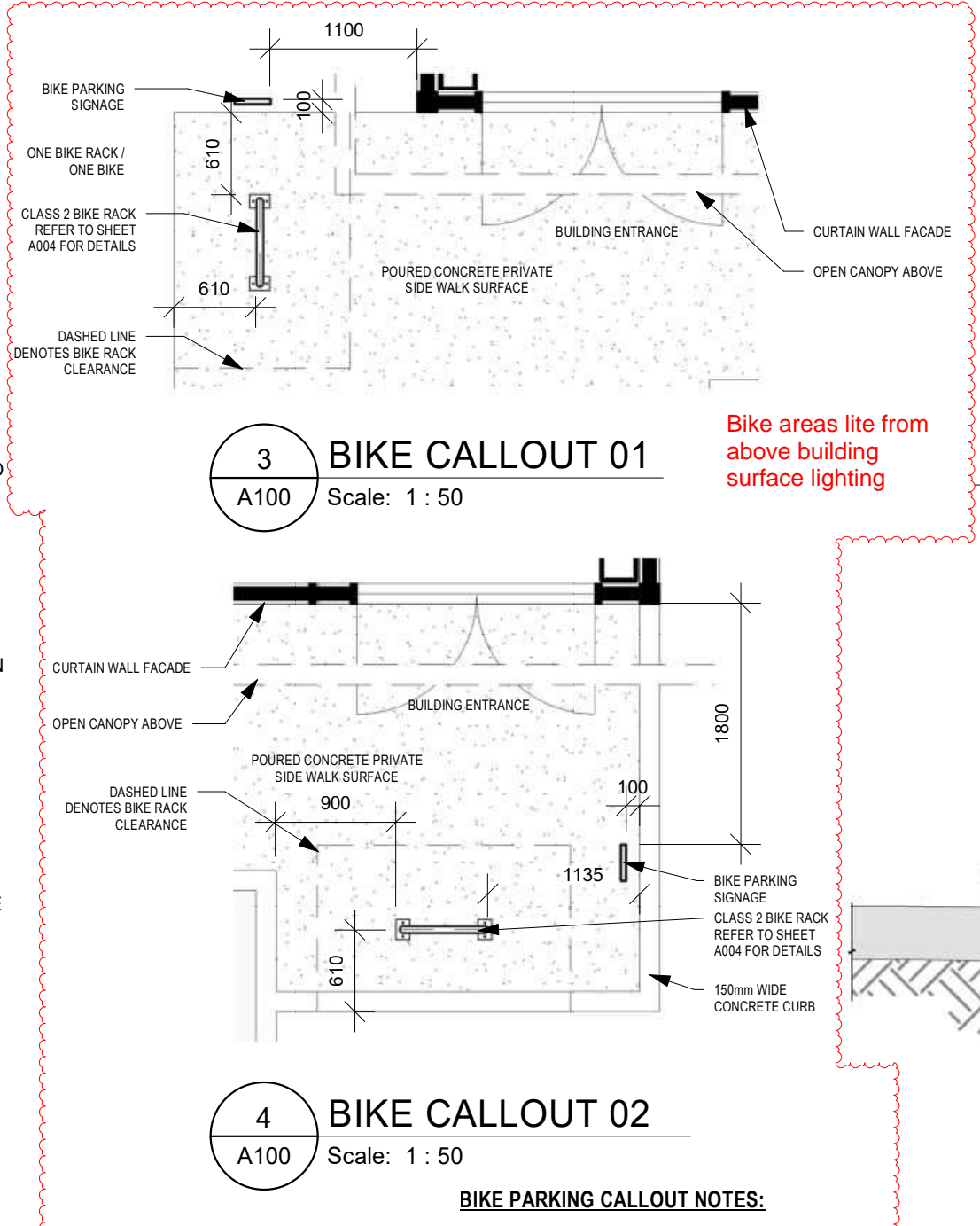
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1 PROPOSED SITE PLAN
 Scale: 1 : 250

SITE PLAN NOTES:

