



PROJECT EMBER

CALGARY, ALBERTA



**HOVE STREET
 PROJECT EMBER**
 3939 54th Ave. SE, CALGARY, AB T2C 2L2
 LOT 1, BLOCK 1, PLAN 801 0723

Walterfedy Architects Project No.: 2025-0641-10
 ISSUED FOR DTR2 RESPONSE 2026.05.06 DP# -
 DP2025-05923

SITE INFORMATION		PARKING / BIKE INFORMATION	
MUNICIPAL ADDRESS 3939 54th Ave. SE, CALGARY, AB T2C 2L2	SITE AREA EXISTING SITE AREA = 125,355.03 R ² = 11,645.86 m ² - 1.16 Hectare - 2.88 Acres	PARKING FOLLOWING THE CITY OF CALGARY ORIGINAL 1P2007 PARKING GUIDELINES.	BIKE PARKING GENERAL INDUSTRIAL - MEDIUM CLASS ONE: NOT REQUIRED
LEGAL DESCRIPTION LOT 1, BLOCK 1, PLAN 801 0723	GROSS FLOOR AREA (G.F.A) OFFICE AREA: 375.7m ² (4044 R ²) INDUSTRIAL AREA: 4107.3m ² (42 210.6 R ²)	GENERAL INDUSTRIAL - MEDIUM: 4483m ² 1 STALL PER 100m ² FOR THE FIRST 2000m ² , THEN 1 STALL PER 500m ² OF G.U.F.A	CLASS 2: 1 PER 2000m ² G.U.F.A 4483m ² DIVIDED BY 2000 = 2.2 STALLS
LAND USE DESIGNATION I-G INDUSTRIAL - GENERAL DISTRICT	TOTAL USABLE AREA: 4483m ² (48254.61 R ²) MECH / ELEC AREA: 63.2m ² (680.3 R ²)	4483m ² - 2000m ² = 2483m ² DIVIDED BY 500m ² = 4.9 OR 5 STALLS	OFFICE CLASS ONE: 1 PER 1000m ² G.U.F.A 63.2m ² PER 1000m ² = 0 STALLS
APPLICABLE BY-LAW CITY OF CALGARY LAND USE BY-LAW 1P2007	TOTAL G.F.A = 4 546.2 m² (48 934.97 R²)	OFFICE - 63.2m ² 2 STALLS PER 100m ² OF G.U.F.A	CLASS 2: 1 PER 1000m ² G.U.F.A 63.2m ² PER 1000m ² = 0 STALLS
MAXIMUM HEIGHT PERMITTED NO RESTRICTIONS	GROSS USABLE FLOOR AREA (G.U.F.A) TOTAL USABLE AREA: 4483m ² (48254.61R ²) MECH / ELEC AREA: 63.2m ² (680.28R ²)	63.2m ² DIVIDED BY 100 x 2 = 1.2 STALLS	48 STALL PROVIDED
SITE SETBACKS FRONT: 4.0m SIDE: 1.2m REAR: 1.2m	TOTAL G.F.A = 4 419.8 m² (47 574.33 R²)		
USES - PERMITTED GENERAL INDUSTRIAL - MEDIUM	USES - DISCRETIONARY OFFICE		
	FLOOR AREA RATIO MAXIMUM PERMITTED F.A.R = 1.0 PROPOSED F.A.R = 4546.2 (G.F.A) DIVIDED BY 11645.86m ² (SITE AREA) = 0.39		

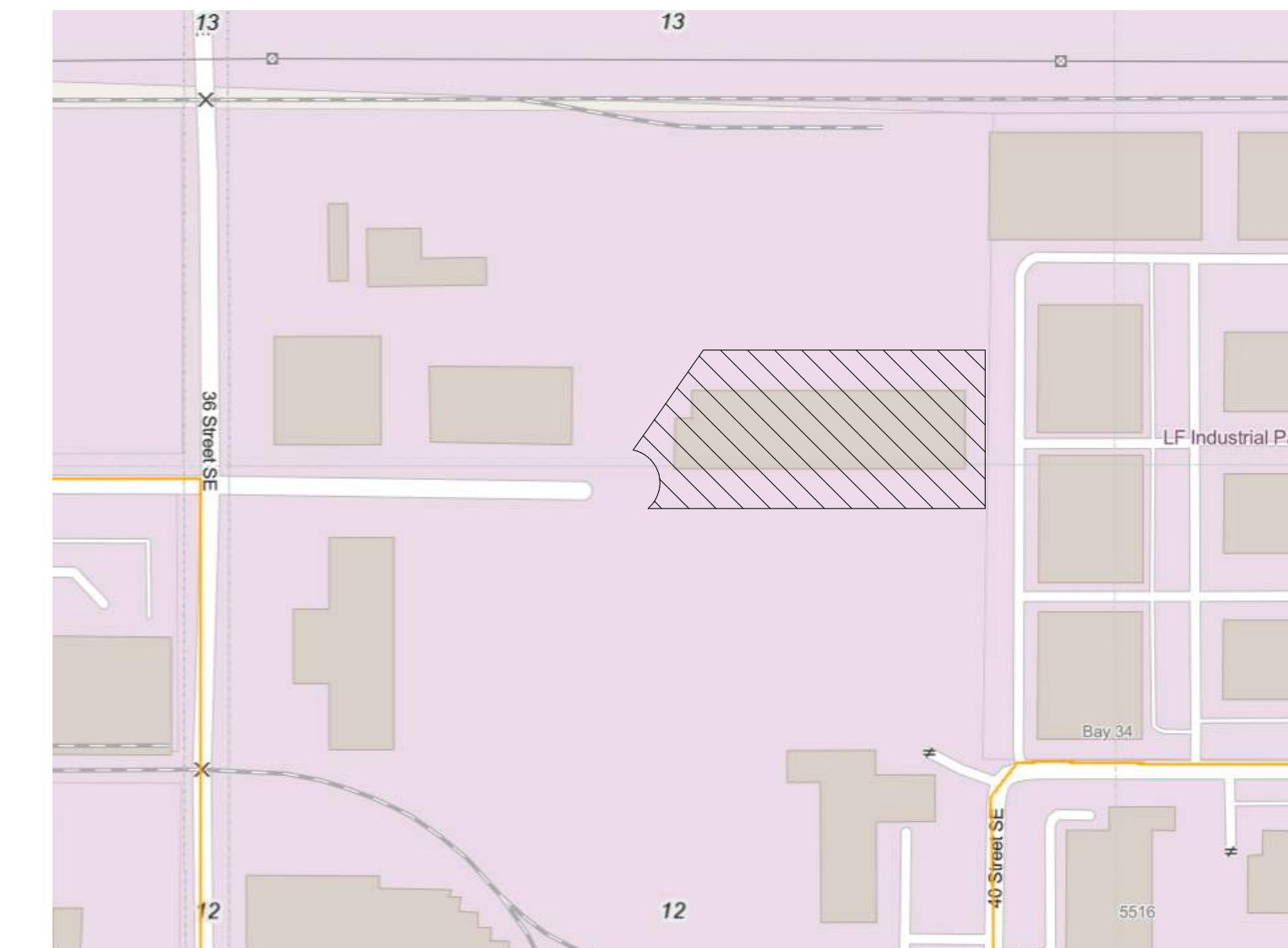
AMENDED DRAWINGS
 DP No. Date Received
 DP001 MAY 5, 2025
PRELIMINARY DEVELOPMENT PERMIT (P.D.)



