

# QUARRY PARK HEALTH CAMPUS - PHASE 2

AMENDED DRAWINGS  
DP No. Date Received  
DP2025-05901 03 17 2025  
THESE DRAWINGS REFER TO THE  
ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN



ISSUED FOR: DR2 REPONSE RESUBMISSION

CLIENT



CIVIL



STRUCTURAL

ENTUITIVE

MECH./ELEC.



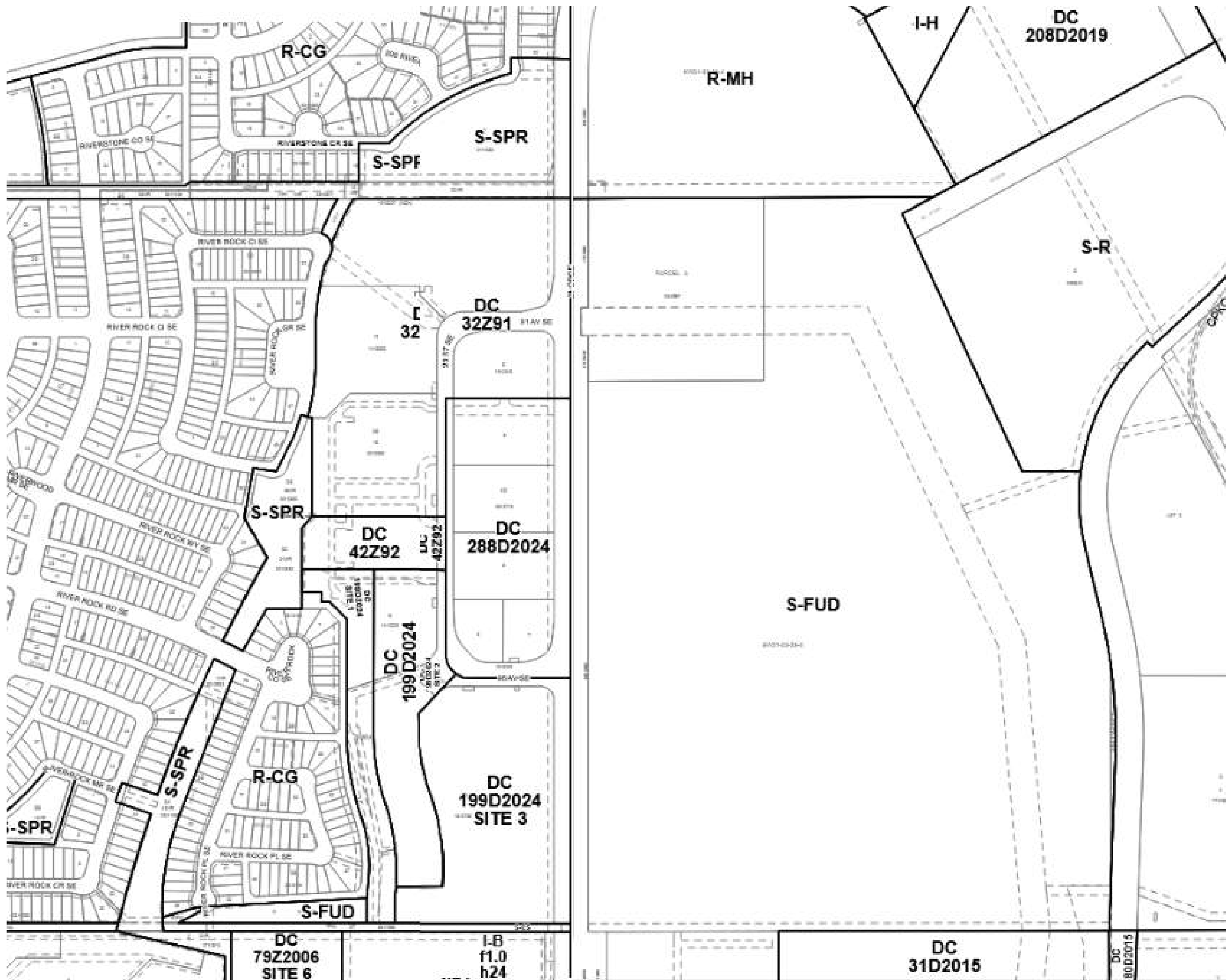
LANDSCAPE



ARCHITECTURAL



GGA-ARCHITECTURE  
350 140 10 Avenue SE Calgary, AB. T2G 0R1  
Phone: 403.233.2000 Fax: 403.264.2077



1 LAND USE MAP  
1:1  
NORTH



2 CONTEXT PLAN  
1:1  
NORTH



3 SITE IMAGES  
1:1

| PROPERTY DESCRIPTION & ZONING |                                                                                                                                                                                                                      |
|-------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| LEGAL DESCRIPTION             | LOT 9, BLOCK 40, PLAN 251 1644                                                                                                                                                                                       |
| MUNICIPAL ADDRESS             | 9365 24TH STREET S.E.<br>CALGARY, ALBERTA                                                                                                                                                                            |
| EXISTING LAND USE             | DC 288D2024 (DIRECT CONTROL)                                                                                                                                                                                         |
| PROPOSED LAND USE             | DISCRETIONARY USE WILL BE HEALTH SERVICES - MEDICAL CARE AND RECOVERY<br>- UNLESS OTHERWISE SPECIFIED, THE RULES OF THE INDUSTRIAL - COMMERCIAL (I-C) DISTRICT OF BYLAW IP2007 APPLY TO THIS DIRECT CONTROL DISTRICT |

| AREA SUMMARY - PHASE 2 |                            |
|------------------------|----------------------------|
| SITE AREA              | 9865 m <sup>2</sup>        |
| PROPOSED GFA           | 1853 m <sup>2</sup>        |
| MAIN FLOOR             | 2112 m <sup>2</sup>        |
| SECOND FLOOR           | 2112 m <sup>2</sup>        |
| TOTAL                  | 3965 m <sup>2</sup>        |
| PROPOSED FAR           | 0.42 (MAX ALLOWED = 2.0)   |
| PROPOSED SITE COVERAGE | 19.0 %                     |
| BUILDING HEIGHT        | 11.8m (MAX ALLOWED 16.0 m) |

| VEHICLE PARKING - PHASE 2     |                              |
|-------------------------------|------------------------------|
| PARKING REQUIRED              | NO MINIMUM DEFINED BY BYLAW. |
| PROPOSED                      | 152 STALLS                   |
| BARRIER FREE PARKING REQUIRED | 4 STALLS                     |
| PROPOSED                      | 4 STALLS (INCLUDED IN TOTAL) |
| LOADING REQUIRED              | (1) 3100mm X 9100mm          |
| PROPOSED                      | (1) 3100mm X 9100mm          |

| BICYCLE PARKING - PHASE 2       |                                                                                                                                          |
|---------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|
| CLASS 1 BICYCLE STALLS REQUIRED | 1 CLASS 2 BICYCLE STALL PER 1000m <sup>2</sup> OF GROSS USABLE FLOOR AREA<br>3965m <sup>2</sup> / 1000m <sup>2</sup> = 3 STALLS REQUIRED |
| CLASS 1 BICYCLE STALLS PROVIDED | 4 CLASS 1 BICYCLE STALLS PROVIDED                                                                                                        |
| CLASS 2 BICYCLE STALLS REQUIRED | 1 CLASS 2 BICYCLE STALL PER 250m <sup>2</sup> OF GROSS USABLE FLOOR AREA<br>3965m <sup>2</sup> / 250m <sup>2</sup> = 16 STALLS REQUIRED  |
| CLASS 2 BICYCLE STALLS PROVIDED | 16 CLASS 2 BICYCLE STALLS PROVIDED                                                                                                       |

- NOTES:
- DIMENSION TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
  - NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
  - VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM: REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
  - DO NOT SCALE DRAWINGS.
  - THIS DRAWING SUPERCEDES PREVIOUS ISSUES.



|                                 |          |
|---------------------------------|----------|
| DR2 RESPONSE REVISION (PHASE 2) | 26-03-17 |
| DR2 RESPONSE (PHASE 2)          | 25-03-05 |
| DR1 RESPONSE (PHASE 2)          | 25-02-05 |
| DEVELOPMENT PERMIT (PHASE 2)    | 25-10-10 |

|     |             |                   |
|-----|-------------|-------------------|
| No. | Description | Date (YYYY-MM-DD) |
|-----|-------------|-------------------|

#### Issued For / Revisions

|                                       |                       |
|---------------------------------------|-----------------------|
| Project                               | Project Number: 25027 |
| QUARRY PARK HEALTH CAMPUS - PHASE 2   |                       |
| 9365 24 Street SE<br>Calgary, Alberta |                       |
| Legal Description                     | Building Permit No.   |
| PLAN 251 1644; BLOCK 40; LOT 9        | UBP2025-22468         |
| Development Permit No.                | DSSP No.              |
| DP2025-05901                          | DSSP2025-0558         |

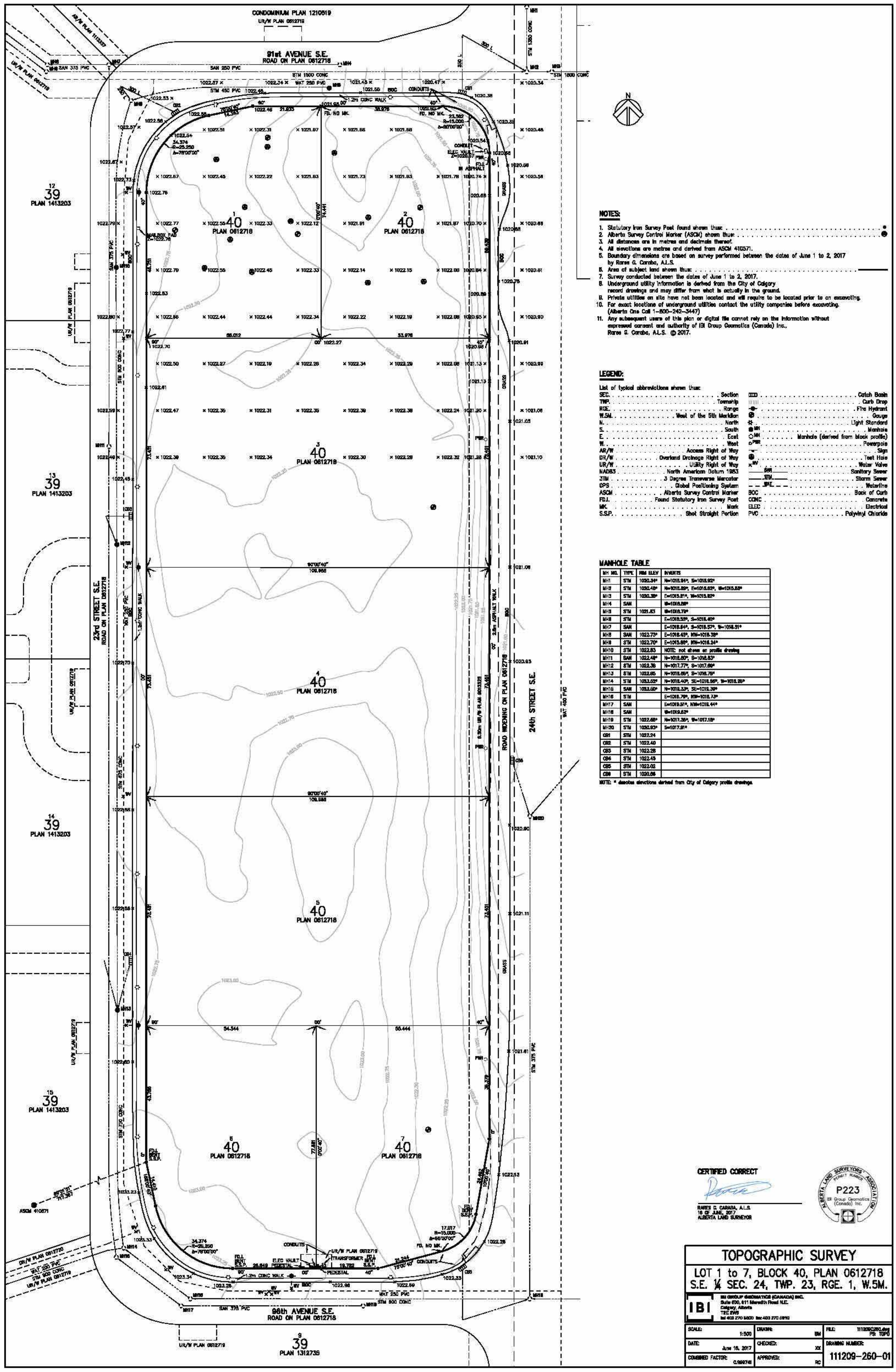


|               |                                   |
|---------------|-----------------------------------|
| Drawing Title | CONTEXT PLAN & PROJECT STATISTICS |
|---------------|-----------------------------------|

|                 |                   |
|-----------------|-------------------|
| Drawn by:       | Scale             |
| Reviewed by: KB | 1:1               |
| Manager: EJ     | Date (YYYY-MM-DD) |
| Peer Review:    |                   |

|                |                 |
|----------------|-----------------|
| Drawing Number | Drawing Package |
| DP-10.01       | Revision Number |

RENDERED ON THIS PLAN



INFORMATION FOR  
REFERENCE PURPOSES  
ONLY - NOT TO SCALE

NOTES:

- DIMENSION TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
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REMINGTON  
DEVELOPMENT CORPORATION

NOTE: LOTS 3-5 HAVE BEEN CONSOLIDATED AS OF SEPTEMBER 22, 2025. SURVEY WAS COMPLETED PRIOR TO CONSOLIDATION AND THEREFORE DOES NOT REFLECT UPDATED LEGAL DESCRIPTION.

