

QUARRY PARK HEALTH CAMPUS - PHASE 2

AMENDED DRAWINGS
DP No: DP2025-03911 Date Received: 02.05.2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



ISSUED FOR: DR1 REPONSE

CLIENT



CIVIL



STRUCTURAL



MECH./ELEC.



LANDSCAPE

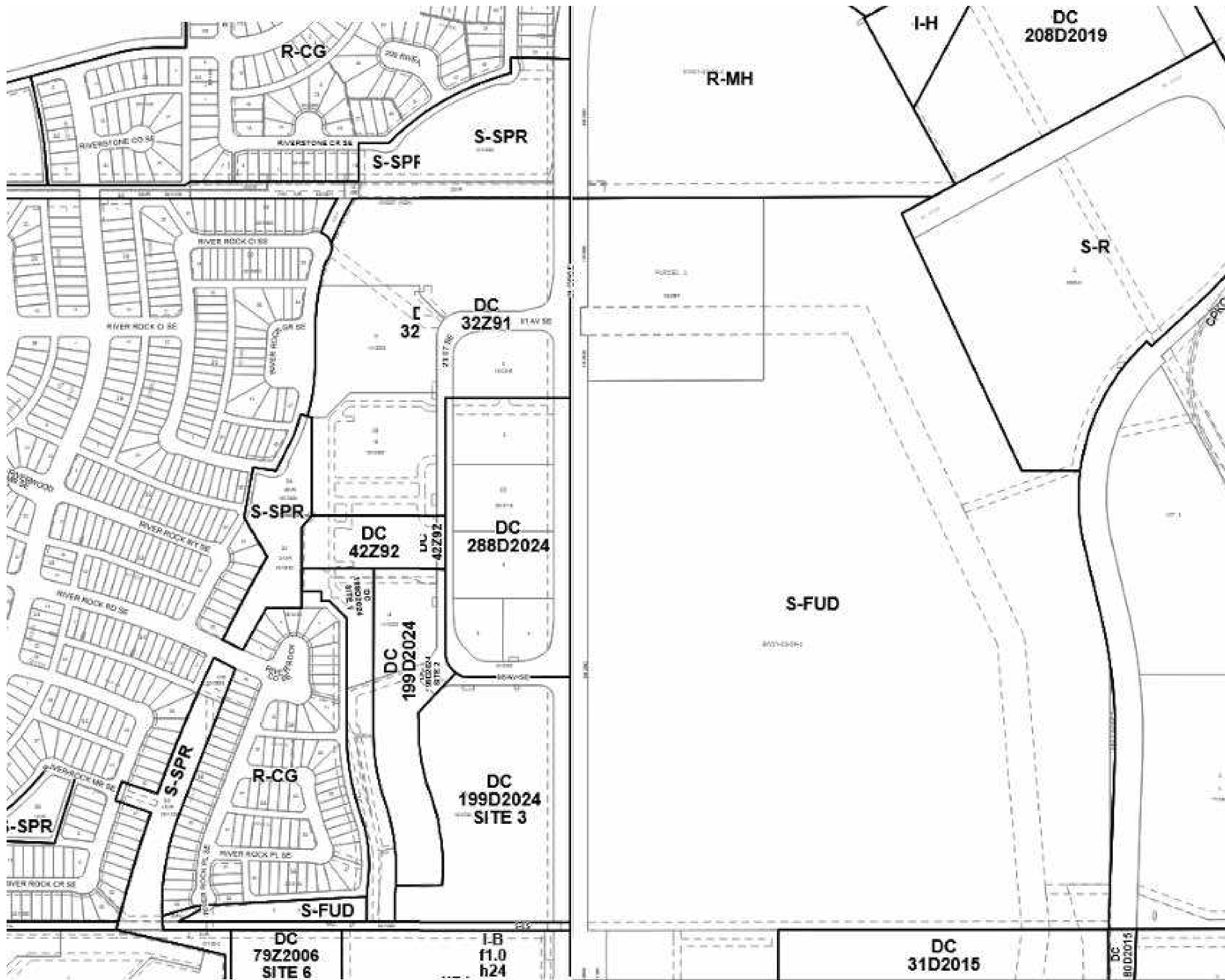


ARCHITECTURAL



GGA-ARCHITECTURE
350 140 10 Avenue SE Calgary, AB. T2G 0R1
Phone: 403.233.2000 Fax: 403.264.2077