2 BIRDSEYE SITE CONTEXT
 DP001 Scale: 1 : 200



6 LANDUSAGE
 DP001 Scale: NTS



7 ABANDON WELL PLAN
 DP001 Scale: NTS



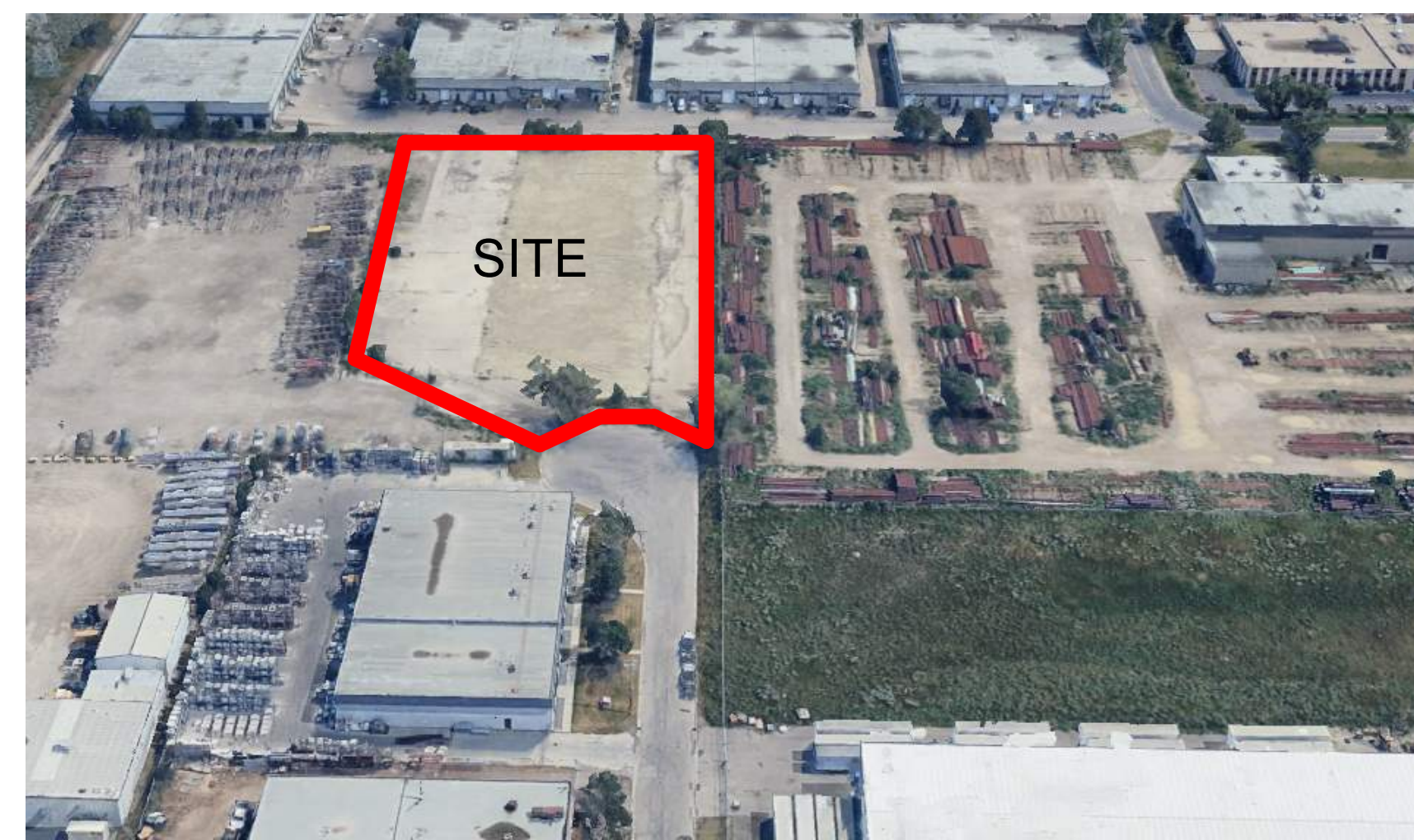
1 NORTH SITE CONTEXT
 DP001 Scale: 1 : 150



4 SOUTH SITE CONTEXT
 DP001 Scale: 1 : 150



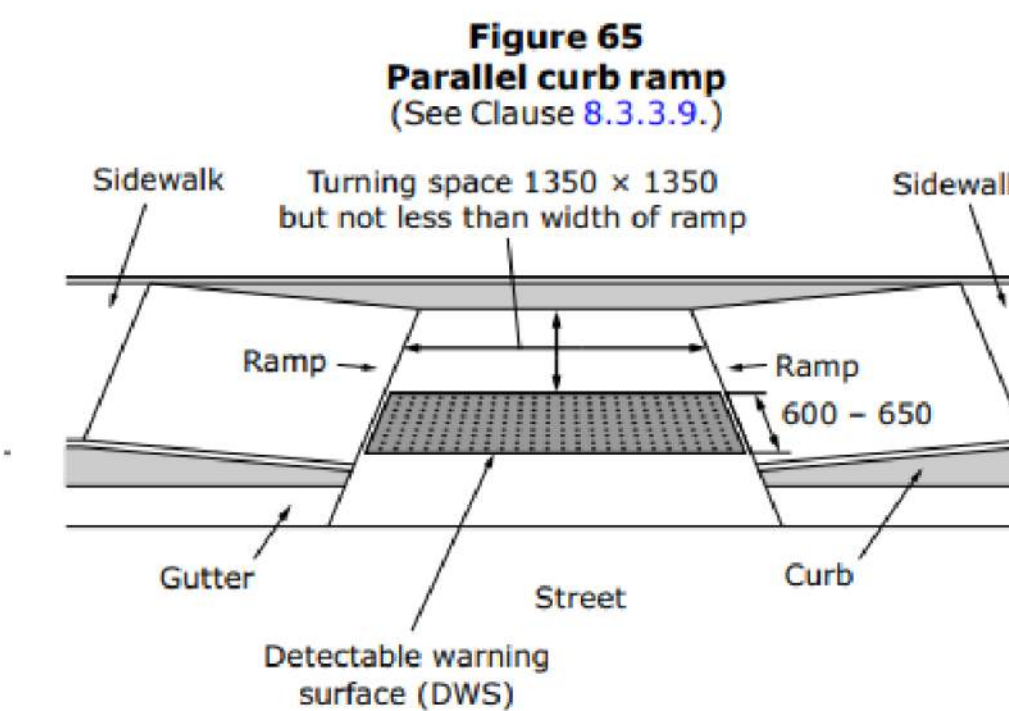
3 EAST SITE CONTEXT
 DP001 Scale: 1 : 150