Issued For / Revisions

| No.                             | Description | Date (YYYY-MM-DD) |
|---------------------------------|-------------|-------------------|
| DR2 RESPONSE REVISION (PHASE 2) |             | 26-03-17          |
| DR2 RESPONSE (PHASE 2)          |             | 26-03-06          |
| DR1 RESPONSE (PHASE 2)          |             | 26-02-05          |
| DEVELOPMENT PERMIT (PHASE 2)    |             | 25-10-10          |

Project: QUARRY PARK HEALTH CAMPUS - PHASE 2

Project Number: 25027

9365 24 Street SE  
Calgary, Alberta

Legal Description: PLAN 2511644; BLOCK 40; BP2025-22468

LOT 9  
Development Permit No. DP2025-05901

Building Permit No. BP2025-22468

DSSP No. DSSP2025-0558

GGA-ARCHITECTURE

350,140-10 Ave SE  
Calgary, Alberta.  
T2G 0R1  
Ph: 403.233.2000  
Fax: 403.264.2077

Drawing Title: OVERALL SITE SURVEY

Drawn by: Author  
Reviewed by: KB  
Manager: EJ  
Peer Review:

Scale: Date (YYYY-MM-DD)

Drawing Number: DP-10.02  
Drawing Package: Revision Number

UNREVIEWED DRAWINGS  
IF NO DEVELOPMENT PERMIT NO. IS SHOWN, THESE PERMITS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.  
RENDERED ON THIS PLAN

- NOTES:**
- DIMENSION TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
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  - THIS DRAWING SUPERCEDES PREVIOUS ISSUES.



**GENERAL SITE NOTES**

1. REFER TO THE GEOTECHNICAL REPORT FOR ASPHALT REQUIREMENTS
2. REFER TO CIVIL FOR MAIN FLOOR GEODETICS
3. FOR SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, GRADES, RELOCATION OF FIRE HYDRANTS & NEW HYDRANTS, LOCATION OF CURBS & CURB TYPES, EXTENT OF HEAVY-DUTY ASPHALT, CONCRETE, REINFORCED CONCRETE, RAISED CROSSWALKS, AND CONCRETE JOINTING REFER TO CIVIL DRAWINGS
4. REFER TO SCALE SITE PLANS FOR DIMENSIONS AND NOTES
5. FOR ELECTRICAL SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO, LIGHTING LAYOUT, FIXTURE TYPES, SAFETY CALL STATIONS AND SECURITY CAMERAS REFER TO ELECTRICAL DRAWINGS
6. FOR LANDSCAPE SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO, EXTENT OF DECORATIVE CONCRETE, DECORATIVE BOLLARDS, EMBEDDED BENCHES, EMBEDDED BIKE RACKS, PLANT LIST AND PLANTING DETAILS REFER TO LANDSCAPE DRAWINGS
7. REFER TO STRUCTURAL DRAWINGS FOR WALL AND FOUNDATION DETAILS
8. 150mm CONCRETE CURBS THROUGHOUT SITE, TYPICAL
9. FOR WASTE & RECYCLING DETAILS SEE DETAILS
10. CURB RADIUS WILL BE 600mm U.N.O.

**LEGEND**

OVERHEAD ELECTRICAL  
UNDERGROUND ELECTRICAL  
STORM LINES  
SANITARY LINES  
WATER LINES

**EXTENTS OF DEVELOPMENT**  
**PHASING LINE (APPLICATION BOUNDARY)**

**PROPERTY LINE**

CONCRETE SITE SLAB, WALKWAYS, CURBS AND SIDEWALKS

LANDSCAPE SURFACES

ASPHALT  
HEAVY DUTY SURFACE  
UTILITY RIGHT OF WAY  
TREES / SHRUBS - REFER TO LANDSCAPE

SITE SEATING & BIKE PARKING  
PEDESTRIAN CROSSING AND BARRIER FREE LOADING  
LANDSCAPE WALL

|                                 |          |
|---------------------------------|----------|
| DR2 RESPONSE REVISION (PHASE 2) | 26-03-17 |
| DR2 RESPONSE (PHASE 2)          | 26-03-06 |
| DR1 RESPONSE (PHASE 2)          | 26-02-05 |
| DEVELOPMENT PERMIT (PHASE 2)    | 25-10-10 |

No. Description Date (YYYY-MM-DD)

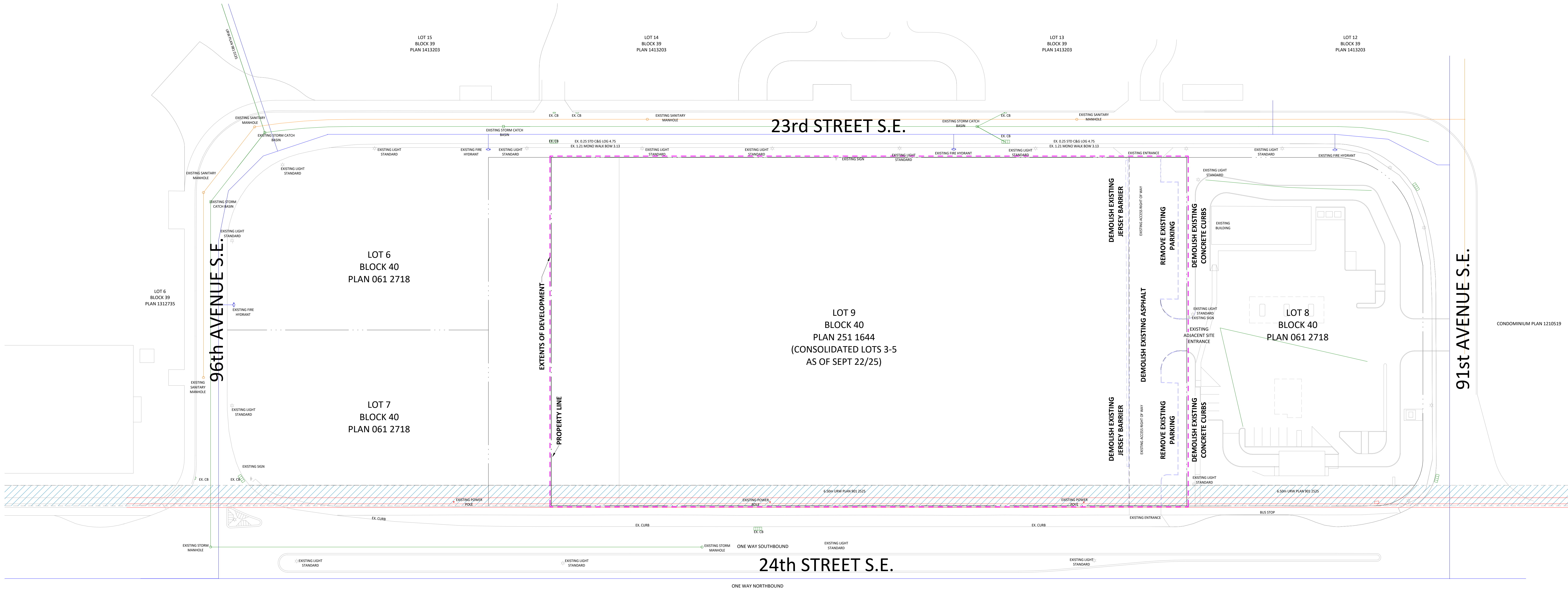
**Issued For / Revisions**

Project: QUARRY PARK HEALTH CAMPUS - PHASE 2  
Project Number: 25027  
9365 24 Street SE  
Calgary, Alberta

Legal Description: PLAN 2511644; BLOCK 40; BP2025-22468  
LOT 9  
Development Permit No. DP2025-05901  
DSSP No. DSSP2025-0558

350,140-10 Ave SE  
Calgary, Alberta.  
TZG OR1  
Ph: 403.233.2000  
GGA-ARCHITECTURE Fax: 403.264.2077

|                                     |                                    |
|-------------------------------------|------------------------------------|
| Drawing Title<br>EXISTING SITE PLAN |                                    |
| Drawn by: Author                    | Scale: As indicated                |
| Reviewed by: KB                     | Date (YYYY-MM-DD)                  |
| Manager: EJ                         | Peer Review:                       |
| Drawing Number<br>DP-10.03          | Drawing Package<br>Revision Number |



TRUE NORTH  
1  
DP-10.03  
EXISTING SITE PLAN  
1 : 500

PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

UNRENDERED DRAWINGS  
DATE RECEIVED 10/17/2024  
THESE PERMITS REFER TO THE ABOVE PERMIT NO.  
RENDERED ON THIS PLAN

- NOTES:
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  - THIS DRAWING SUPERCEDES PREVIOUS ISSUES.



#### GENERAL SITE NOTES

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2. REFER TO CIVIL FOR MAIN FLOOR GEODETICS
3. FOR SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, GRADES, RELOCATION OF FIRE HYDRANTS & NEW HYDRANTS, LOCATION OF CURBS & CURB TYPES, EXTENT OF HEAVY-DUTY ASPHALT, CONCRETE, REINFORCED CONCRETE, RAISED CROSSWALKS, AND CONCRETE JOINTING REFER TO CIVIL DRAWINGS
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7. REFER TO STRUCTURAL DRAWINGS FOR WALL AND FOUNDATION DETAILS
8. 150mm CONCRETE CURBS THROUGHOUT SITE, TYPICAL
9. FOR WASTE & RECYCLING DETAILS SEE DETAILS
10. CURB RADIUS WILL BE 600mm U.N.O.

- GAS LINES
- OVERHEAD ELECTRICAL
- UNDERGROUND ELECTRICAL
- STORM LINES
- SANITARY LINES
- WATER LINES
- EXTENTS OF DEVELOPMENT
- PHASING LINE (APPLICATION BOUNDARY)
- PROPERTY LINE
- CONCRETE SITE SLAB, WALKWAYS, CURBS AND SIDEWALKS
- LANDSCAPE SURFACES
- ASPHALT
- HEAVY DUTY SURFACE
- UTILITY RIGHT OF WAY
- TREES / SHRUBS - REFER TO LANDSCAPE
- SITE SEATING & BIKE PARKING
- PEDESTRIAN CROSSING AND BARRIER FREE LOADING
- LANDSCAPE WALL

|                                 |          |
|---------------------------------|----------|
| DR2 RESPONSE REVISION (PHASE 2) | 26-03-17 |
| DR2 RESPONSE (PHASE 2)          | 26-03-06 |
| DR1 RESPONSE (PHASE 2)          | 26-02-05 |
| DEVELOPMENT PERMIT (PHASE 2)    | 25-10-10 |

No. Description Date (YYYY-MM-DD)

#### Issued For / Revisions

Project Project Number: 25027

QUARRY PARK HEALTH CAMPUS - PHASE 2

9365 24 Street SE  
Calgary, Alberta

Legal Description  
PLAN 2511644; BLOCK 40; DP2025-22468

LOT 5 Development Permit No. DP2025-03911

DSSP No. DSSP2025-0558

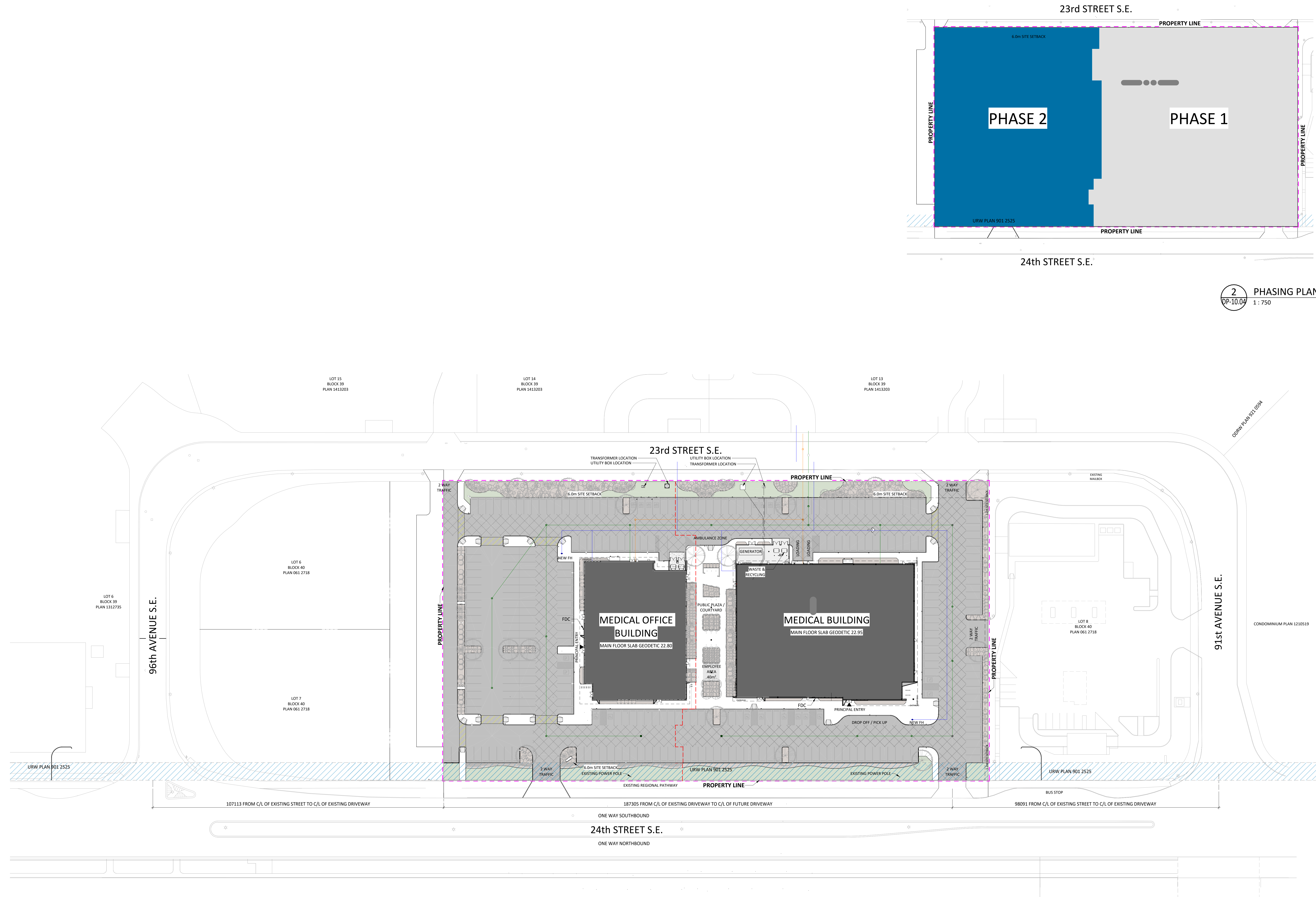
350,140-10 Ave SE  
Calgary, Alberta.  
T2G 0R1  
Ph: 403.233.2000  
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title  
PHASING PLAN & ULTIMATE SITE PLAN