PROJECT NAME: QUARRY PARK HEALTH CAMPUS - PHASE 2
DEVELOPMENT PERMIT: DP2025-03911
PROJECT NUMBER: 25027
GGA-ARCHITECTURE
350 140 10 Avenue SE Calgary, AB. T2G 0R1
Phone: 403.233.2000 Fax: 403.264.2077



1 LAND USE MAP
DP-10.01 1:1
NORTH



2 CONTEXT PLAN
DP-10.01 1:1
NORTH



3 SITE IMAGES
DP-10.01 1:1

PROPERTY DESCRIPTION & ZONING

LEGAL DESCRIPTION	LOT 9, BLOCK 40, PLAN 251 1644
MUNICIPAL ADDRESS	9365 24TH STREET S.E. CALGARY, ALBERTA
EXISTING LAND USE	DC 288D2024 (DIRECT CONTROL)
PROPOSED LAND USE	DISCRETIONARY USE WILL BE HEALTH SERVICES - MEDICAL CARE AND RECOVERY - UNLESS OTHERWISE SPECIFIED, THE RULES OF THE INDUSTRIAL - COMMERCIAL (I-C) DISTRICT OF BYLAW IP2007 APPLY TO THIS DIRECT CONTROL DISTRICT

AREA SUMMARY - PHASE 2

SITE AREA	9865 m ²
PROPOSED GFA	1853 m ²
MAIN FLOOR	2112 m ²
SECOND FLOOR	2112 m ²
TOTAL	3965 m ²
PROPOSED FAR	0.42 (MAX ALLOWED = 2.0)
PROPOSED SITE COVERAGE	19.0 %
BUILDING HEIGHT	13.1m (MAX ALLOWED 16.0 m)

VEHICLE PARKING - PHASE 2

PARKING REQUIRED	NO MINIMUM, DEFINED BY BYLAW.
PROPOSED	152 STALLS
BARRIER FREE PARKING REQUIRED	4 STALLS
PROPOSED	4 STALLS (INCLUDED IN TOTAL)
LOADING REQUIRED	(1) 3100mm X 9100mm
PROPOSED	(1) 3100mm X 9100mm

BICYCLE PARKING - PHASE 2

CLASS 1 BICYCLE STALLS REQUIRED	NONE REQUIRED - NONE PROVIDED
CLASS 2 BICYCLE STALLS REQUIRED	1 CLASS 2 BICYCLE STALL PER 250m ² OF GROSS USABLE FLOOR AREA 3965m ² / 250m ² = 16 STALLS REQUIRED
CLASS 2 BICYCLE STALLS PROVIDED	16 CLASS 2 BICYCLE STALLS PROVIDED

NOTES:
• DIMENSION TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
• NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
• VERIFY ALL DIMENSIONS, ELEVATIONS AND DATUM: REPORT ANY ERRORS AND/ OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
• DO NOT SCALE DRAWINGS.
• THIS DRAWING SUPERCEDES PREVIOUS ISSUES.



DR1 RESPONSE (PHASE 2)	25-02-05
DEVELOPMENT PERMIT (PHASE 2)	25-10-10

No.	Description	Date (YYYY-MM-DD)
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Issued For / Revisions

Project	Project Number: 25027
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QUARRY PARK HEALTH CAMPUS - PHASE 2

9365 24 Street SE
Calgary, Alberta

Legal Description	Building Permit No.
PLAN 251 1644; BLOCK 40;	BP2025-22468
26th Ave S.E. 2718	
Development Permit No.	DSSP No.
DP2025 - 05901	DSSP2025-0558



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Drawing Title CONTEXT PLAN & PROJECT STATISTICS

Drawn by:	Scale
Reviewed by: KB	1:1
Manager: EJ	Date (YYYY-MM-DD)
Peer Review:	

Drawing Number	Drawing Package
DP-10.01	Revision Number

- NOTES:**
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GENERAL SITE NOTES

1. REFER TO THE GEOTECHNICAL REPORT FOR ASPHALT REQUIREMENTS
2. REFER TO CIVIL FOR MAIN FLOOR GEODETICS
3. FOR SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, GRADES, RELOCATION OF FIRE HYDRANTS & NEW HYDRANTS, LOCATION OF CURBS & CURB TYPES, EXTENT OF HEAVY-DUTY ASPHALT, CONCRETE, REINFORCED CONCRETE, RAISED CROSSWALKS, AND CONCRETE JOINTING REFER TO CIVIL DRAWINGS
4. REFER TO SCALE SITE PLANS FOR DIMENSIONS AND NOTES
5. FOR ELECTRICAL SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO, LIGHTING LAYOUT, FIXTURE TYPES, SAFETY CALL STATIONS AND SECURITY CAMERAS REFER TO ELECTRICAL DRAWINGS
6. FOR LANDSCAPE SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO, EXTENT OF DECORATIVE CONCRETE, DECORATIVE BOLLARDS, EMBEDDED BENCHES, EMBEDDED BIKE RACKS, PLANT LIST AND PLANTING DETAILS REFER TO LANDSCAPE DRAWINGS
7. REFER TO STRUCTURAL DRAWINGS FOR WALL AND FOUNDATION DETAILS
8. 150mm CONCRETE CURBS THROUGHOUT SITE, TYPICAL
9. FOR WASTE & RECYCLING DETAILS SEE DETAILS
10. CURB RADIUS WILL BE 600mm U.N.O.