5 WEST SITE CONTEXT
 DP001 Scale: 1 : 150

Project Description:

This Development Permit application is for a new industrial warehouse building located in the Foothills Industrial Area of Calgary. The proposed building replaces a previous structure that was destroyed by fire. The project consists of a single-storey warehouse with office areas located at the south corners, situated on a 2.88-acre site. The building is oriented to face south to maximize natural sunlight and includes staff parking and landscaping along the frontage. Truck marshalling and loading areas are located on the north side of the site, screened from view from the street.



Note: All dimensions are in mm.

8.3.4 Crosswalks

8.3.4.1 Surface

A crosswalk shall
 a) be at least 1800 mm wide between pavement markings (where provided);

November 2018 © 2018 Canadian Standards Association 177

Division B

A-3.9.2.1.(1)

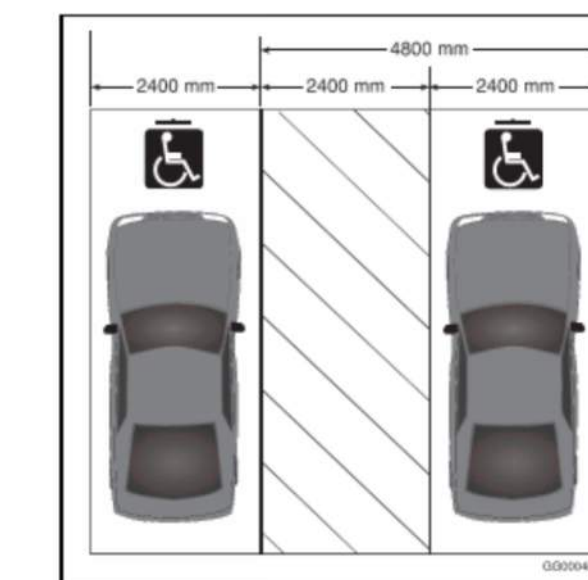



Figure A-3.8.3.23.(1)-A
 Common access aisle

CLIENT LOGO



No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-10-01
2	REVISED PER CITY COMMENTS 01	2025-11-07
3	DR1	2026-02-09
4	ISSUED FOR DTR2 RESPONSE	2026-05-06

CLIENT
 HOVE STREET

PROJECT
 PROJECT EMBER

3939 54th Ave. SE, CALGARY, AB T2C 2L2
 LOT 1, BLOCK 1, PLAN 801 0723
 DEVELOPMENT PERMIT #: DP2025-05623 BUILDING PERMIT #:

TITLE
 SITE CONTEXT & PROJECT DESCRIPTION

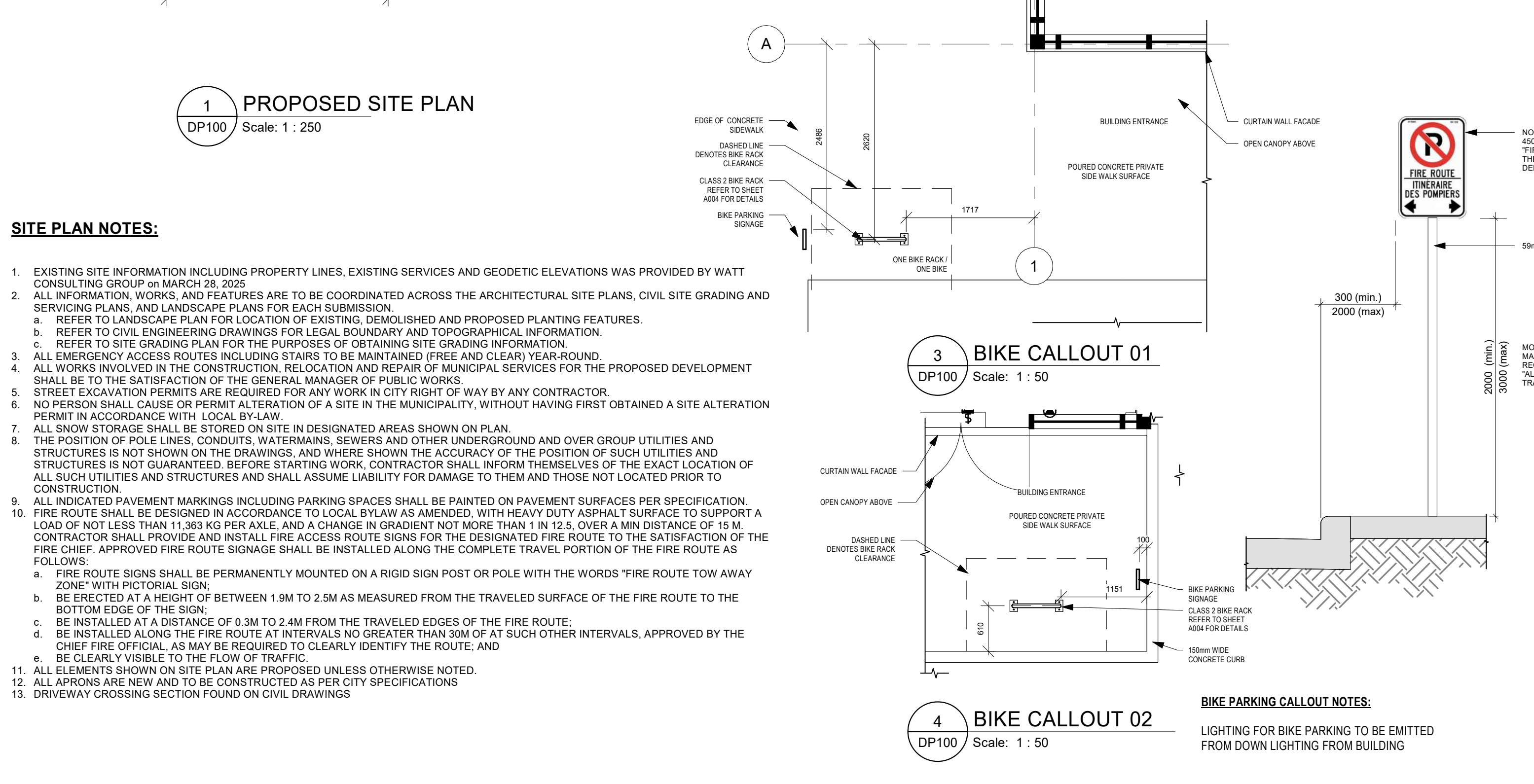
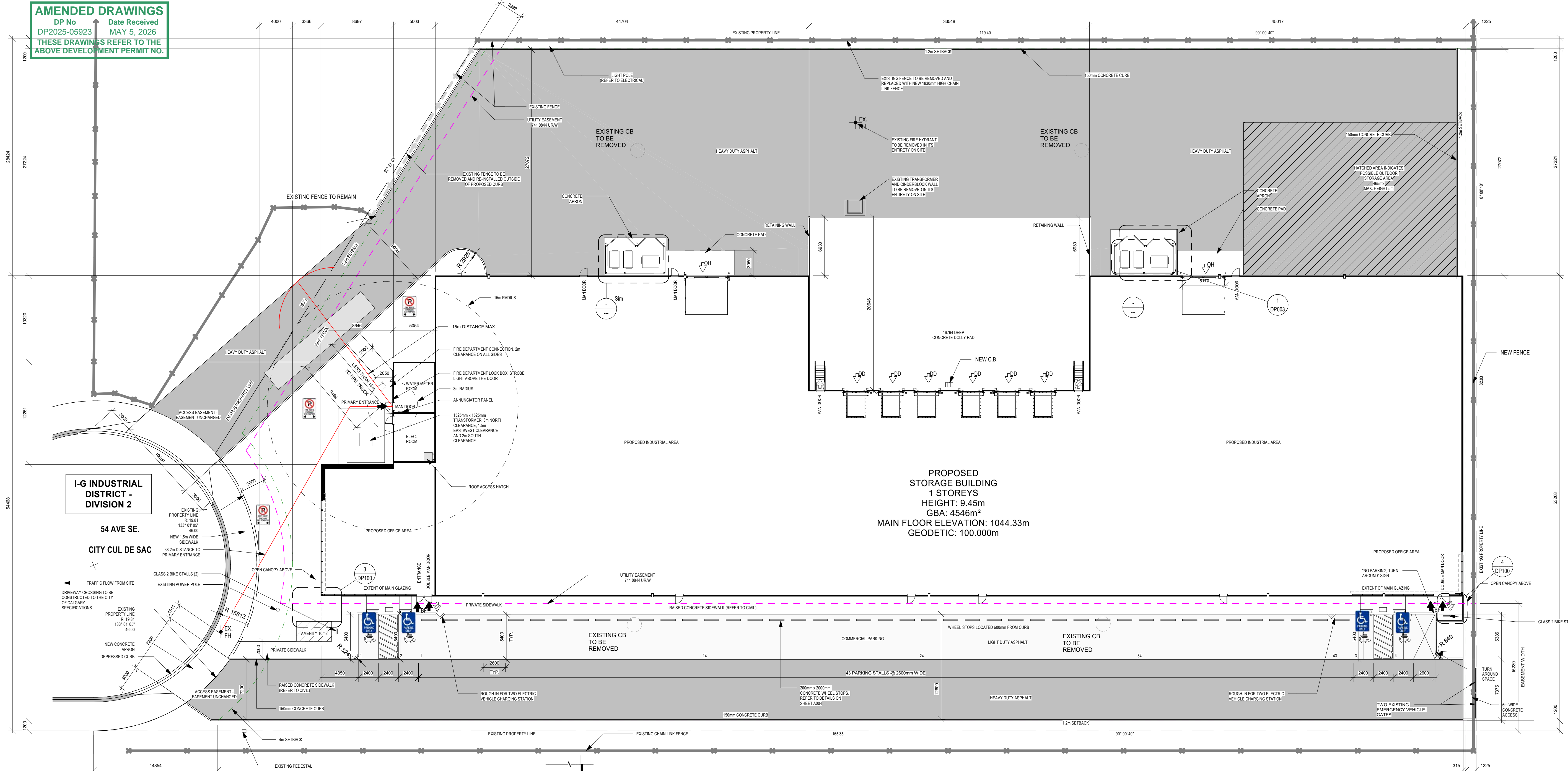
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SCALE:	AS NOTED	SHEET NO.:
DATE:	08/15/25	
PROJECT NO.:	2025-0641-10	DP001
DRAWN BY:	Author	
CHECKED BY:	Checker	

AMENDED DRAWINGS
 DP No: DP2025-05923
 Date Received: MAY 5, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