- EXISTING SITE INFORMATION INCLUDING PROPERTY LINES, EXISTING SERVICES AND GEODETIC ELEVATIONS WAS PROVIDED BY WATT CONSULTING GROUP ON MARCH 28, 2025
- ALL INFORMATION, WORKS, AND FEATURES ARE TO BE COORDINATED ACROSS THE ARCHITECTURAL SITE PLANS, CIVIL SITE GRADING AND SERVICING PLANS, AND LANDSCAPE PLANS FOR EACH SUBMISSION
 - REFER TO LANDSCAPE PLAN FOR LOCATION OF EXISTING, DEMOLISHED AND PROPOSED PLANTING FEATURES.
 - REFER TO CIVIL ENGINEERING DRAWINGS FOR LEGAL BOUNDARY AND TOPOGRAPHICAL INFORMATION.
 - REFER TO SITE GRADING PLAN FOR THE PURPOSES OF OBTAINING SITE GRADING INFORMATION.
- ALL EMERGENCY ACCESS ROUTES INCLUDING STAIRS TO BE MAINTAINED (FREE AND CLEAR) YEAR-ROUND.
- ALL WORKS INVOLVED IN THE CONSTRUCTION, RELOCATION AND REPAIR OF MUNICIPAL SERVICES FOR THE PROPOSED DEVELOPMENT SHALL BE TO THE SATISFACTION OF THE GENERAL MANAGER OF PUBLIC WORKS.
- STREET EXCAVATION PERMITS ARE REQUIRED FOR ANY WORK IN CITY RIGHT OF WAY BY ANY CONTRACTOR.
- NO PERSON SHALL CAUSE OR PERMIT ALTERATION OF A SITE IN THE MUNICIPALITY, WITHOUT HAVING FIRST OBTAINED A SITE ALTERATION PERMIT IN ACCORDANCE WITH LOCAL BY-LAW.
- ALL SNOW STORAGE SHALL BE STORED ON SITE IN DESIGNATED AREAS SHOWN ON PLAN.
- THE POSITION OF POLE LINES, CONDUITS, SEWERS AND OTHER UNDERGROUND AND OVER GROUP UTILITIES AND STRUCTURES IS NOT SHOWN ON THE DRAWINGS, AND WHERE SHOWN THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, CONTRACTOR SHALL INFORM THEMSELVES OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME LIABILITY FOR DAMAGE TO THEM AND THOSE NOT LOCATED PRIOR TO CONSTRUCTION.
- ALL INDICATED PAVEMENT MARKINGS INCLUDING PARKING SPACES SHALL BE PAINTED ON PAVEMENT SURFACES PER SPECIFICATION.
- FIRE ROUTE SHALL BE DESIGNED IN ACCORDANCE TO LOCAL BY-LAW AS AMENDED, WITH HEAVY DUTY ASPHALT SURFACE TO SUPPORT A LOAD OF NOT LESS THAN 11 363 KG PER AXLE, AND A CHANGE IN GRADIENT NOT MORE THAN 1 IN 12.5, OVER A MIN DISTANCE OF 15 M. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE ACCESS ROUTE SIGNS FOR THE DESIGNATED FIRE ROUTE TO THE SATISFACTION OF THE FIRE CHIEF. APPROVED FIRE ROUTE SIGNAGE SHALL BE INSTALLED ALONG THE COMPLETE TRAVEL PORTION OF THE FIRE ROUTE AS FOLLOWS:
 - FIRE ROUTE SIGNS SHALL BE PERMANENTLY MOUNTED ON A RIGID SIGN POST OR POLE WITH THE WORDS "FIRE ROUTE TOW AWAY ZONE" WITH PICTORIAL SIGN.
 - BE ERRECTED AT A HEIGHT OF BETWEEN 1.9M TO 2.5M AS MEASURED FROM THE TRAVELED SURFACE OF THE FIRE ROUTE TO THE BOTTOM EDGE OF THE SIGN.
 - BE INSTALLED AT A DISTANCE OF 0.3M TO 2.4M FROM THE TRAVELED EDGES OF THE FIRE ROUTE.
 - BE INSTALLED ALONG THE FIRE ROUTE AT INTERVALS NOT GREATER THAN 30M AT SUCH OTHER INTERVALS, APPROVED BY THE CHIEF FIRE OFFICIAL, AS MAY BE REQUIRED TO CLEARLY IDENTIFY THE ROUTE, AND
 - BE CLEARLY VISIBLE TO THE FLOW OF TRAFFIC.
- ALL ELEMENTS SHOWN ON SITE PLAN ARE PROPOSED UNLESS OTHERWISE NOTED.
- ALL APRONS ARE NEW AND TO BE CONSTRUCTED AS PER CITY SPECIFICATIONS.
- DRIVEWAY CROSSING SECTION FOUND ON CIVIL DRAWINGS.