Drawn by: Author Scale  
Reviewed by: KB As indicated  
Manager: EJ Date (YYYY-MM-DD)  
Peer Review:

Drawing Number Drawing Package

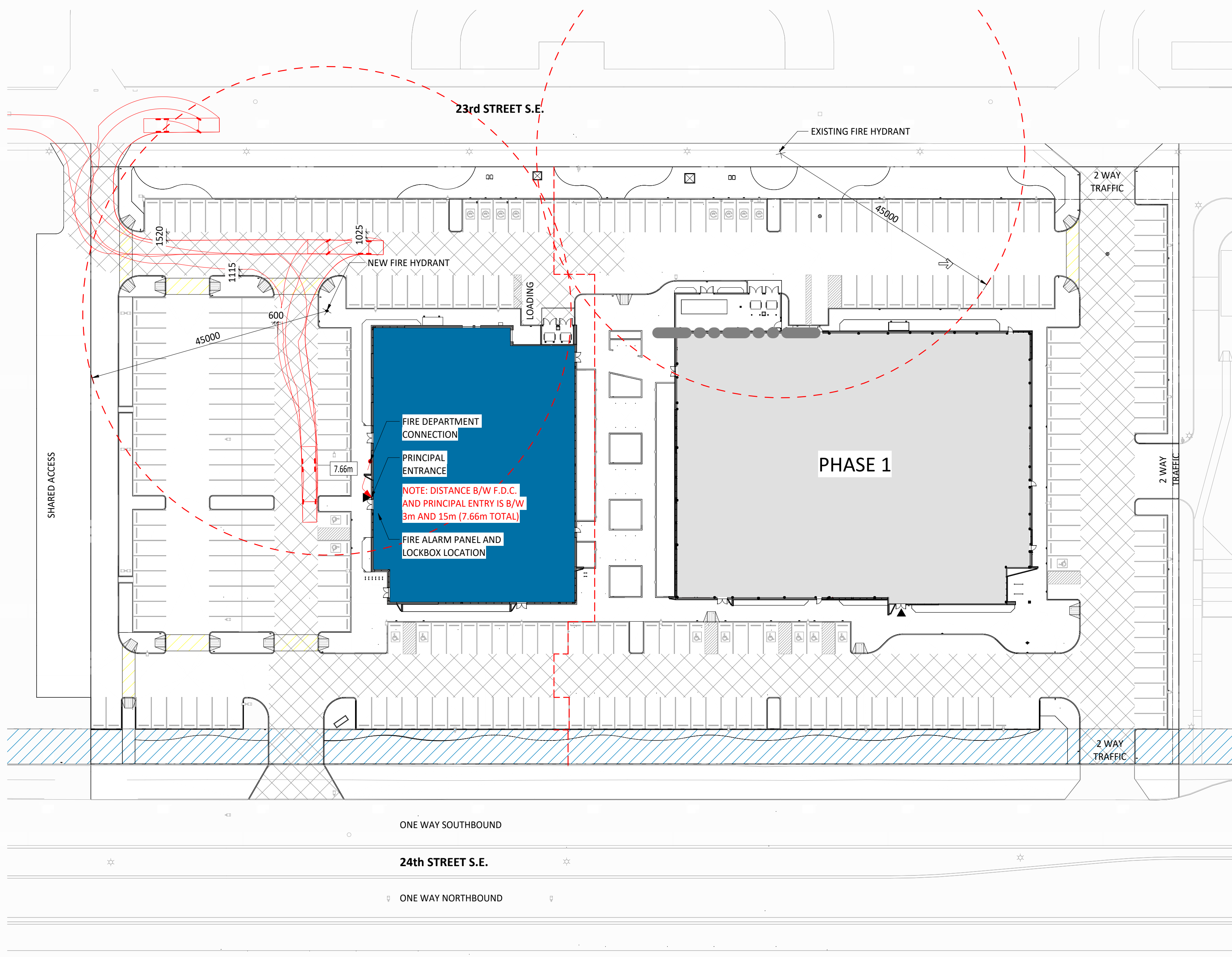
DP-10.04 Revision Number



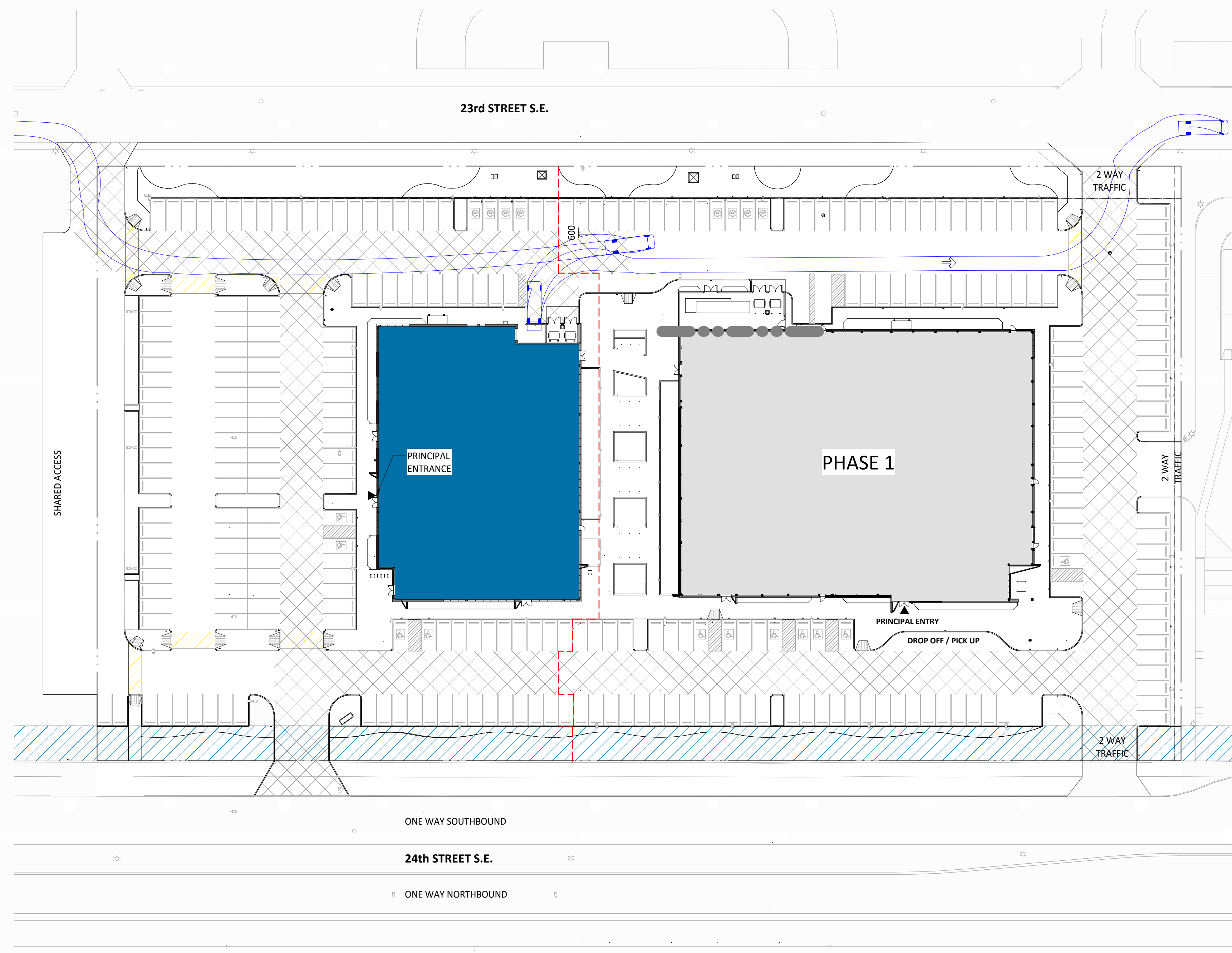
TRUE NORTH  
1 DP-10.04  
ULTIMATE SITE PLAN  
1 : 500

PRELIMINARY - NOT FOR CONSTRUCTION

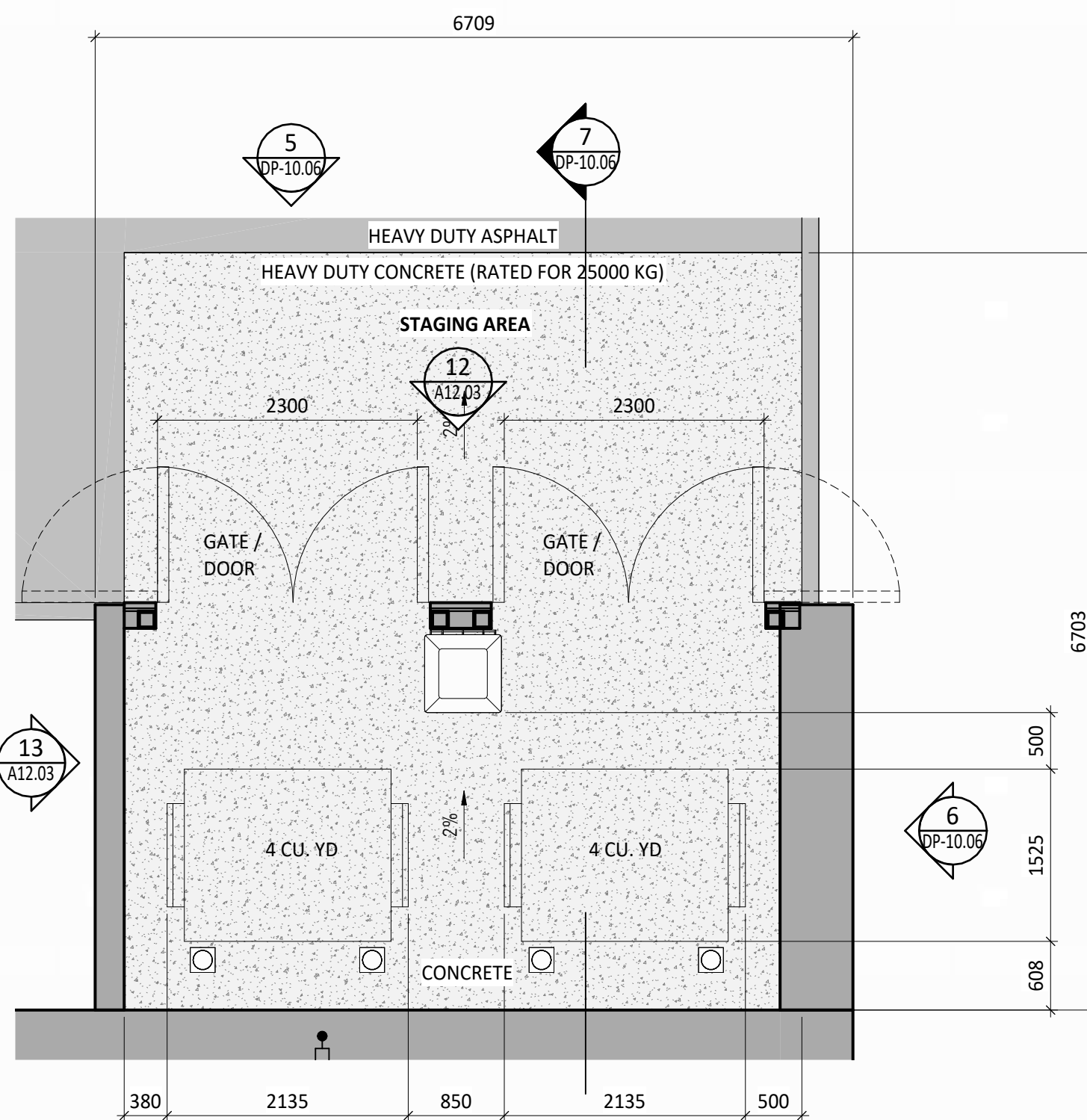




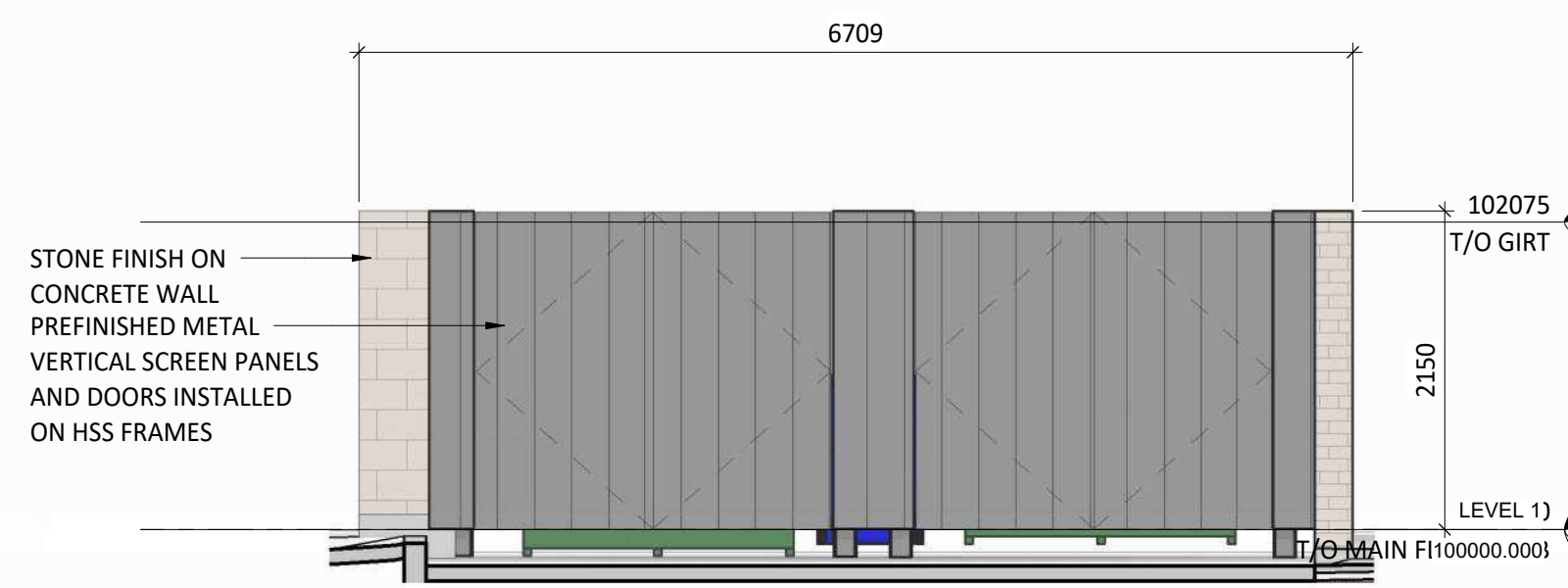
1 FIRE TRUCK SWEEP PATH - PHASE 2  
DP-10.06 1:500