GAS LINES

OVERHEAD ELECTRICAL

UNDERGROUND ELECTRICAL

STORM LINES

SANITARY LINES

WATER LINES

EXTENTS OF DEVELOPMENT

PHASING LINE (APPLICATION BOUNDARY)

PROPERTY LINE

CONCRETE SITE SLAB, WALKWAYS, CURBS AND SIDEWALKS

LANDSCAPE SURFACES

ASPHALT

HEAVY DUTY SURFACE

UTILITY RIGHT OF WAY

TREES / SHRUBS - REFER TO LANDSCAPE

SITE SEATING & BIKE PARKING

PEDESTRIAN CROSSING AND BARRIER FREE LOADING

LANDSCAPE WALL

DR1 RESPONSE (PHASE 2)	25-02-05
DEVELOPMENT PERMIT (PHASE 2)	25-10-10
No. Description	Date (YYYY-MM-DD)

Issued For / Revisions

Project	Project Number: 25027
QUARRY PARK HEALTH CAMPUS - PHASE 2	
9365 24 Street SE Calgary, Alberta	
Legal Description	Building Permit No.
PLAN 2511644; BLOCK 40;	BP2025-22468
LOT 9	
Development Permit No.	DSSP No.
DP2025-05901	DSSP2025-0558



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Drawing Title
EXISTING SITE PLAN

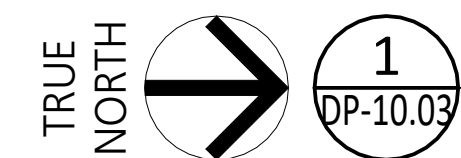
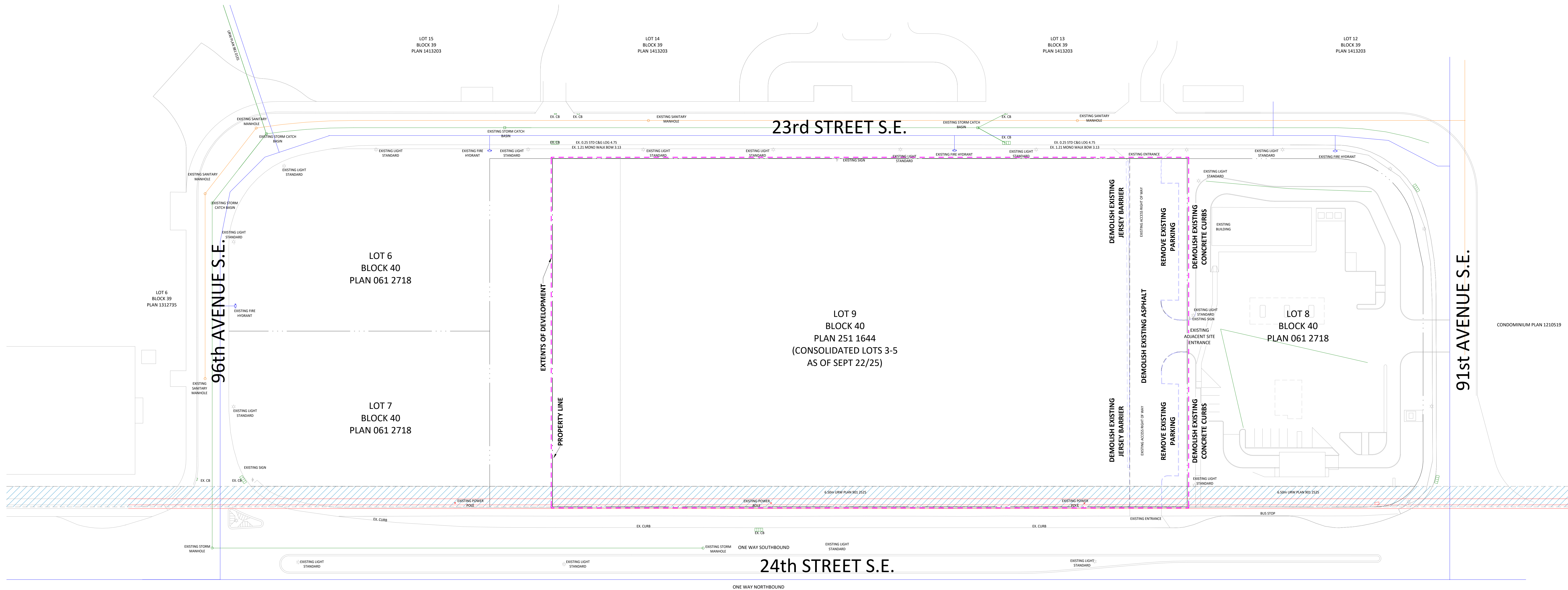
Drawn by: Author	Scale
Reviewed by: KB	As indicated
Manager: EJ	Date (YYYY-MM-DD)
Peer Review:	