SITE PLAN LEGEND:

	PRIMARY ENTRANCE		EXISTING FENCING - REFER TO LANDSCAPE
	SECONDARY ENTRANCE		SETBACKS
	BUILDING EXITING		PROPERTY LINES (LEGAL METES & BOUNDS)
	OVERHEAD DOOR		EASEMENT
	DOCK DOOR C/W PADS, LEVELERS, & BUMPERS		
	CATCH BASIN / MANHOLE / AREA DRAIN - REFER TO CIVIL		
	FIRE HYDRANT - REFER TO CIVIL		
	EXISTING FIRE HYDRANT - REFER TO CIVIL		
	LIGHT STANDARD - REFER TO ELEC		LIGHT DUTY ASPHALT
	200mm DIA. CONCRETE FILLED STEEL PIPE BOLLARD, PAINTED YELLOW		HEAVY DUTY ASPHALT (SUPPORT 38,556 kg)
	ELECTRICAL VEHICLE CHARGING STATION C/W TWO 150mm DIA. X 1000mm HIGH CONCRETE FILLED STEEL BOLLARDS		REINFORCED CONCRETE
	ACCESSIBLE PARKING PERMIT - RB-93		DECORATIVE PAVING - REFER TO LANDSCAPE
	NO PARKING FIRE ROUTE DOUBLE ARROW - FRR 1		FIRE DEPARTMENT CONNECTION
			SITE PLAN DRAWING NOTE

PARKING SCHEDULE

STALL TYPE	STALL SIZE	STALL COUNT
CALGARY STANDARD BARRIER FREE PARKING STALL	2400mm x 5400mm	4
CALGARY STANDARD PARKING STALL	2400mm x 5400mm	44
Grand total:		48

CLIENT: HOVE STREET

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TITLE: PROPOSED SITE PLAN

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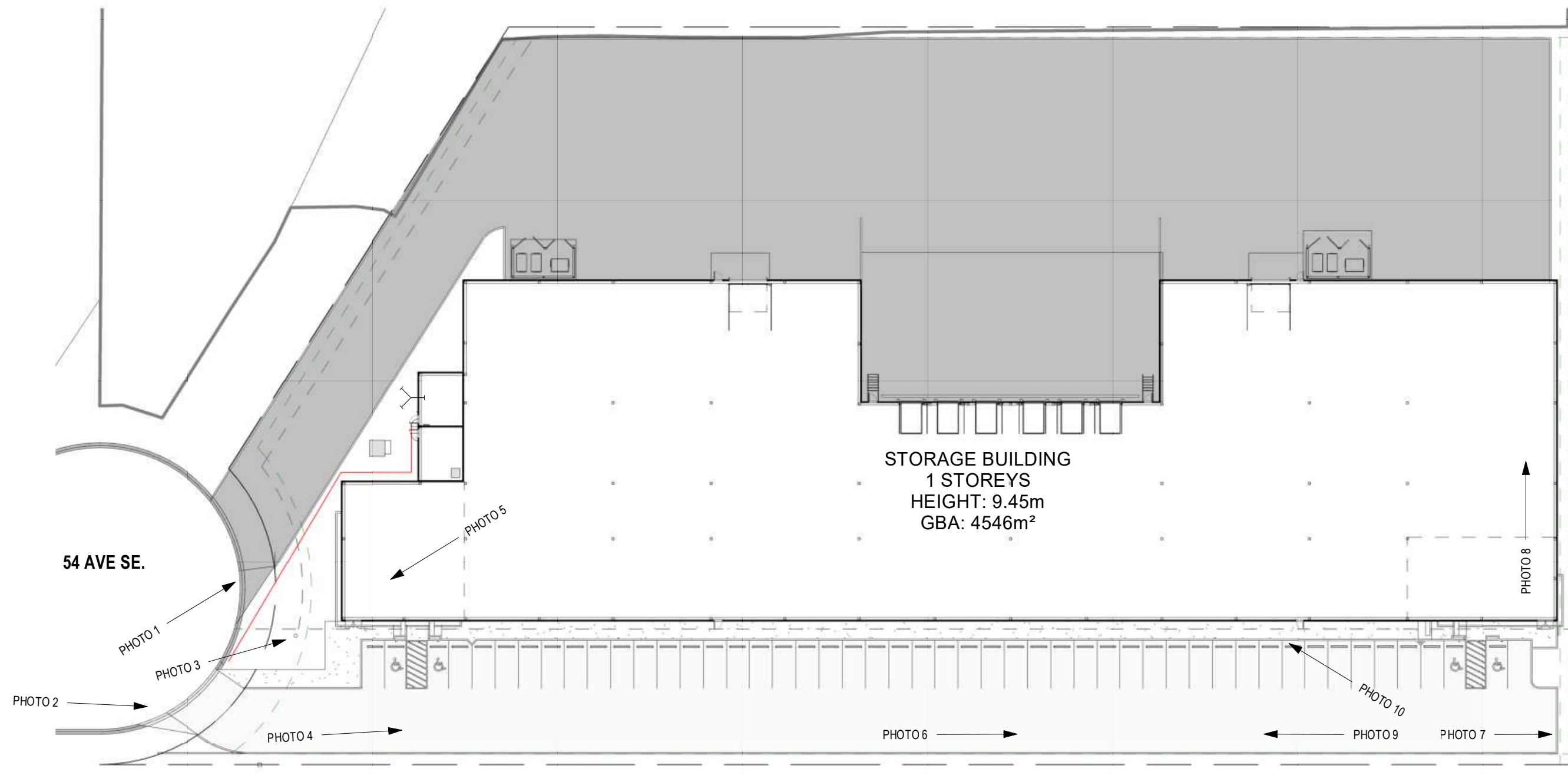
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CHECKED BY:	Checker	