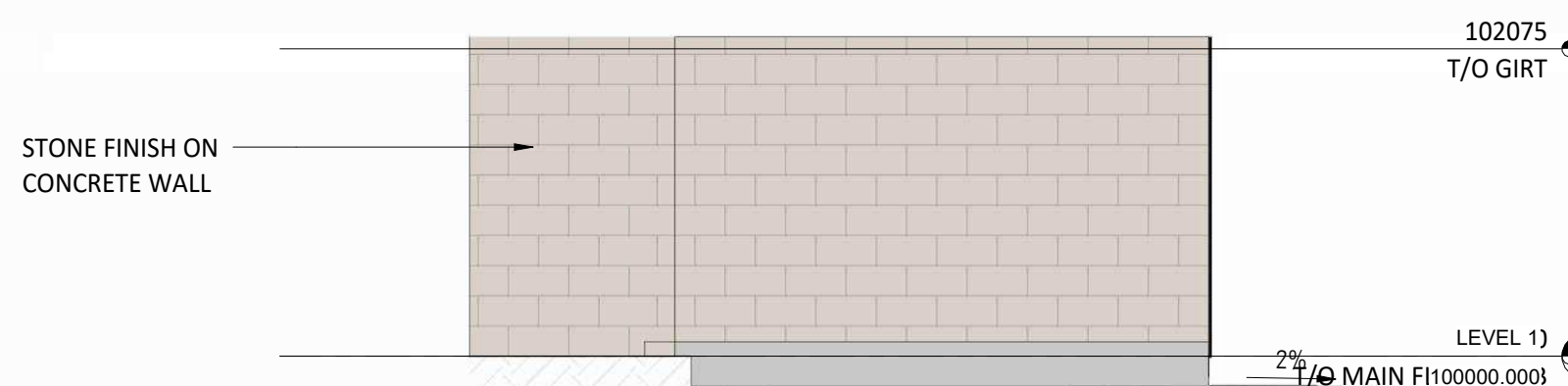
2 LOADING TRUCK SWEEP PATH - PHASE 2  
DP-10.06 1:500



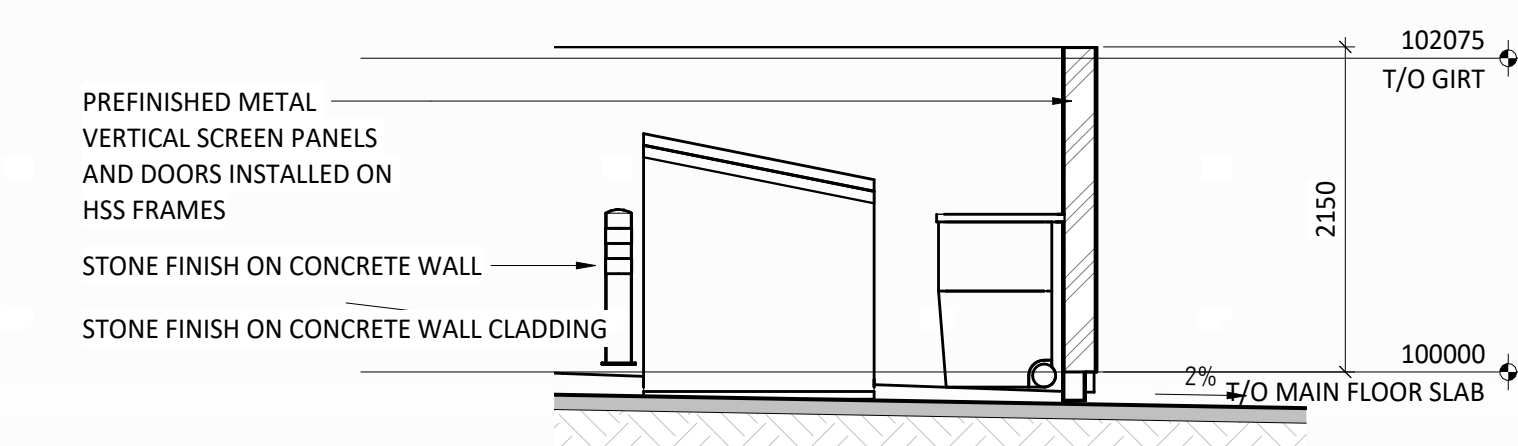
4 WASTE & RECYCLING ENCLOSURE - PLAN  
DP-10.06 1:50



5 WASTE & RECYCLING ENCLOSURE - FRONT ELEVATION  
DP-10.06 1:50

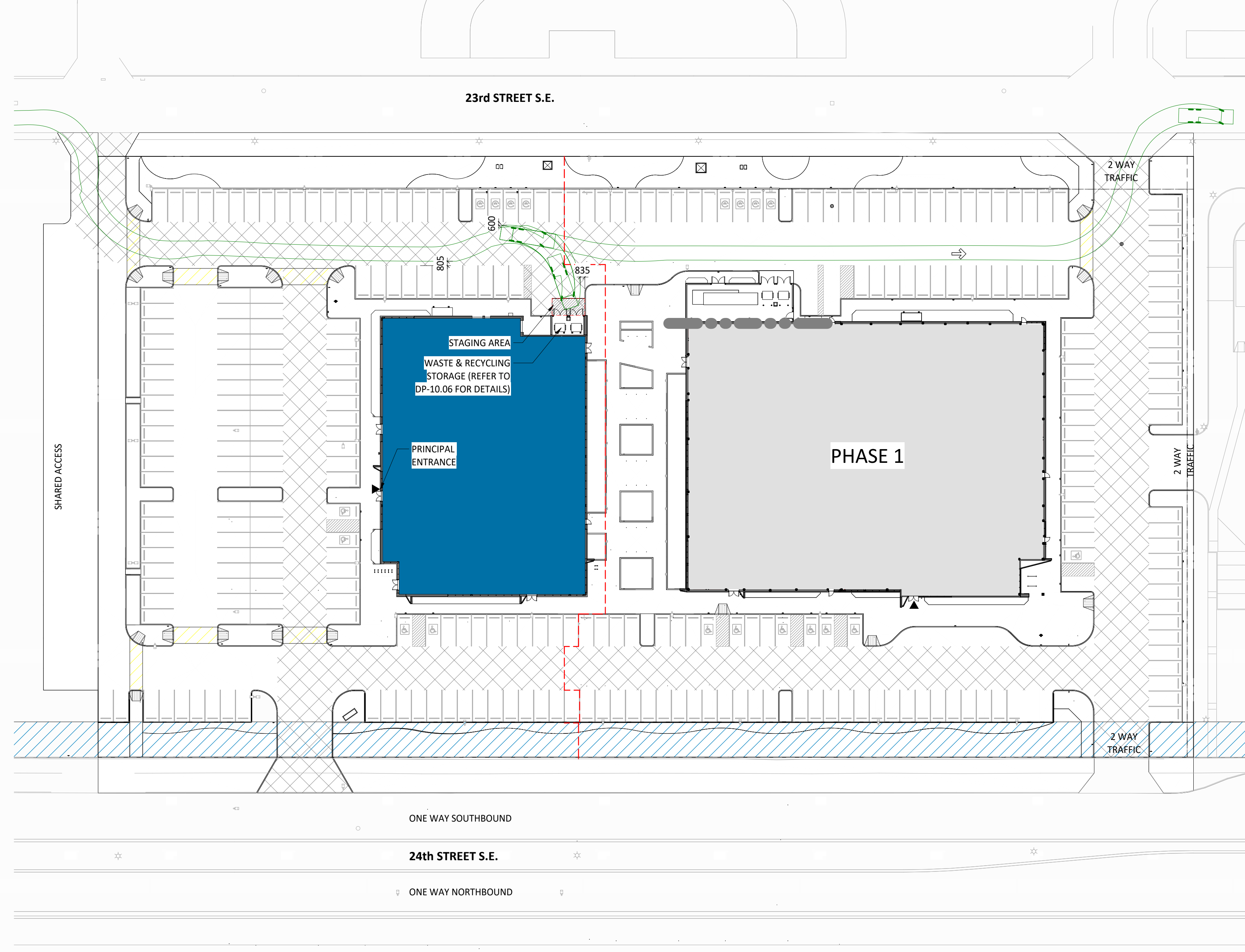


6 WASTE & RECYCLING ENCLOSURE - SIDE ELEVATION  
DP-10.06 1:50



7 WASTE & RECYCLING ENCLOSURE - SECTION  
DP-10.06 1:50

| WASTE & RECYCLING STORAGE                                                                                                                                                                                                                                                                                                                                                                                                          |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <b>REQUIRED:</b><br>3.0m <sup>3</sup> STORAGE per 1000m <sup>2</sup> DEVELOPMENT<br>= 3.0m <sup>3</sup> x (3965m <sup>2</sup> / 1000m <sup>2</sup> )<br>= 11.9m <sup>3</sup><br>= 15.6 CU. YD.                                                                                                                                                                                                                                     |  |
| <b>PROPOSED:</b><br>1x RECYCLING (4 CU. YD.)<br>1x WASTE (4 CU. YD.)<br>1x ORGANICS (0.3 CU. YD.)<br><br>TOTAL: 8.3 CU. YD.                                                                                                                                                                                                                                                                                                        |  |
| <b>NOTES:</b><br>1. WASTE & RECYCLING COLLECTION WILL BE ARRANGED PRIVATELY BY OWNER.<br>2. COLLECTION TO BE SCHEDULED APPROXIMATELY 1-2 TIMES WEEKLY BASED ON TENANT DEMAND.<br>3. STORAGE BINS TO BE TRANSFERRED TO STAGING AREA.<br>4. OPERATIONAL POLICIES OF OWNER INCLUDE SNOW REMOVAL TO ENSURE APPROPRIATE COLLECTION OF WASTE.<br>5. COLLECTION TO BE SCHEDULED AFTER OPERATING HOURS OR AT DISCRETION OF OWNER & TENANT. |  |



3 WASTE & RECYCLING TRUCK SWEEP PATH - PHASE 2  
DP-10.06 1:500

- NOTES:**
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#### TRUCK TURNING NOTES

HEAVY DUTY ASPHALT TO BE DESIGNED TO SUPPORT 38,556 kg VEHICLE WEIGHT - NPA 1901 POINT LOAD OF 51.7kPa (75psi) OVER A 24" X 24" AREA (OUTRIGGER PAD SIZE)

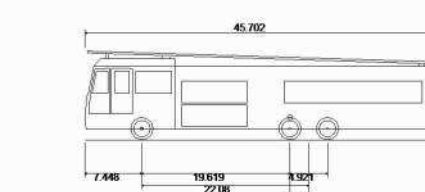
FUTURE SCOPE OF WORK

BUILDING

CONCRETE SITE SLAB, WALKWAYS, CURBS AND SIDEWALKS

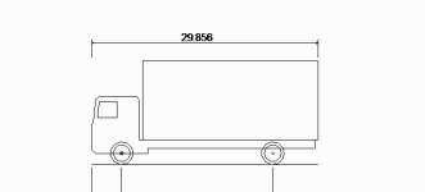
HEAVY DUTY ASPHALT

FIRE HYDRANT RADIUS



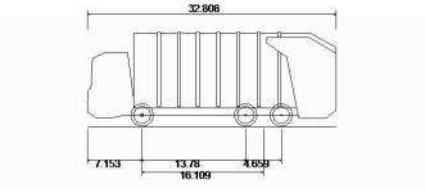
City of Toronto Street  
Overall Length  
Overall Width  
Overall Height  
Min. Turn Radius  
Min. Turn Clearance  
Min. Turn Area  
Min. Turn Angle

40.00m  
6.00m  
3.00m  
12.00m  
12.00m  
12.00m  
12.00m  
45.00°



City of Toronto Street  
Overall Length  
Overall Width  
Overall Height  
Min. Turn Radius  
Min. Turn Clearance  
Min. Turn Area  
Min. Turn Angle

25.00m  
6.00m  
3.00m  
12.00m  
12.00m  
12.00m  
12.00m  
45.00°



City of Calgary Collection Vehicle  
Overall Length  
Overall Width  
Overall Height  
Min. Turn Radius  
Min. Turn Clearance  
Min. Turn Area  
Min. Turn Angle

40.00m  
6.00m  
3.00m  
12.00m  
12.00m  
12.00m  
12.00m  
45.00°

|                                 |          |
|---------------------------------|----------|
| DR2 RESPONSE REVISION (PHASE 2) | 26-03-17 |
| DR2 RESPONSE (PHASE 2)          | 26-03-06 |
| DR1 RESPONSE (PHASE 2)          | 26-02-05 |
| DEVELOPMENT PERMIT (PHASE 2)    | 25-10-10 |

No. | Description | Date (YYYY-MM-DD)

#### Issued For / Revisions

|                                                       |                                     |
|-------------------------------------------------------|-------------------------------------|
| Project                                               | Project Number: 25027               |
| QUARRY PARK HEALTH CAMPUS - PHASE 2                   |                                     |
| 9365 24 Street SE<br>Calgary, Alberta                 |                                     |
| Legal Description<br>PLAN 2511644; BLOCK 40;<br>LOT 9 | Building Permit No.<br>BP2025-22468 |
| Development Permit No.<br>DP2025-03911                | DSP No.<br>DSP2025-0558             |