- SITE PLAN NOTES:**
- EXISTING SITE INFORMATION INCLUDING PROPERTY LINES, EXISTING SERVICES AND GEODETIC ELEVATIONS WAS PROVIDED BY WATT CONSULTING GROUP ON MARCH 28, 2025
 - ALL INFORMATION, WORKS, AND FEATURES ARE TO BE COORDINATED ACROSS THE ARCHITECTURAL SITE PLANS, CIVIL SITE GRADING AND SERVICING PLANS, AND LANDSCAPE PLANS FOR EACH SUBMISSION
 - REFER TO LANDSCAPE PLAN FOR LOCATION OF EXISTING, DEMOLISHED AND PROPOSED PLANTING FEATURES.
 - REFER TO CIVIL ENGINEERING DRAWINGS FOR LEGAL BOUNDARY AND TOPOGRAPHICAL INFORMATION.
 - REFER TO SITE GRADING PLAN FOR THE PURPOSES OF OBTAINING SITE GRADING INFORMATION.
 - ALL EMERGENCY ACCESS ROUTES INCLUDING STAIRS TO BE MAINTAINED (FREE AND CLEAR) YEAR-ROUND.
 - ALL WORKS INVOLVED IN THE CONSTRUCTION, RELOCATION AND REPAIR OF MUNICIPAL SERVICES FOR THE PROPOSED DEVELOPMENT SHALL BE TO THE SATISFACTION OF THE GENERAL MANAGER OF PUBLIC WORKS.
 - STREET EXCAVATION PERMITS ARE REQUIRED FOR ANY WORK IN CITY RIGHT OF WAY BY ANY CONTRACTOR.
 - NO PERSON SHALL CAUSE OR PERMIT ALTERATION OF A SITE IN THE MUNICIPALITY, WITHOUT HAVING FIRST OBTAINED A SITE ALTERATION PERMIT IN ACCORDANCE WITH LOCAL BY-LAW.
 - ALL SNOW STORAGE SHALL BE STORED ON SITE IN DESIGNATED AREAS SHOWN ON PLAN.
 - THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVER GROUP UTILITIES AND STRUCTURES IS NOT SHOWN ON THE DRAWINGS, AND WHERE SHOWN THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, CONTRACTOR SHALL INFORM THEMSELVES OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME LIABILITY FOR DAMAGE TO THEM AND THOSE NOT LOCATED PRIOR TO CONSTRUCTION.
 - ALL INDICATED PAVEMENT MARKINGS INCLUDING PARKING SPACES SHALL BE PAINTED ON PAVEMENT SURFACES PER SPECIFICATION.
 - FIRE ROUTE SHALL BE DESIGNED IN ACCORDANCE TO LOCAL BYLAW AS AMENDED, WITH HEAVY DUTY ASPHALT SURFACE TO SUPPORT A LOAD OF NOT LESS THAN 11 363 KG PER AXLE, AND A CHANGE IN GRADIENT NOT MORE THAN 1 IN 12.5, OVER A MIN DISTANCE OF 15 M. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE ACCESS ROUTE SIGNS FOR THE DESIGNATED FIRE ROUTE TO THE SATISFACTION OF THE FIRE CHIEF. APPROVED FIRE ROUTE SIGNAGE SHALL BE INSTALLED ALONG THE COMPLETE TRAVEL PORTION OF THE FIRE ROUTE AS FOLLOWS:
 - FIRE ROUTE SIGNS SHALL BE PERMANENTLY MOUNTED ON A RIGID SIGN POST OR POLE WITH THE WORDS "FIRE ROUTE TOW AWAY ZONE" WITH PICTORIAL SIGN.
 - BE ERRECTED AT A HEIGHT OF BETWEEN 1.9M TO 2.5M AS MEASURED FROM THE TRAVELED SURFACE OF THE FIRE ROUTE TO THE BOTTOM EDGE OF THE SIGN.
 - BE INSTALLED AT A DISTANCE OF 0.3M TO 2.4M FROM THE TRAVELED EDGES OF THE FIRE ROUTE.
 - BE INSTALLED ALONG THE FIRE ROUTE AT INTERVALS NO GREATER THAN 30M AT SUCH OTHER INTERVALS, APPROVED BY THE CHIEF FIRE OFFICIAL, AS MAY BE REQUIRED TO CLEARLY IDENTIFY THE ROUTE, AND
 - BE CLEARLY VISIBLE TO THE FLOW OF TRAFFIC.
 - ALL ELEMENTS SHOWN ON SITE PLAN ARE PROPOSED UNLESS OTHERWISE NOTED.
 - ALL APRONS ARE NEW AND TO BE CONSTRUCTED AS PER CITY SPECIFICATIONS.
 - DRIVEWAY CROSSING SECTION FOUND ON CIVIL DRAWINGS.

BIKE PARKING CALLOUT NOTES:
 LIGHTING FOR BIKE PARKING TO BE EMITTED FROM DOWN LIGHTING FROM BUILDING

	MESSAGE: RED/BLACK WHITE BACKGROUND: WHITE TYPE: FIXED DIMENSIONS(mm): 300mm x 450mm PANEL AREA (m²): 1350mm²
	MESSAGE: WHITE BLUE/WHITE BACKGROUND: BLUE/WHITE TYPE: FIXED DIMENSIONS(mm): - PANEL AREA (m²): -
	MESSAGE: WHITE GREEN BACKGROUND: GREEN TYPE: FIXED DIMENSIONS(mm): 300mm x 450mm PANEL AREA (m²): 1350mm²
	BACKGROUND: RED / WHITE TYPE: FIXED DIMENSIONS(mm): 750mm x 750mm x 750mm or 1050mm x 1050mm x 1050mm PANEL AREA (m²): -

SITE PLAN LEGEND:

	PRIMARY ENTRANCE		YIELD SIGN RA-2
	SECONDARY ENTRANCE		EXISTING FENCING - REFER TO LANDSCAPE
	BUILDING EXITING		SETBACKS
	OVERHEAD DOOR		PROPERTY LINES (LEGAL METES & BOUNDS)
	DOCK DOOR C/W PADS, LEVELERS, & BUMPERS		EASEMENT
	CATCH BASIN / MANHOLE / AREA DRAIN - REFER TO CIVIL		LIGHT DUTY ASPHALT
	FIRE HYDRANT - REFER TO CIVIL		HEAVY DUTY ASPHALT (SUPPORT 38,556 kg)
	EXISTING FIRE HYDRANT - REFER TO CIVIL		REINFORCED CONCRETE
	LIGHT STANDARD - REFER TO CIVIL		DECORATIVE PAVING - REFER TO LANDSCAPE
	200mm DIA. CONCRETE FILLED STEEL PIPE BOLLARD, PAINTED YELLOW		FIRE DEPARTMENT CONNECTION
	ELECTRICAL VEHICLE CHARGING STATION C/W TWO 150mm DIA. X 1000mm HIGH CONCRETE FILLED STEEL BOLLARDS		SITE PLAN DRAWING NOTE
	ACCESSIBLE PARKING PERMIT - RB-93		
	NO PARKING FIRE ROUTE DOUBLE ARROW - FRR 1		

PARKING SCHEDULE

STALL TYPE	STALL SIZE	STALL COUNT
CALGARY STANDARD BARRIER FREE PARKING STALL	2400mm x 5400mm	4
CALGARY STANDARD PARKING STALL	2400mm x 5400mm	43
Grand total:		47

CLIENT LOGO

TRUE NORTH PROJECT NORTH

No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-10-01
2	REVISED PER CITY COMMENTS 01	2025-11-07
3	DR1	2026-02-09
4	ISSUED FOR DTR2 RESPONSE	2026-05-06