Drawing Number

Drawing Package

Revision Number

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AD Title Block - R24 Rev 0 (2024-01-03)



1
DP-10.03

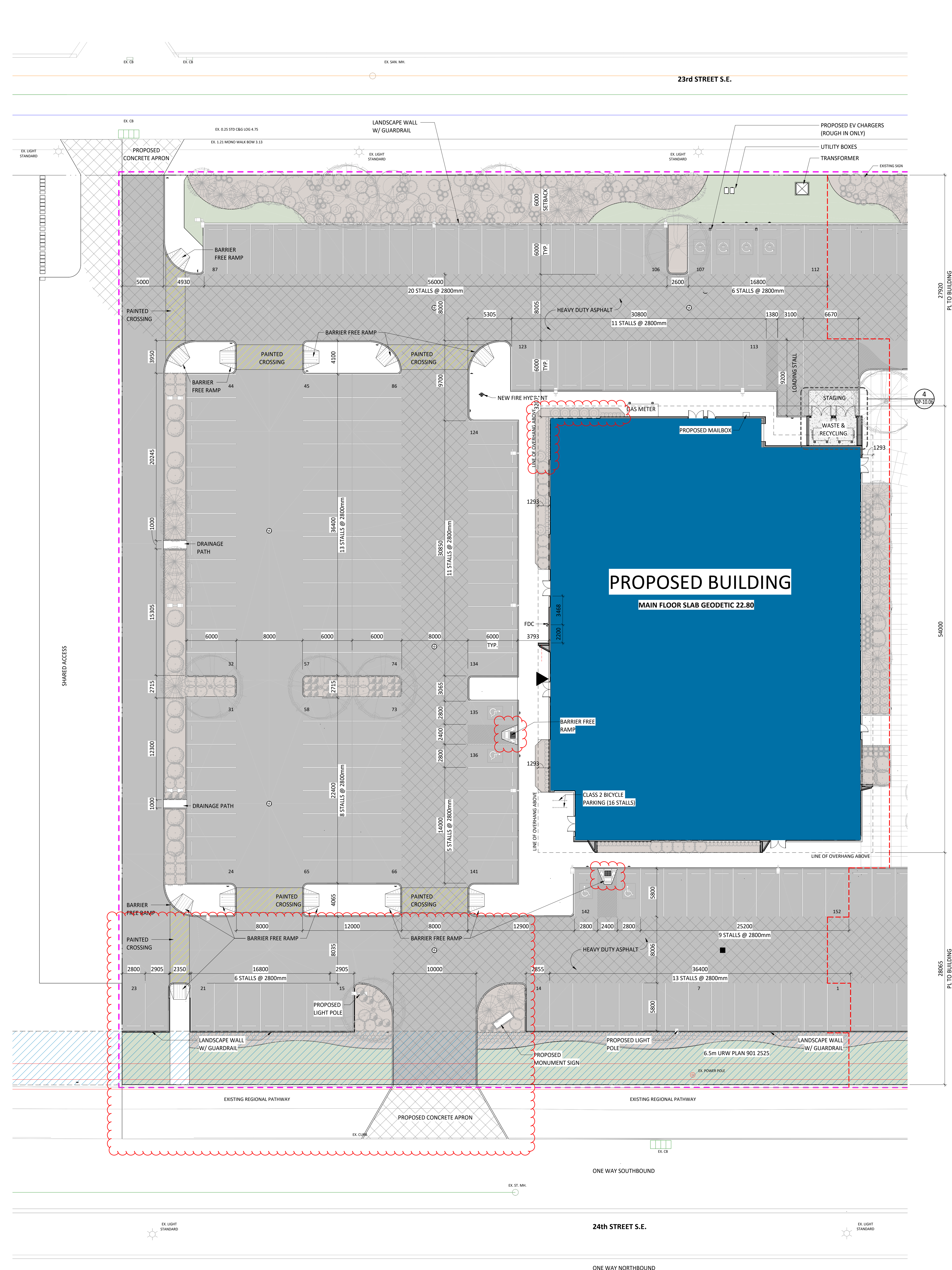