350,140-10 Ave SE  
Calgary, Alberta.  
T2G 0R1  
Ph: 403.233.2000  
Fax: 403.264.2077

Drawing Title  
TRUCK SITE ACCESS AND SITE DETAILS

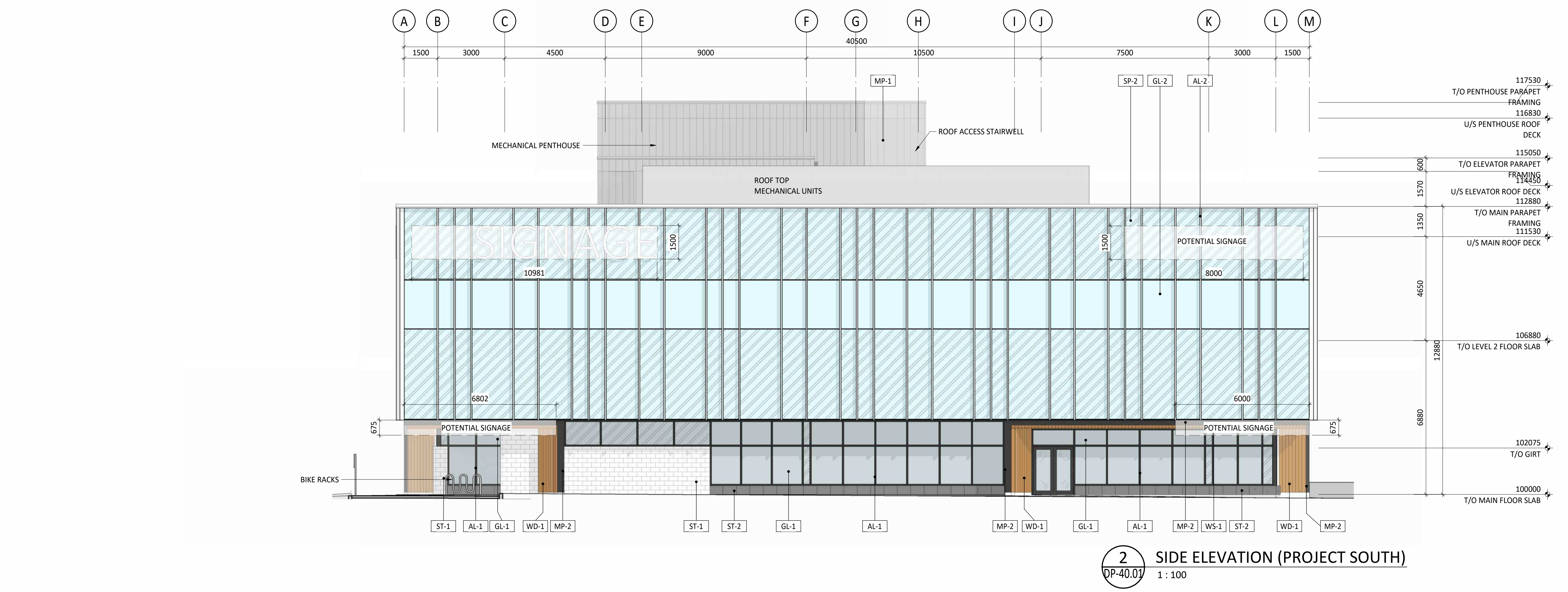
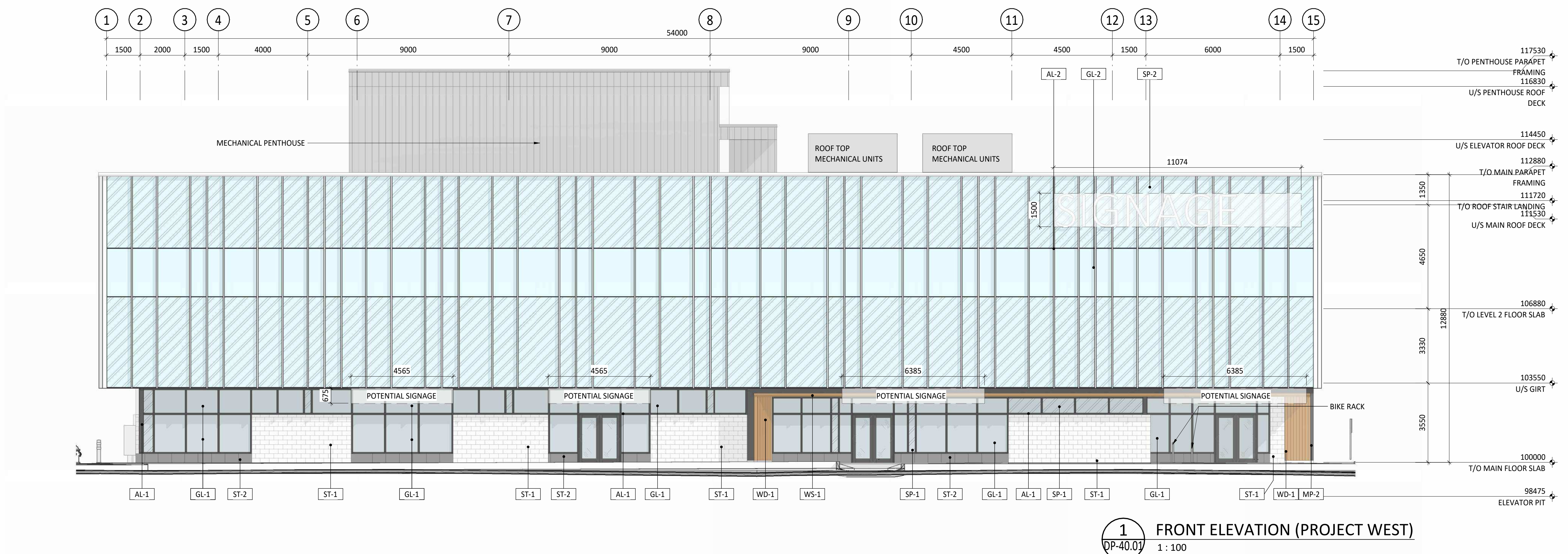
|                  |                   |
|------------------|-------------------|
| Drawn by: Author | Scale             |
| Reviewed by: KB  | As indicated      |
| Manager: EJ      | Date (YYYY-MM-DD) |
| Peer Review:     |                   |

Drawing Number

Drawing Package

DP-10.06

Revision Number



NOTES:

- PARTITIONS TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
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- DO NOT SCALE DRAWINGS.
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| MATERIALS |                                               |
|-----------|-----------------------------------------------|
| PT-1      | EXTERIOR DOOR / FRAME PAINT                   |
| MP-1      | EXTERIOR VERTICAL METAL CLADDING - LIGHT GREY |
| MP-2      | METAL PANEL CLADDING - BLACK                  |
| WD-1      | WOOD LOOK CLADDING                            |
| WD-1      | WOOD LOOK SOFFIT                              |
| FL-1      | PREFINISHED FLASHING - LIGHT GREY             |
| GL-1      | EXTERIOR GLAZING                              |
| GL-2      | EXTERIOR GLAZING - GREY                       |
| AL-1      | BLACK ANODIZED ALUMINUM (CW)                  |
| AL-2      | WHITE ANODIZED ALUMINUM (CW)                  |
| SP-1      | SPANDREL PANEL                                |
| ST-1      | STONE FINISH - LIGHT GREY                     |
| ST-2      | STONE FINISH - DARK GREY                      |

| No. | Description                  | Date (YYYY-MM-DD) |
|-----|------------------------------|-------------------|
| DR2 | RESPONSE REVISION (PHASE 2)  | 26-03-17          |
| DR2 | RESPONSE (PHASE 2)           | 26-03-06          |
| DR1 | RESPONSE (PHASE 2)           | 26-02-05          |
| DP  | DEVELOPMENT PERMIT (PHASE 2) | 25-10-10          |

Issued For / Revisions

Project Number: 25027  
**QUARRY PARK HEALTH CAMPUS - PHASE 2**  
9365 24 Street SE  
Calgary, Alberta

Legal Description: 350,140-10 Ave SE  
Calgary, Alberta.  
T2G 0R1  
Ph: 403.233.2000  
Fax: 403.264.2077

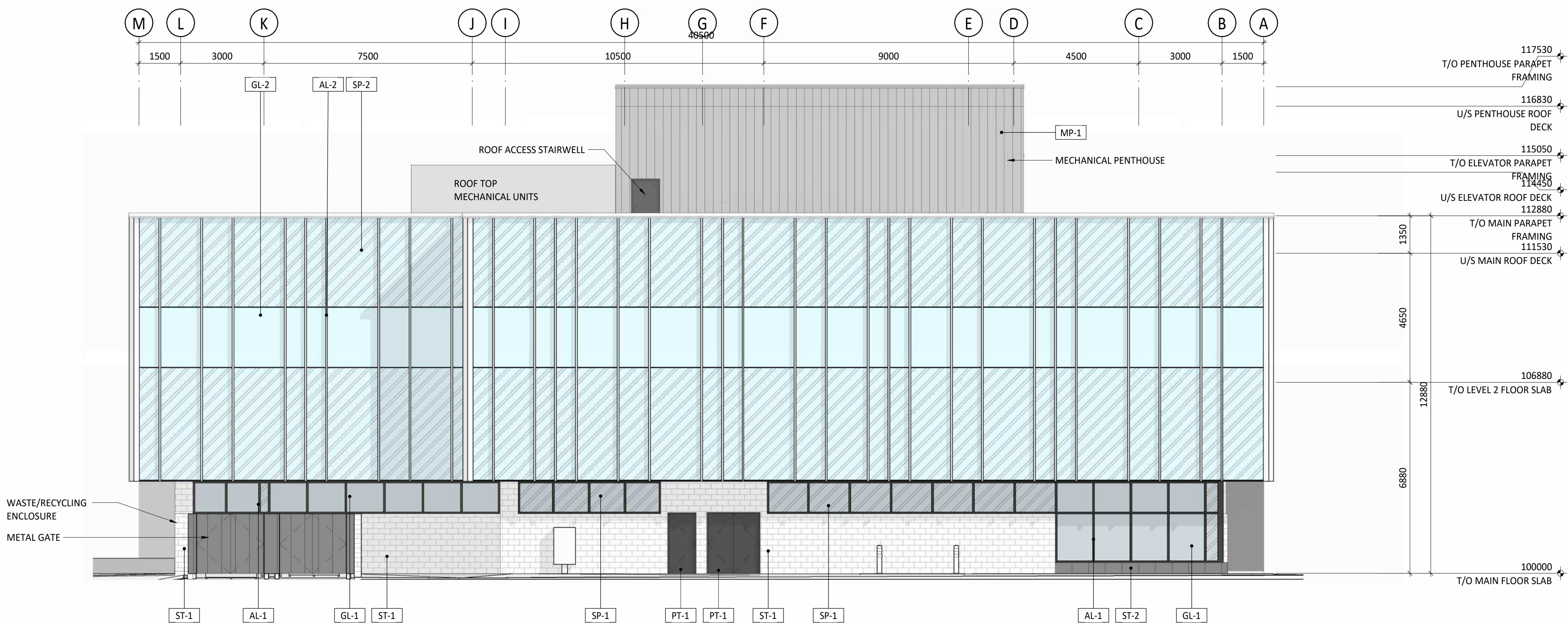
GGA-ARCHITECTURE

|                                      |                                    |
|--------------------------------------|------------------------------------|
| Drawing Title<br>EXTERIOR ELEVATIONS |                                    |
| Drawn by: Author                     | Scale<br>1 : 100                   |
| Reviewed by: KB                      | Date (YYYY-MM-DD)                  |
| Manager: EJ                          | Peer Review:                       |
| Drawing Number<br>DP-40.01           | Drawing Package<br>Revision Number |

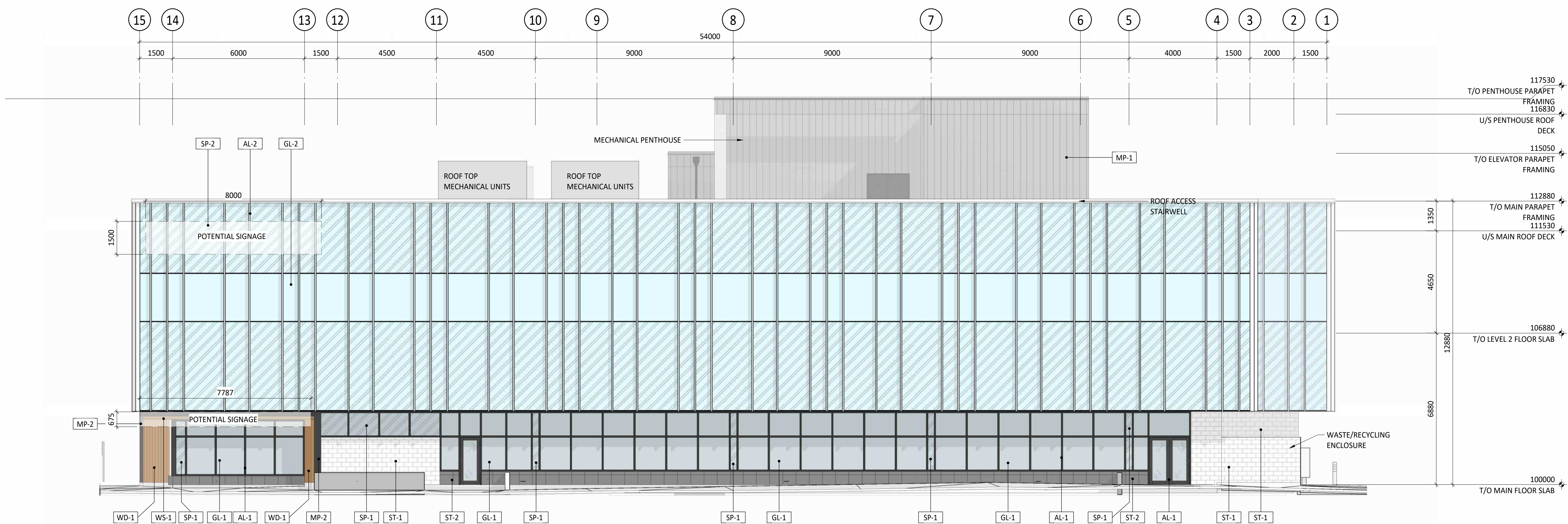
- NOTES:**
- DIMENSION TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
  - NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
  - VERIFY ALL DIMENSIONS, ELEVATIONS AND DATUM: REPORT ANY ERRORS AND/ OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
  - DO NOT SCALE DRAWINGS.
  - THIS DRAWING SUPERCEDES PREVIOUS ISSUES.