CLIENT: HOVE STREET

PROJECT: PROJECT EMBER

3939 54th Ave. SE, CALGARY, AB T2C 2L2
 LOT 1, BLOCK 1, PLAN 801 0723
 DEVELOPMENT PERMIT #: DP2025-05923 BUILDING PERMIT #:

TITLE: PROPOSED SITE PLAN

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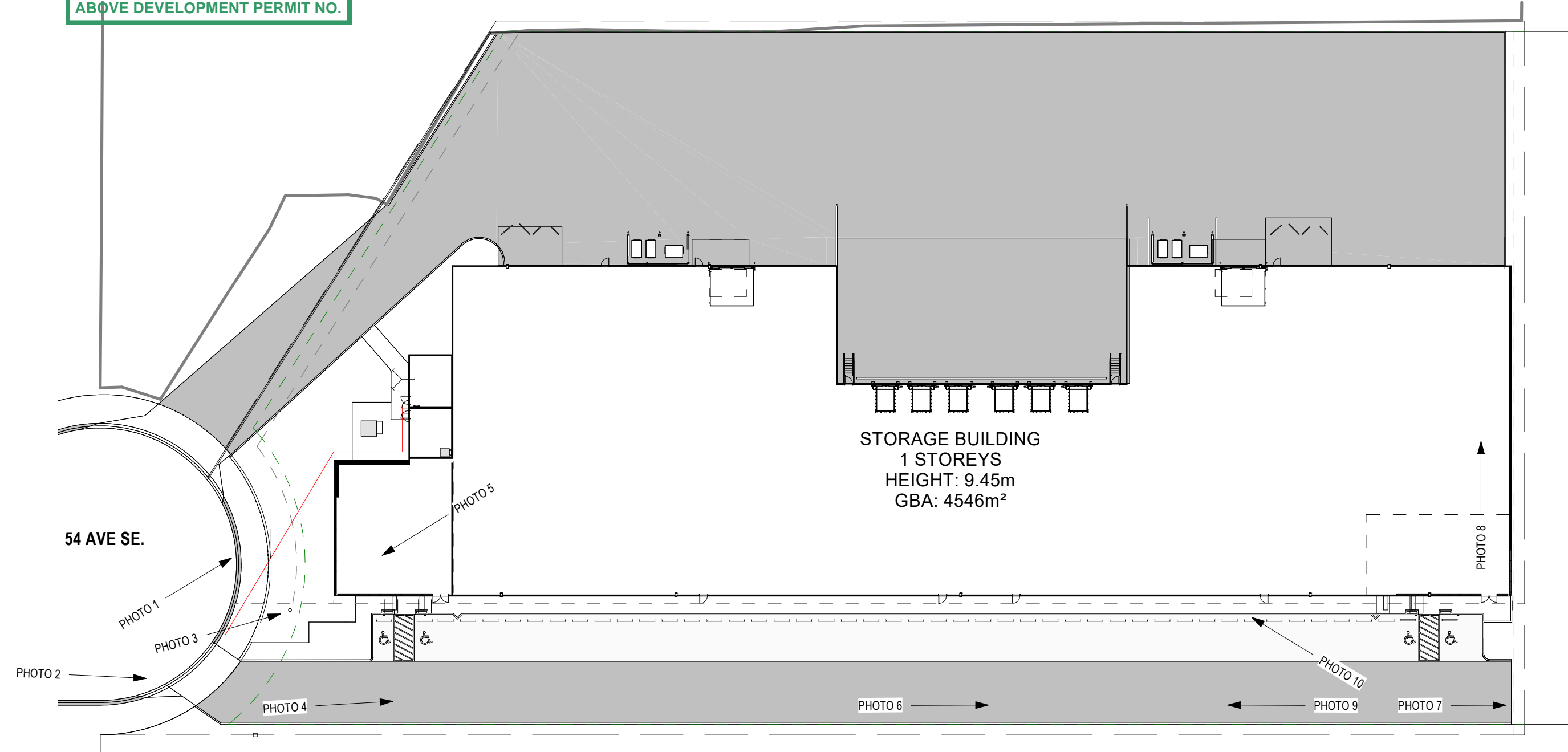
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SCALE:	AS NOTED	SHEET NO.:
DATE:	09/18/18	DP100
PROJECT NO.:	2025-0641-10	
DRAWN BY:	Author	
CHECKED BY:	Checker	

AMENDED DRAWINGS
 DP No: DP2025-05923 Date Received: MAY 5, 2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



1 KEY SITE PLAN
 DP103 Scale: 1 : 500



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9

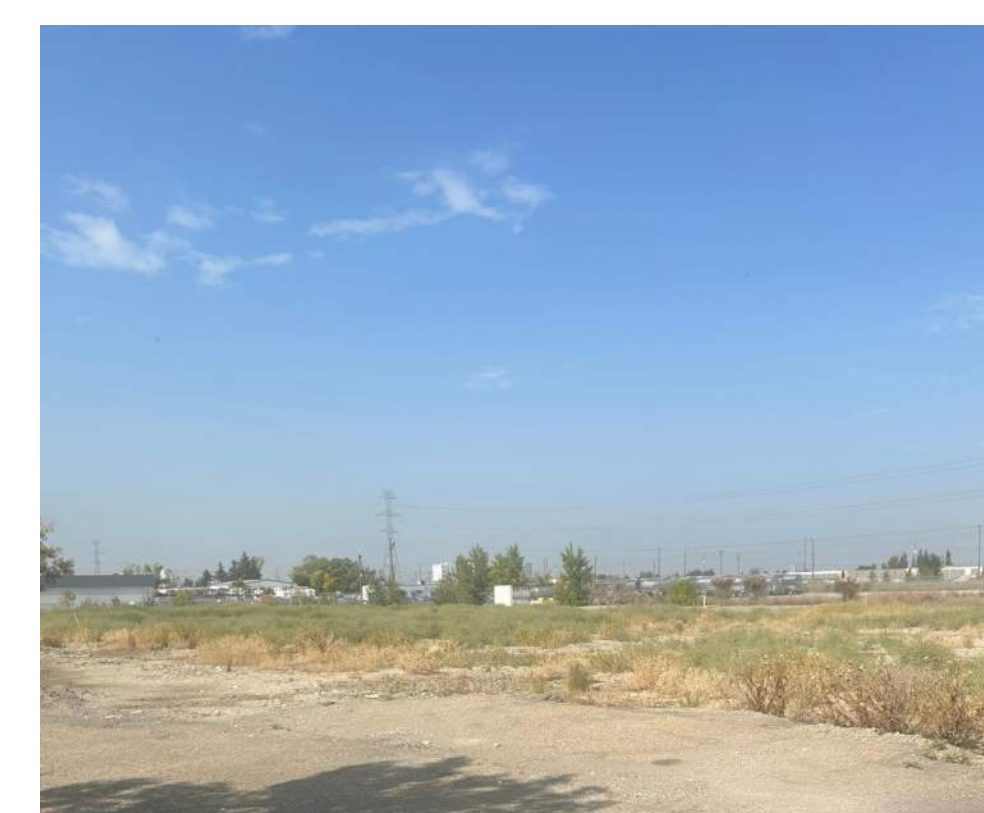


PHOTO 10

CLIENT LOGO



No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-10-01
2	DR1	2026-02-09
3	ISSUED FOR DTR2 RESPONSE	2026-05-06