A100



1 KEY SITE PLAN
A103 Scale: 1 : 500



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9



PHOTO 10



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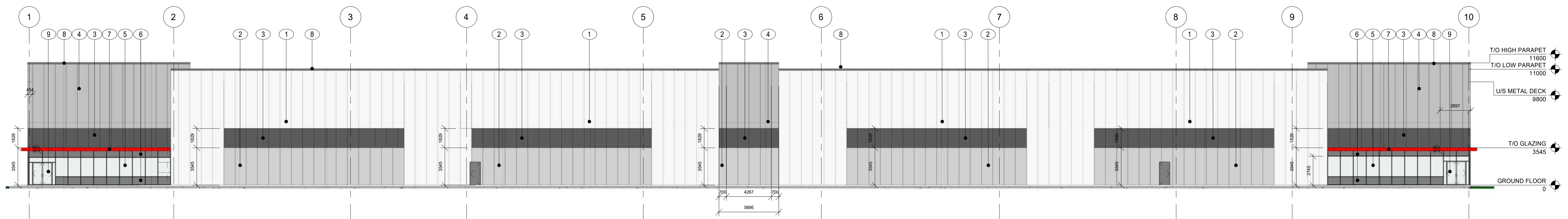
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SITE PHOTOS

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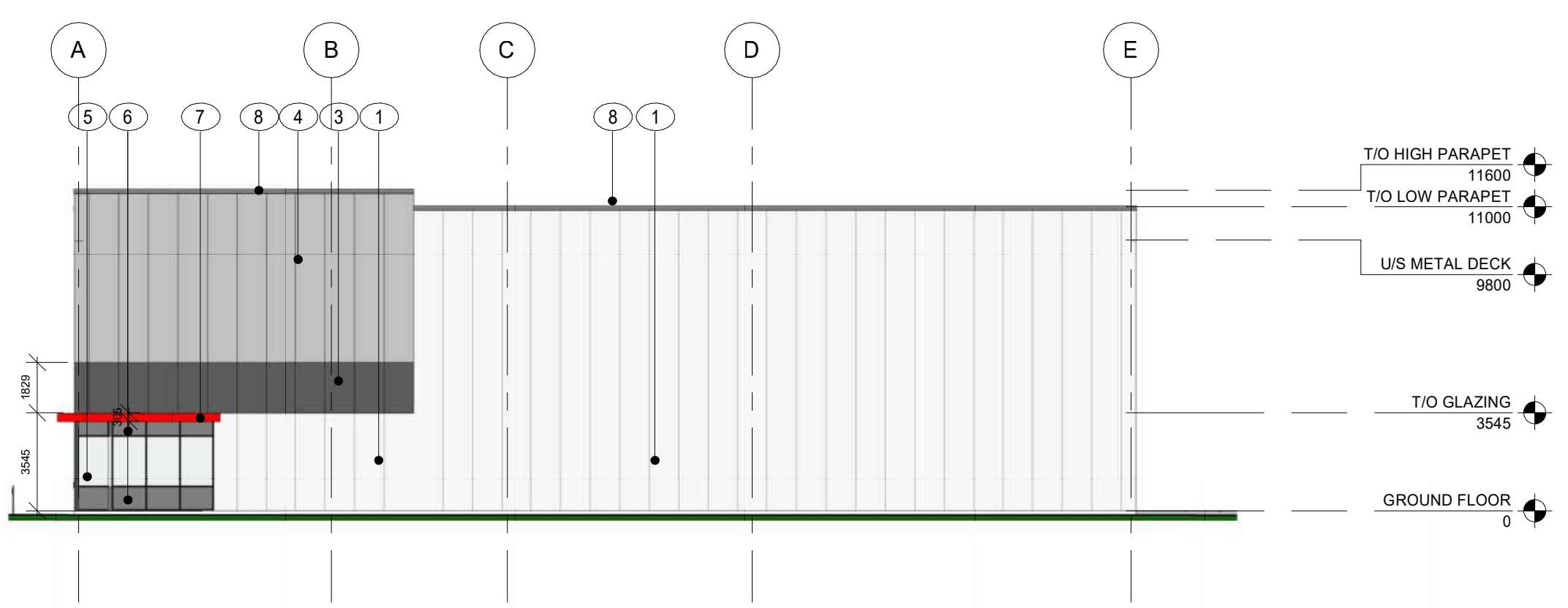
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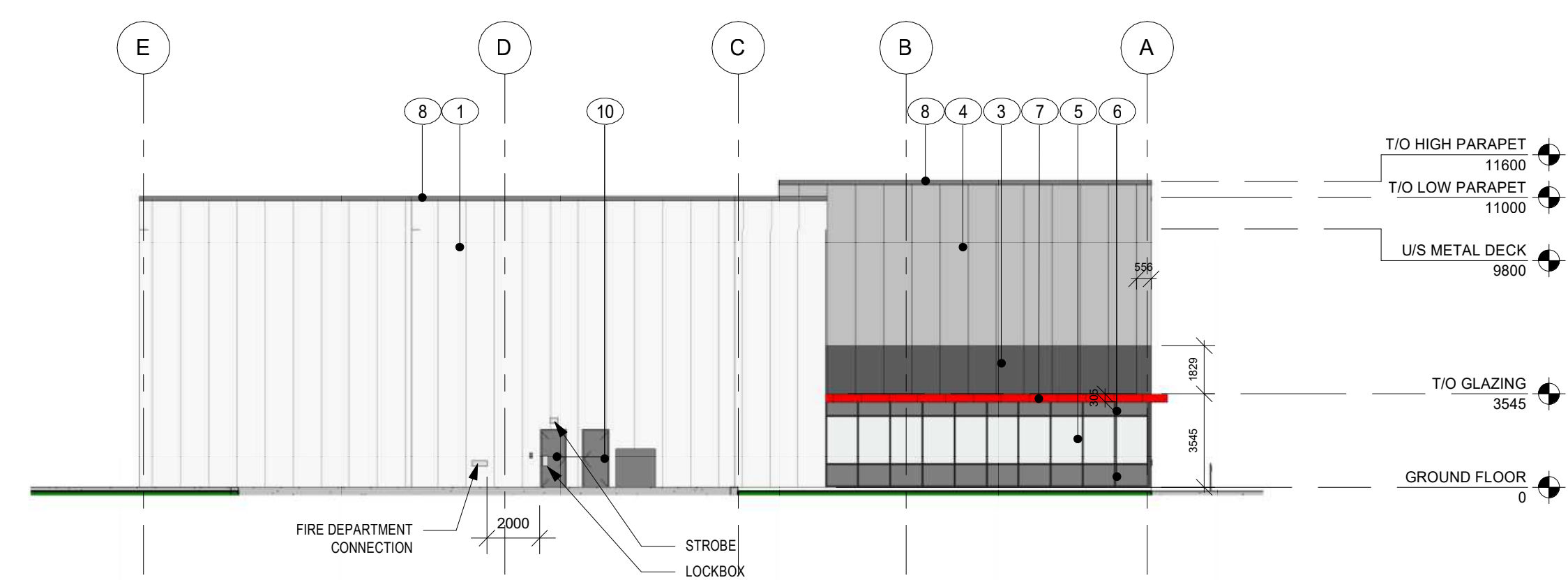
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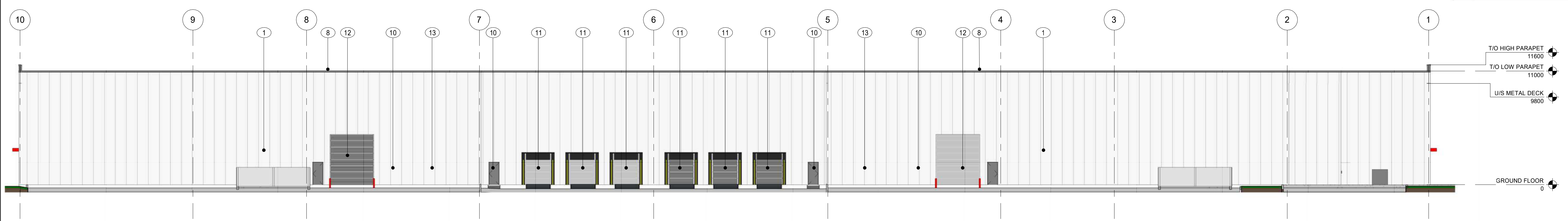
1 SOUTH ELEVATION
A400 Scale: 1 : 200