| MATERIALS |                                               |
|-----------|-----------------------------------------------|
| PT-1      | EXTERIOR DOOR / FRAME PAINT                   |
| MP-1      | EXTERIOR VERTICAL METAL CLADDING - LIGHT GREY |
| MP-2      | METAL PANEL CLADDING - BLACK                  |
| WD-1      | WOOD LOOK CLADDING                            |
| WS-1      | WOOD-LOOK SOFFIT                              |
| FL-1      | PREFINISHED FLASHING - LIGHT GREY             |
| GL-1      | EXTERIOR GLAZING                              |
| GL-2      | EXTERIOR GLAZING - GREY                       |
| AL-1      | BLACK ANODIZED ALUMINUM (CW)                  |
| AL-2      | WHITE ANODIZED ALUMINUM (CW)                  |
| SP-1      | SPANDREL PANEL                                |
| ST-1      | STONE FINISH - LIGHT GREY                     |
| ST-2      | STONE FINISH - DARK GREY                      |



1 SIDE ELEVATION (PROJECT NORTH)  
1 : 100



2 REAR ELEVATION (PROJECT EAST)  
1 : 100

|                                 |          |
|---------------------------------|----------|
| DR2 RESPONSE REVISION (PHASE 2) | 26-03-17 |
| DR2 RESPONSE (PHASE 2)          | 26-03-06 |
| DR1 RESPONSE (PHASE 2)          | 26-02-05 |
| DEVELOPMENT PERMIT (PHASE 2)    | 25-10-10 |

No. Description Date (YYYY-MM-DD)

Issued For / Revisions

Project Number: 25027

QUARRY PARK HEALTH CAMPUS - PHASE 2

9365 24 Street SE  
Calgary, Alberta

Legal Description  
PLAN 2511644; BLOCK 40;  
LOT 9  
Development Permit No.  
DP2025-03911

Building Permit No.  
BP2025-22468

DSSP No.  
DSSP2025-0558

350,140-10 Ave SE  
Calgary, Alberta.  
TZG OR1  
Ph: 403.233.2000  
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title  
EXTERIOR ELEVATIONS

Drawn by: Author  
Reviewed by: KB  
Manager: EJ  
Scale  
1 : 100  
Date (YYYY-MM-DD)

Peer Review:

Drawing Number  
DP-40.02

Drawing Package  
Revision Number

RENDERED ON THIS PLAN

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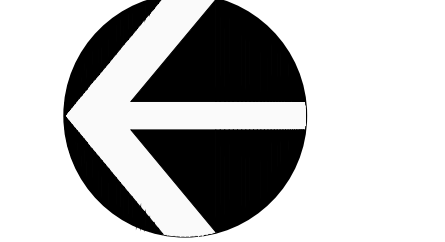
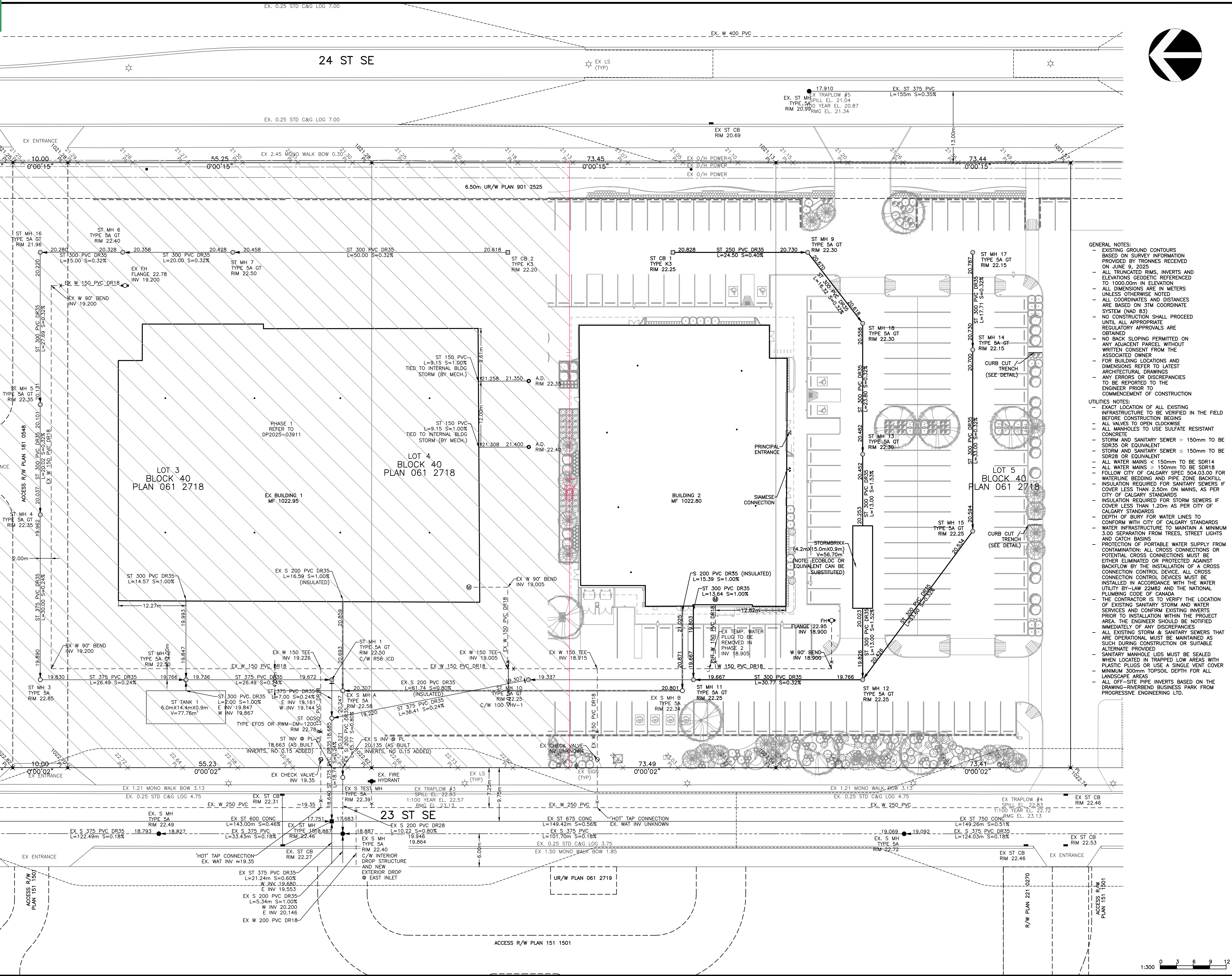
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LEGEND

- EXISTING UTILITIES
- SANITARY SEWER
  - STORM SEWER
  - WATER LINE
  - FENCE
  - TYPE 5A MANHOLE
  - TYPE 15 MANHOLE
  - CATCH BASIN
  - HYDRANT
  - WATER VALVE
  - U/G ELECTRICAL
  - GAS

- PROPOSED UTILITIES
- SANITARY SEWER
  - STORM SEWER
  - WATER LINE
  - FENCE
  - TYPE 5A MANHOLE
  - CATCHBASIN/MANHOLE
  - TYPE 15 MANHOLE
  - CATCH BASIN
  - ROOF DRAIN
  - AREA DRAIN
  - HYDRANT
  - WATER VALVE
  - WATER METER LOCATION
  - CONCRETE SWALE
  - ELECTRICAL METER LOCATION
  - GAS METER LOCATION

REVISIONS

| NO. | DATE       | DESCRIPTION             | BY | APPD. |
|-----|------------|-------------------------|----|-------|
| 1   | 2020/11/14 | REVISED AS PER COMMENTS | TC | EY    |
| 2   | 2020/05/05 | ISSUED FOR DRI RESPONSE | TC | EY    |
| 3   | 2020/01/17 | ISSUED FOR DR2 RESPONSE | -  | -     |
| 4   | -          | -                       | -  | -     |
| 5   | -          | -                       | -  | -     |

SUBMISSIONS

| NO. | DESCRIPTION  | DATE |
|-----|--------------|------|
| 1   | FOR DP       | -    |
| 2   | FOR APPROVAL | -    |
| 3   | FOR ARCHIVE  | -    |

CLIENT



PROJECT

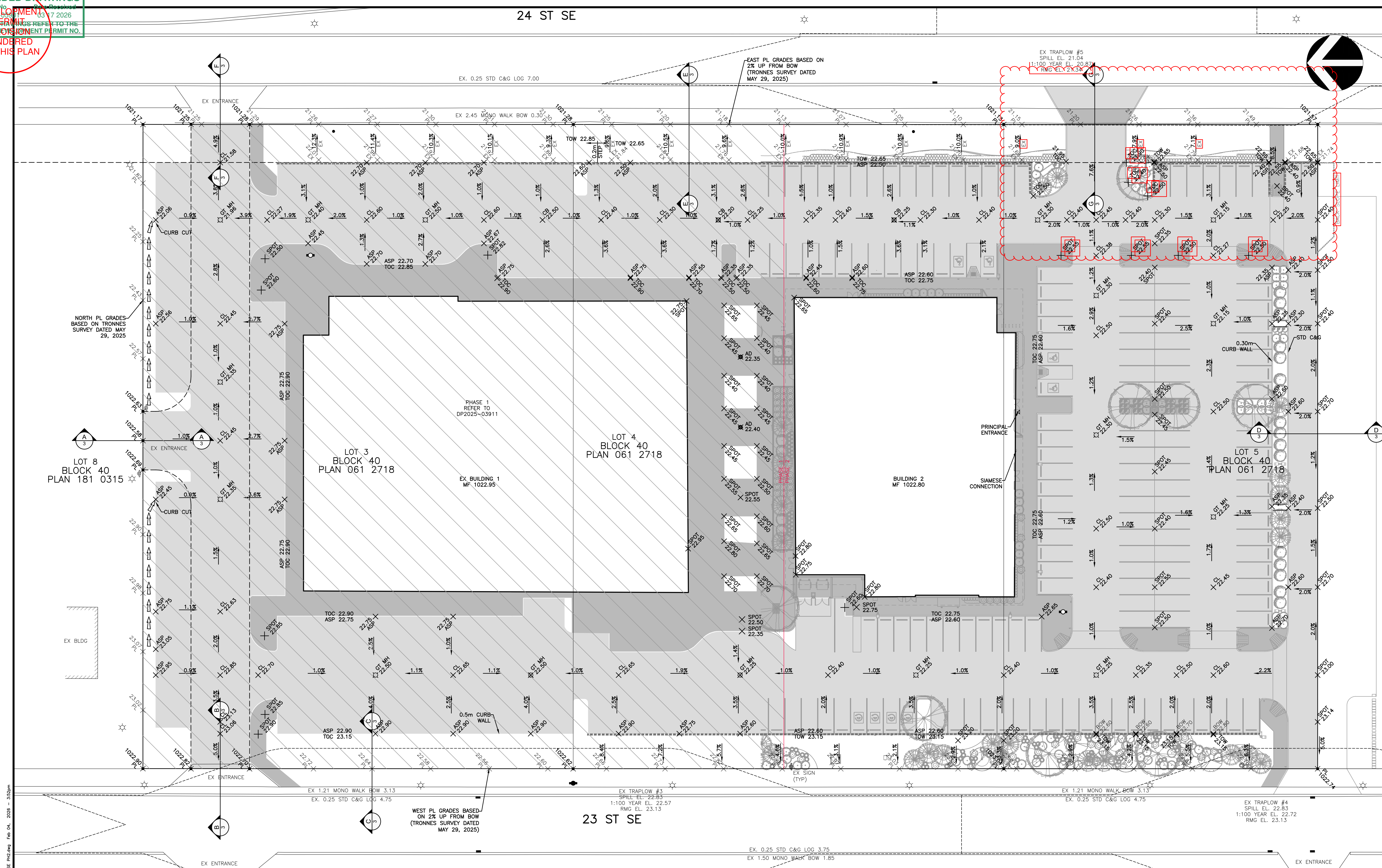
JOB DESCRIPTION  
**QUARRY PARK HEALTH CAMPUS PH2**  
PARCEL SIZE: 2.20 NUM. OF UNITS: UNITS  
LOT: 3-5 BLK: 40 PLAN: 061 2718  
DP#: 2025-05901 DSSP: -  
ADDRESS: 9358/9372/9468 23 ST SE CALGARY AB  
LEGAL DESCRIPTION: SE 1/4-24-23-1-W5M  
TITLE

SITE SERVICING PLAN (FOR DP)

SCALE: 1:300 STAMP:  
DWN: TC  
DES: RB  
DATE: FEB 4-26  
CHK: EY  
P. ENG: EY  
PERMIT:

|              |            |           |
|--------------|------------|-----------|
| PROJECT No.  | SHEET      | OF        |
| 119-36       | 1          | 3         |
| DRAWING NAME | 119-36 SVC | REVISIONS |
|              |            | R 2       |

REVISED DRAWINGS  
NO. 119-36  
DATE: 07/2025  
PERMIT NO. 2025-05901  
RENDERED  
ON THIS PLAN



LEGEND

- GRADING FEATURES**
- → → PROPOSED CONCRETE SWALE
  - PROPOSED CATCH BASIN
  - PROPOSED MANHOLE
  - PROPOSED CB/MANHOLE
  - ▨ PROPOSED ASPHALT PAVING
  - ▨ PROPOSED CONCRETE
  - PROPOSED RETAINING WALL
  - ⇄ ⇄ ⇄ PROPOSED GRASS SWALE
  - ○ ○ PROPOSED CHAINLINK FENCE
  - ○ ○ PROPOSED POST & CABLE FENCE
  - + + + EXISTING PL GRADE
  - + + + PROPOSED FINISHED GRADE