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PROJECT

PROJECT EMBER

3939 54th Ave. SE, CALGARY, AB T2C 2L2
 LOT 1, BLOCK 1, PLAN 801 0723
 DEVELOPMENT PERMIT #: DP2025-05923 BUILDING PERMIT #:

TITLE

SITE PHOTOS

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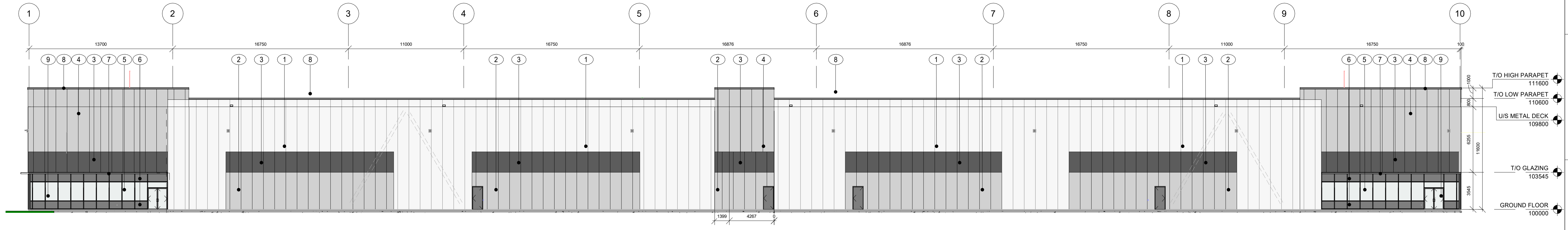
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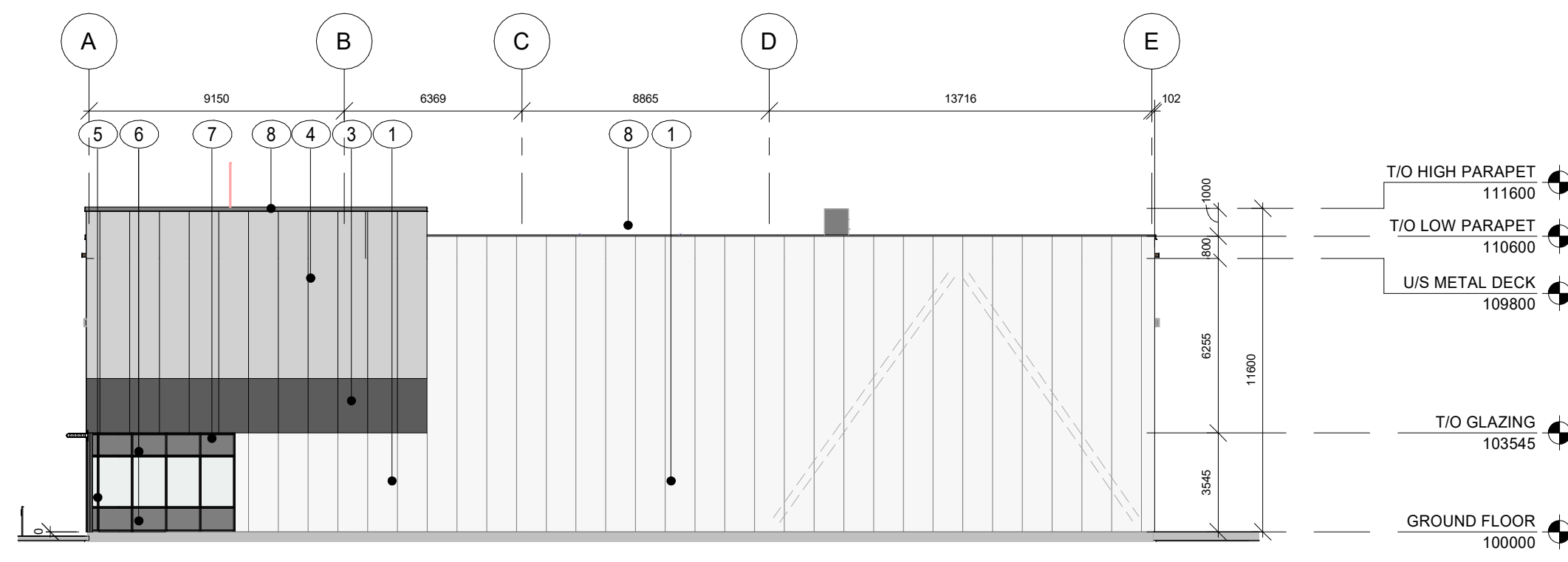
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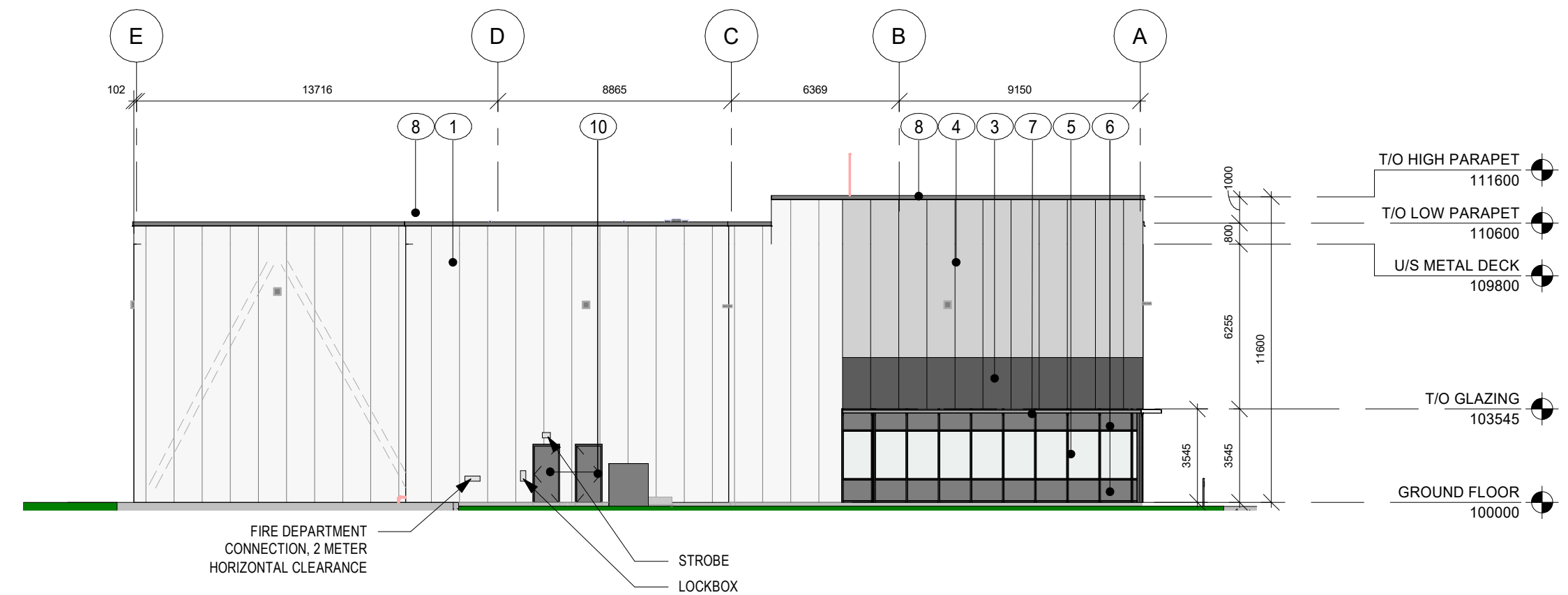
1 SOUTH ELEVATION
 DP400 Scale: 1 : 200