2 EAST ELEVATION
A400 Scale: 1 : 200



3 WEST ELEVATION
A400 Scale: 1 : 200



4 NORTH ELEVATION
A400 Scale: 1 : 200

MATERIAL LEGEND	
1	1067mm WIDE INSULATED METAL PANEL, COLOUR: WHITE
2	1067mm WIDE INSULATED METAL PANEL, COLOUR: LIGHT GREY
3	1067mm WIDE INSULATED METAL PANEL, COLOUR: DARK GREY
4	1067mm WIDE INSULATED METAL PANEL, COLOUR: MEDIUM GREY
5	STORE FRONT CURTAIN WALL GLAING SYSTEM
6	STORE FRONT CURTAIN WALL SPANDREL PANEL SYSTEM, COLOUR: DARK GREY
7	610mm OR 915mm DEEP SOLAR SHADE PART OF THE GLAZING SYSTEM, COLOR: RED
8	PARAPET CAP, COLOUR: MATCH ASSOCIATED IMP
9	STORE FRONT DOUBLE DOOR, FINISH TO MATCH MULLION ON EXTERIOR & CLEAR ANODIZED ON THE INSIDE
10	EXTERIOR DOOR, COLOUR: MATCH ASSOCIATED IMP
11	2743mm x 3050mm INSULATED SECTIONAL OVERHEAD DOOR c/w DOCK LEVELERS, BUMPER, AND PAIS. R-VALUE AS PER NECB CONSULTANT COLOUR: TO MATCH ASSOCIATED IMP
12	4270mm x 4270mm INSULATED SECTIONAL OVERHEAD DOOR R-VALUE AS PER NECB CONSULTANT COLOUR: TO MATCH ASSOCIATED IMP
13	GARBAGE ENCLOSURE TO HOUSE TWO 3yd BINS AND ONE 4yd BIN, DOOR NOT SHOWN FOR GRAPHICAL PURPOSES
14	203mm STEEL BOLLARD PAINTED RED

WINDOW SCHEDULE LEGEND	
	GLASS
	GLAZING: 1/4" TINTED GRAY TEMPERED 1/2" ARGON W/ BLACK WARM EDGE SPACER 1/4" SOLARBAN® LOW-E ON #3
	FRAME: 64 mm x 152 mm EXTRUDED ALUMINUM FRAME FRAME COLOUR: BLACK MULLION CAPS CLEAR ANODIZED FRAME
	BACK PAINTED GLASS SPANDREL PANELS
	COLOUR: GRAY
	FRAME: 64 mm x 152 mm EXTRUDED ALUMINUM FRAME FRAME COLOUR: BLACK MULLION CAPS CLEAR ANODIZED FRAME

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