REVISIONS

| NO. | DATE     | DESCRIPTION             | BY | APPD. |
|-----|----------|-------------------------|----|-------|
| 1   | 26/01/14 | REVISED AS PER COMMENTS | TC | EY    |
| 2   | 26/02/05 | ISSUED FOR DRI RESPONSE | TC | EY    |
| 3   | 26/03/17 | ISSUED FOR DRI RESPONSE | -  | -     |
| 4   | -        | -                       | -  | -     |
| 5   | -        | -                       | -  | -     |

SUBMISSIONS

| NO. | DESCRIPTION  | DATE |
|-----|--------------|------|
| 1   | FOR DP       | -    |
| 2   | FOR APPROVAL | -    |
| 3   | FOR ARCHIVE  | -    |

CLIENT



PROJECT

JOB DESCRIPTION  
**QUARRY PARK HEALTH CAMPUS PH2**  
PARCEL SIZE: 2.20 NUM. OF UNITS: UNITS  
LOT: 3-5 BLK: 40 PLAN: 061 2718  
DP#: 2025-05901 DSSP: -  
ADDRESS: 9358/9372/9468 23 ST SE CALGARY AB  
LEGAL DESCRIPTION: SE 1/4-24-23-1-W5M

TITLE

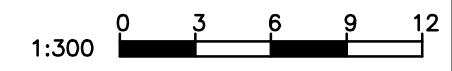
**SITE GRADING PLAN (FOR DP)**

|                |        |
|----------------|--------|
| SCALE: 1:300   | STAMP: |
| DWN: TC        |        |
| DES: RB        |        |
| DATE: FEB 4-26 |        |
| CHK: EY        |        |
| P. ENG: EY     |        |

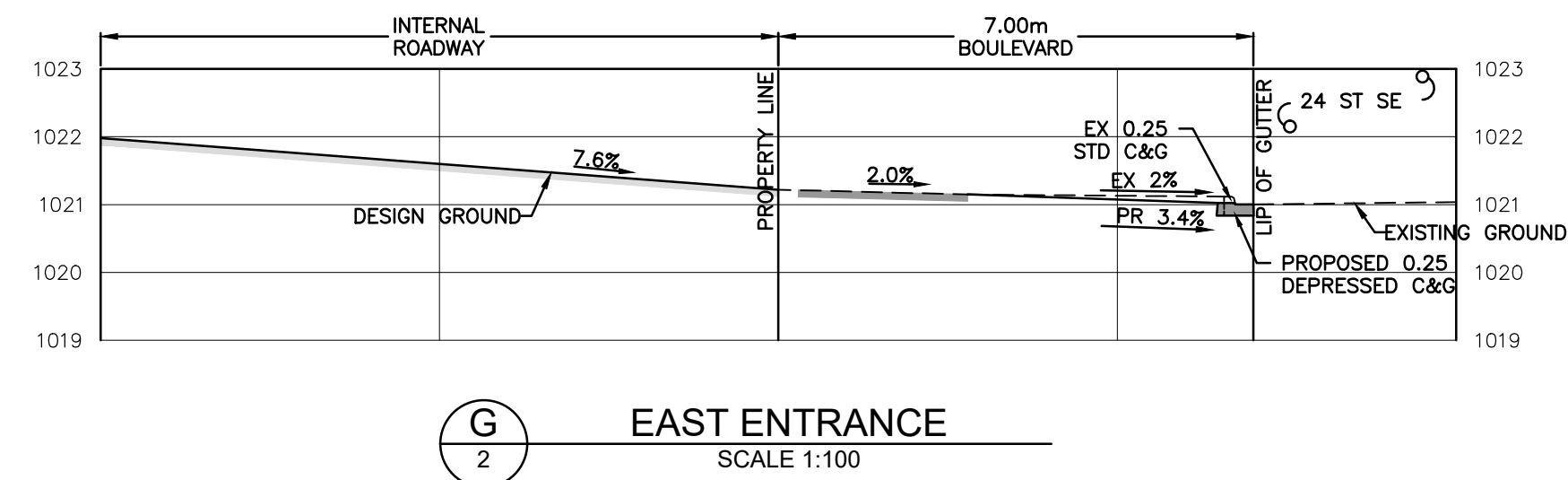
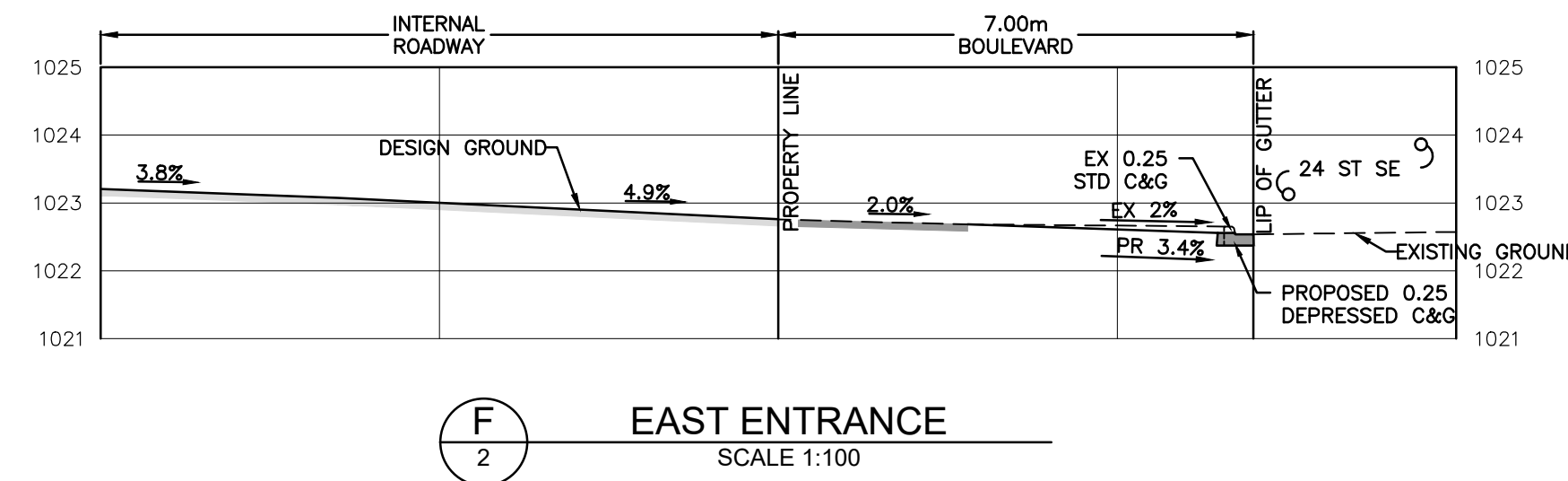
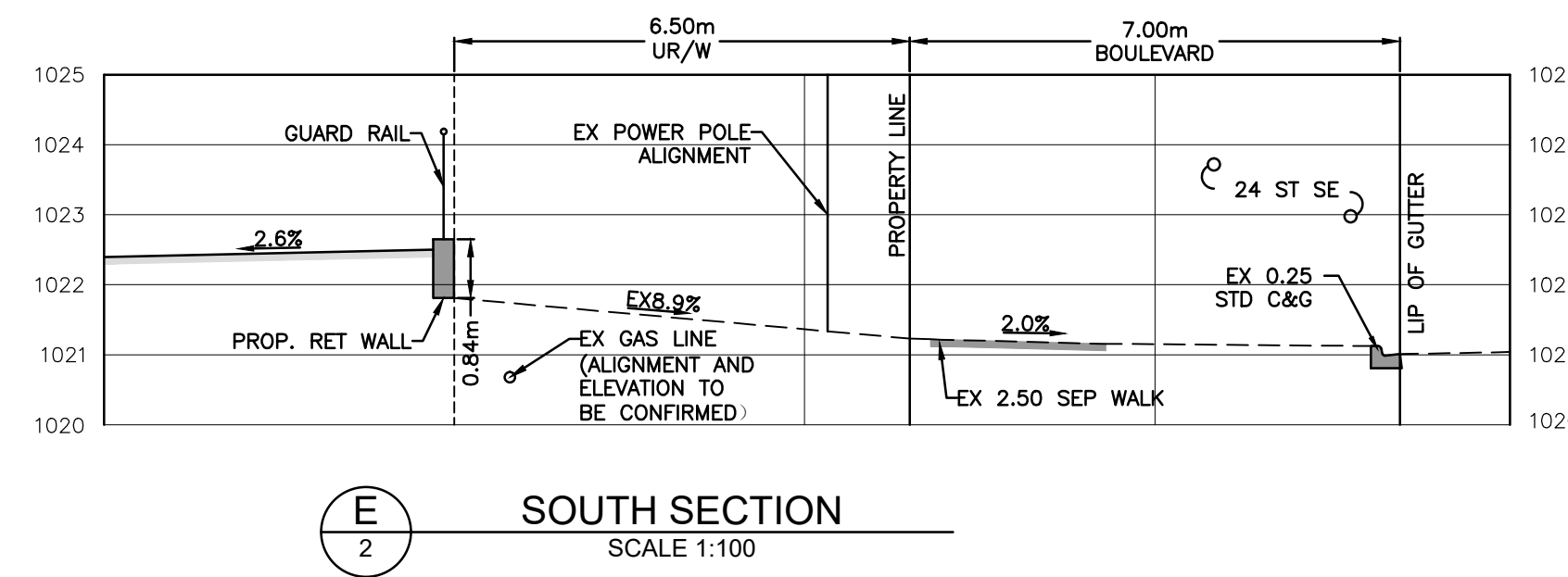
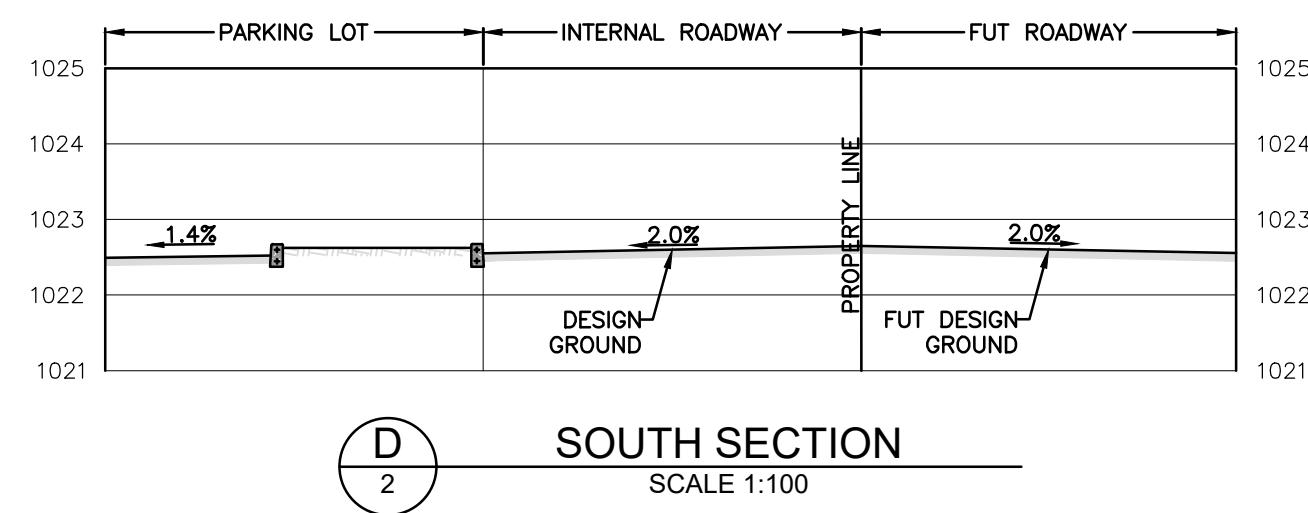
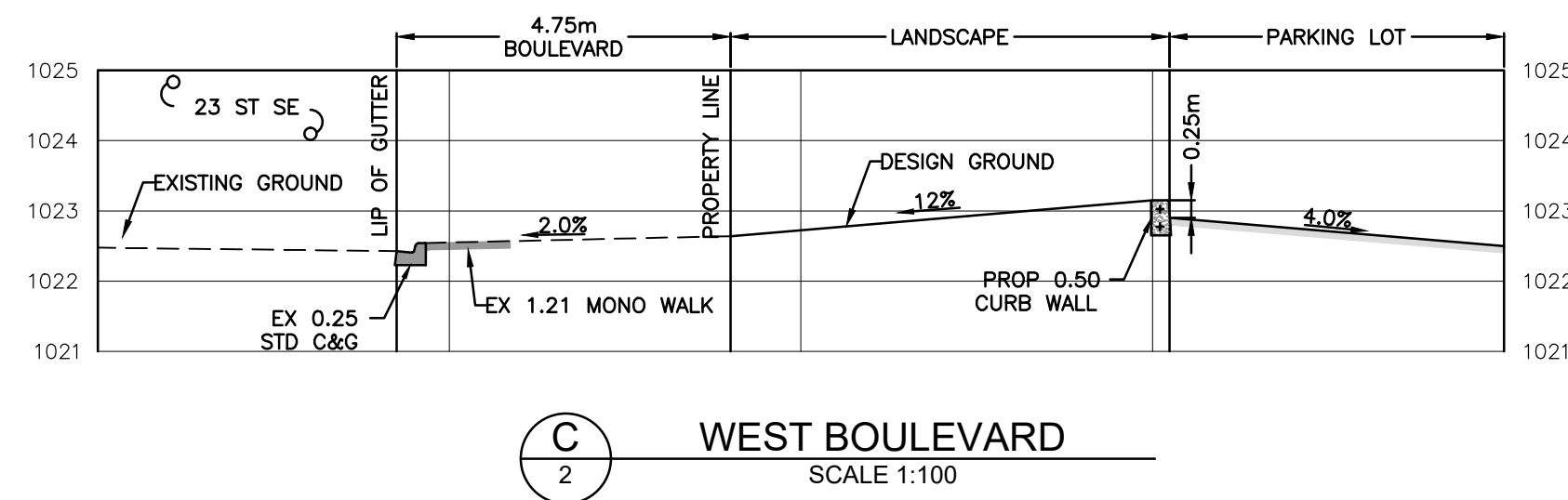
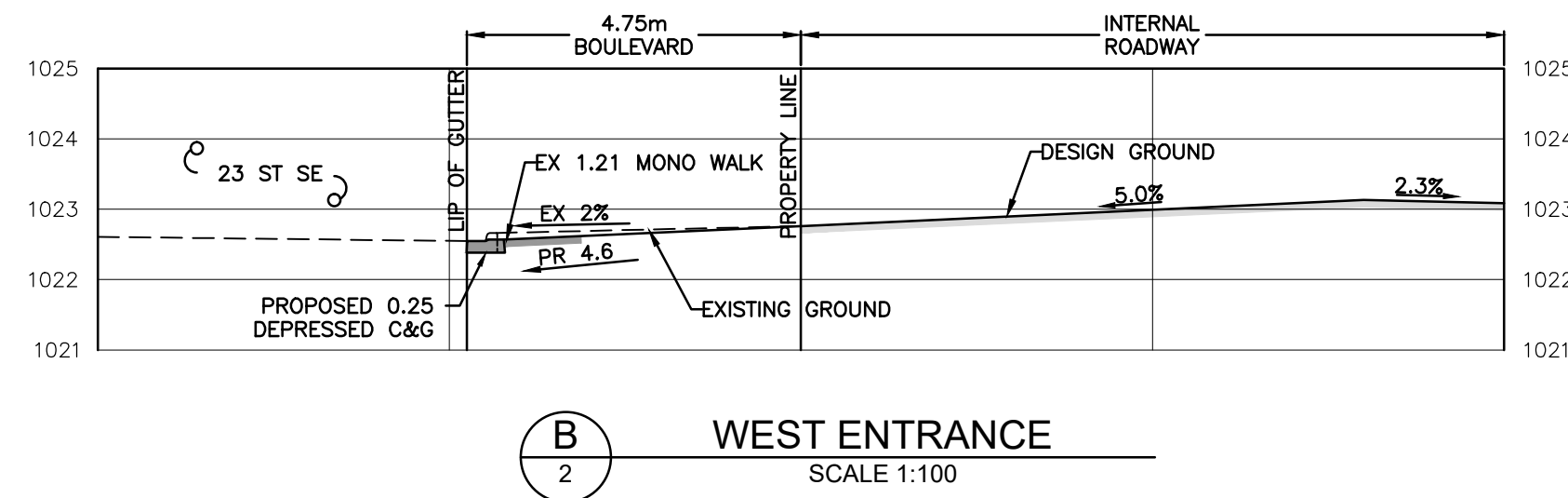
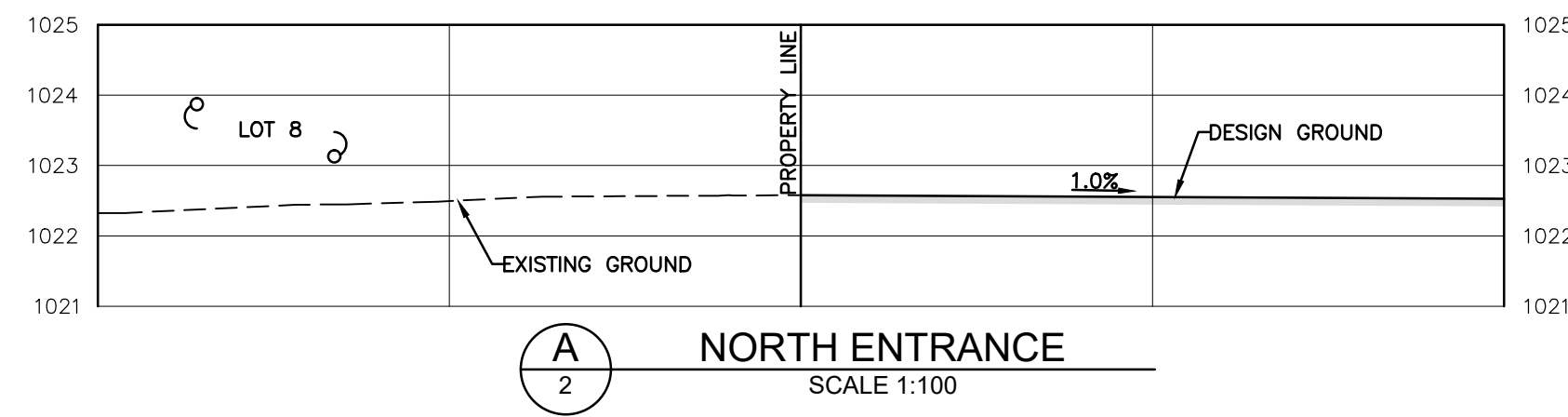
PERMIT:

|              |        |          |
|--------------|--------|----------|
| PROJECT NO.  | SHEET  | OF       |
| 119-36       | 2      | 3        |
| DRAWING NAME | DESIGN | PRIOR TO |
| 119-36 GRAD  | R      | 2        |

GENERAL NOTES:  
- EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY TRONNES RECEIVED ON JUNE 9, 2025  
- ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION  
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED  
- ALL COORDINATES AND DISTANCES ARE BASED ON 3TM COORDINATE SYSTEM (NAD 83)  
- NO CONSTRUCTION SHALL PROCEED UNTIL ALL APPROPRIATE REGULATORY APPROVALS ARE OBTAINED  
- NO BACK SLOPING PERMITTED ON ANY ADJACENT PARCEL WITHOUT WRITTEN CONSENT FROM THE ASSOCIATED OWNER  
- FOR BUILDING LOCATIONS AND DIMENSIONS REFER TO LATEST ARCHITECTURAL DRAWINGS  
- ANY ERRORS OR DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION



AMENDED DRAWINGS  
DP NO. 2025-05901  
UP 2025-05901  
PERMIT  
THESE DRAWINGS REFER TO THE  
ABOVE PERMIT NO.  
RENDERED  
ON THIS PLAN



LEGEND

REVISIONS

| NO. | yy/mm/dd | DESCRIPTION                 | BY | APPD |
|-----|----------|-----------------------------|----|------|
| 1   | 26/01/14 | REVISED AS PER DPC COMMENTS | TC | EY   |
| 2   | 26/02/05 | ISSUED FOR DRI RESPONSE     | TC | EY   |
| 3   | 26/03/17 | ISSUED FOR DRI RESPONSE     | -  | -    |
| 4   | -        | -                           | -  | -    |
| 5   | -        | -                           | -  | -    |

SUBMISSIONS

| NO. | DESCRIPTION  | DATE (yy/mm/dd) |
|-----|--------------|-----------------|
| 1   | FOR DP       | -               |
| 2   | FOR APPROVAL | -               |
| 3   | FOR ARCHIVE  | -               |

CLIENT



PROJECT

|                                             |         |                      |          |
|---------------------------------------------|---------|----------------------|----------|
| JOB DESCRIPTION                             |         |                      |          |
| QUARRY PARK HEALTH<br>CAMPUS PH2            |         |                      |          |
| PARCEL SIZE: 2.20                           |         | NUM. OF UNITS: UNITS |          |
| LOT: 3-5                                    | BLK: 40 | PLAN:                | 061 2718 |
| DP#: 2025-05901                             | DSSP: - |                      |          |
| ADDRESS: 9358/9372/9468 23 ST SE CALGARY AB |         |                      |          |
| LEGAL DESCRIPTION:                          |         | SE 1/4-24-23-1-W5M   |          |
| TITLE                                       |         |                      |          |

SECTIONS

|                 |        |
|-----------------|--------|
| SCALE: AS SHOWN | STAMP: |
| DWN: TC         |        |
| DES: RB         |        |
| DATE: FEB 4-26  |        |
| CHK: EY         |        |
| P. ENG: EY      |        |
| PERMIT:         |        |

|              |                             |     |
|--------------|-----------------------------|-----|
| PROJECT No.  | SHEET                       | OF  |
| 119-36       | 3                           | 3   |
| DRAWING NAME | DESTROY ALL PRINTS PRIOR TO | R 2 |
| 119-36 SEC   |                             |     |



|                                                                                     |                                                    |
|-------------------------------------------------------------------------------------|----------------------------------------------------|
|  | property line                                      |
|  | proposed fence / guardrail - refer to architecture |
|  | storm line - refer to civil                        |
|  | sanitary line - refer to civil                     |
|  | water line - refer to civil                        |
|  | urw - refer to civil                               |
|  | urw - refer to civil                               |
|  | setback area - used for plant counts               |

| regulation                                     | standard                                                                                                                                                                                                                                                                                                                                                                                                                                                    | required                                                                                                                                         | provided                                                                                                                                                                                               |
|------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| specific rules for landscaped areas - setbacks | <p>961<br/>(1) the front setback area must have a minimum depth of 6.0 metres.</p> <p>962<br/>(2) where the parcel shares a rear property line with:</p> <p>(c) an LRT corridor or street, the rear setback area must have a minimum depth of 6.0 metres.</p> <p>963<br/>(1) where the parcel shares a side property line with a parcel designated as:</p> <p>(a) a commercial district, the side setback area must have a minimum depth of 1.2 metres;</p> | ---                                                                                                                                              | 630m <sup>2</sup>                                                                                                                                                                                      |
|                                                | <p>964<br/>(4) where a setback area shares a property line with an LRT corridor or parcel designated as a commercial, industrial or special purpose district, the setback area:</p> <p>(a) be a soft surfaced landscaped area; and</p> <p>(c) must provide a minimum of 1.0 trees and 2.0 shrubs;</p> <p>(ii) for every 50.0 square metres, where irrigation is provided by a low water irrigation system.</p>                                              | ---                                                                                                                                              | <p>525.7m<sup>2</sup></p> <p><i>**note the west setback is entirely within URW - no planting can be provided - area has been used to determine counts for planting provided elsewhere on site*</i></p> |
| planting requirements                          | a minimum of 1.0 trees and 2.0 shrubs must be planted for every 50.0 square metres of landscaped area provided.                                                                                                                                                                                                                                                                                                                                             | <p>minimum shrubs<br/><math>(1,156\text{m}^2 / 50\text{m}^2) \times 2 = 48</math></p>                                                            | 269                                                                                                                                                                                                    |
|                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                             | <p>minimum trees<br/><math>(1,156\text{m}^2 / 50\text{m}^2) = 24</math></p>                                                                      | 60                                                                                                                                                                                                     |
|                                                | 899<br>(2) a minimum of 25.0 percent of all trees provided must be coniferous.                                                                                                                                                                                                                                                                                                                                                                              | coniferous trees $(60 \times 0.25) = 15$                                                                                                         | 22                                                                                                                                                                                                     |
|                                                | 899<br>(3) deciduous trees must have a minimum caliper of 50 millimetres and at least 50.0 per cent of the provided deciduous trees must have a minimum caliper of 75 millimetres at the time of planting.                                                                                                                                                                                                                                                  | 50mm caliper deciduous trees $(36 \times 0.50) = 18$                                                                                             | 8                                                                                                                                                                                                      |
|                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                             | 75mm caliper deciduous trees $(36 \times 0.50) = 18$                                                                                             | 30                                                                                                                                                                                                     |
|                                                | 899<br>(4) coniferous trees must have a minimum height of 2.0 metres and at least 50.0 per cent of the provided coniferous trees must have a minimum height of 3.0 metres at the time of planting.                                                                                                                                                                                                                                                          | <p>2m height coniferous trees required <math>(14 \times 0.50) = 7</math></p> <p>3m height coniferous trees <math>(14 \times 0.50) = 7</math></p> | <p>0</p> <p>22</p>                                                                                                                                                                                     |

1. contractor is responsible for locating utilities and protecting same from damage during construction, contact Alberta One call at 1-800-242-3447. commencement of work indicates completion of utility locates.
2. all drawings are property of landscape architect. site clean-up is incidental to the work, the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
3. if discrepancies exist between drawings, the largest scale shall be taken as correct. final interpretation belongs to the landscape architect.
4. contractor to coordinate and attend all inspections and approvals required by the owner.
5. all drawings are metric unless otherwise noted.
6. all layouts shall be approved on site by landscape architect prior to construction, contractor to notify owner's representative minimum 72 hours prior.
7. contractor shall refer to related disciplines as indicated on plan/s where applicable.
8. all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.n.o.
9. disturbance outside limit of construction line to be repaid to the satisfaction of the owner's representative.
10. refer to civil engineering drawings for grading information.

1. All soft surfaced landscaped areas must be irrigated by a low water irrigation system. Extent of low water irrigation system confined to the tree and shrub planting areas.



| issue / revision              | date     | no. |
|-------------------------------|----------|-----|
| issued for development permit | 25/10/10 | A   |
| issued for DR1                | 26/02/05 | B   |
| issued for DR2                | 26/03/06 | C   |
| issued for DR2 revision       | 26/03/17 | C   |
|                               |          |     |
|                               |          |     |
|                               |          |     |
|                               |          |     |
|                               |          |     |

project

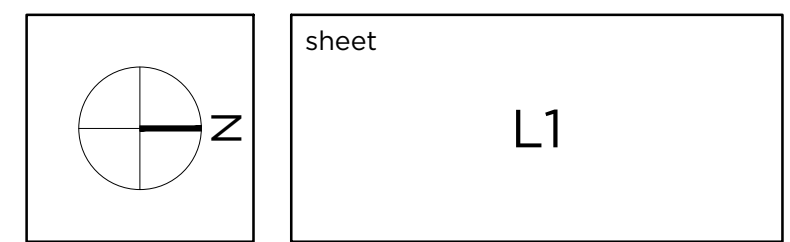
Quarry Park  
Health Campus

drawn EB      checked EB      approved JS

project # 25.0307      date 2026/03/05

drawing

Bylaw Plan  
Phase 2





|                                                                                       |       |    |
|---------------------------------------------------------------------------------------|-------|----|
|  | sheet | L2 |
|---------------------------------------------------------------------------------------|-------|----|