MATERIAL LEGEND	
1	1067mm WIDE INSULATED METAL PANEL, COLOUR: WHITE
2	1067mm WIDE INSULATED METAL PANEL, COLOUR: LIGHT GREY
3	1067mm WIDE INSULATED METAL PANEL, COLOUR: DARK GREY
4	1067mm WIDE INSULATED METAL PANEL, COLOUR: MEDIUM GREY
5	STORE FRONT CURTAIN WALL GLAZING SYSTEM
6	STORE FRONT CURTAIN WALL SPANDREL PANEL SYSTEM, COLOUR: DARK GREY
7	610mm OR 915mm DEEP SOLAR SHADE PART OF THE GLAZING SYSTEM, COLOR: RED
8	PARAPET CAP, COLOUR: MATCH ASSOCIATED IMP
9	STORE FRONT DOUBLE DOOR, FINISH TO MATCH MULLION ON EXTERIOR & CLEAR ANODIZED ON THE INSIDE
10	EXTERIOR DOOR, COLOUR: MATCH ASSOCIATED IMP
11	2743mm x 3048mm INSULATED SECTIONAL OVERHEAD DOOR c/w DOCK LEVELERS, BUMPERS, AND PADS, R-VALUE AS PER NECB CONSULTANT
12	4270mm x 4270mm INSULATED SECTIONAL OVERHEAD DOOR R-VALUE AS PER NECB CONSULTANT COLOUR: TO MATCH ASSOCIATED IMP
13	GARBAGE ENCLOSURE TO HOUSE TWO 3yd BINS AND ONE 4yd BIN, DOOR NOT SHOWN FOR GRAPHICAL PURPOSES
14	203mm STEEL BOLLARD PAINTED RED

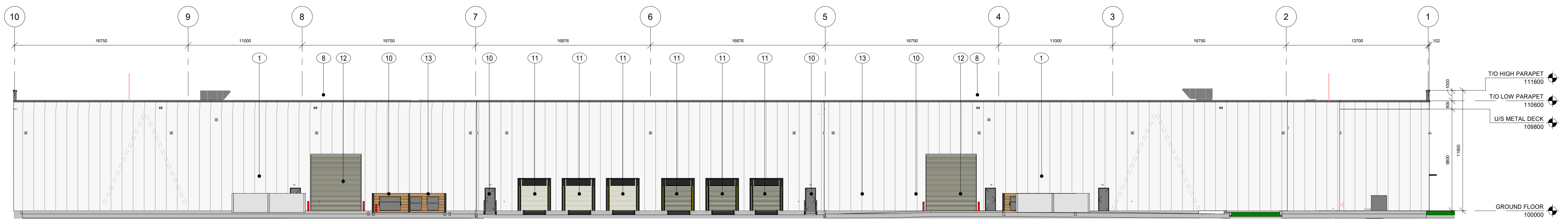
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2 EAST ELEVATION
 DP400 Scale: 1 : 200



3 WEST ELEVATION
 DP400 Scale: 1 : 200



4 NORTH ELEVATION
 DP400 Scale: 1 : 200

GLAZING SCHEDULE LEGEND / ACRONYMS	
[White Box]	GLASS
[Light Grey Box]	GLAZING: 1/4" TINTED GRAY TEMPERED
[Dark Grey Box]	GLAZING: 1/2" ARGON W/ BLACK WARM EDGE SPACER
[Medium Grey Box]	GLAZING: 1/4" SOLARBAN® LOW-E ON #3
[Hatched Box]	FRAME: 64 mm x 191 mm EXTRUDED ALUMINUM FRAME
[Dark Hatched Box]	FRAME COLOUR: BLACK MULLION CAPS CLEAR ANODIZED FRAME
[Diagonal Hatched Box]	BACK PAINTED GLASS SPANDREL PANELS
[Light Grey Box]	COLOUR: GRAY
[Dark Grey Box]	FRAME: 64 mm x 191 mm EXTRUDED ALUMINUM FRAME
[Dark Hatched Box]	FRAME COLOUR: BLACK MULLION CAPS CLEAR ANODIZED FRAME
[Red Box]	R.O ROUGH OPENING / ROUGH SIZED OPENING

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HOVE STREET

PROJECT
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 LOT 1, BLOCK 1, PLAN 801 0723
 DEVELOPMENT PERMIT #: DP2025-05923 BUILDING PERMIT #:

TITLE
PROPOSED BUILDING ELEVATIONS

WALTERFEDY
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 800.685.1378 walterfedy.com

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CHECKED BY:	Checker		