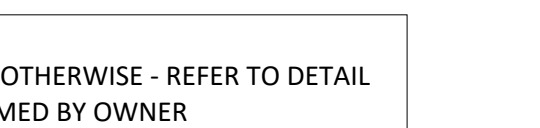
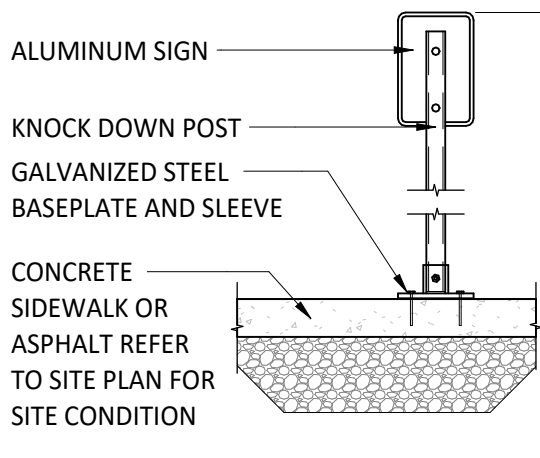
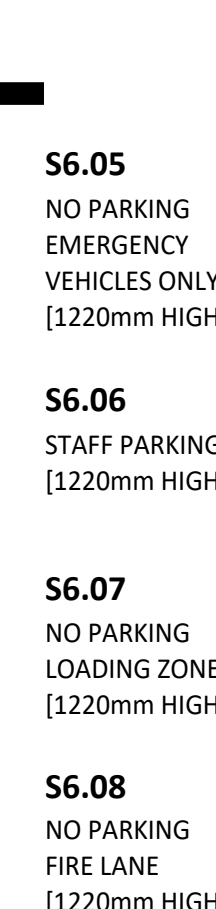
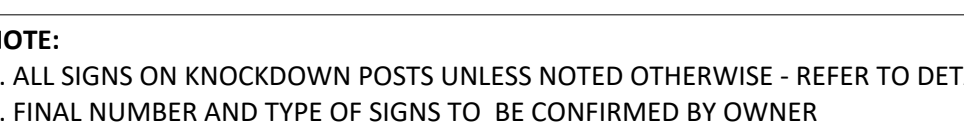
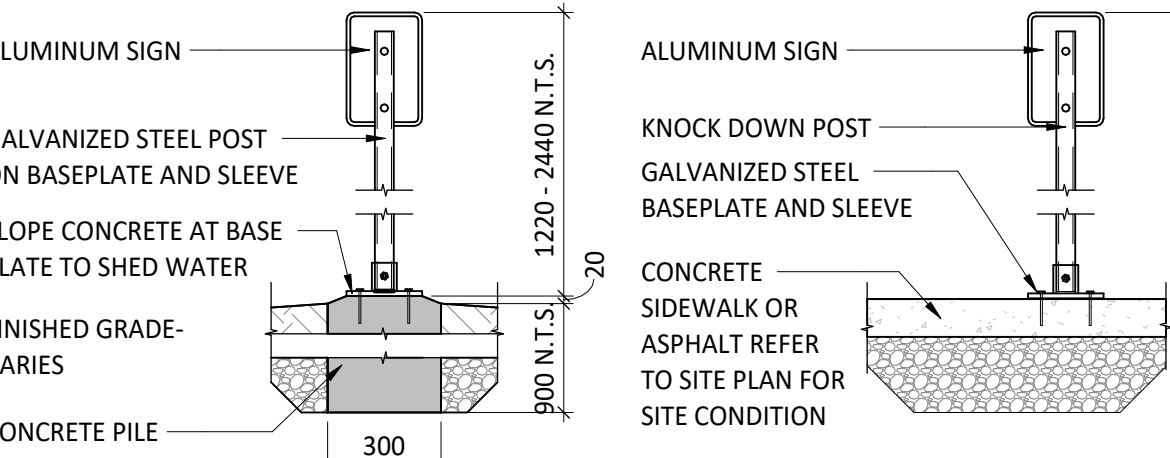
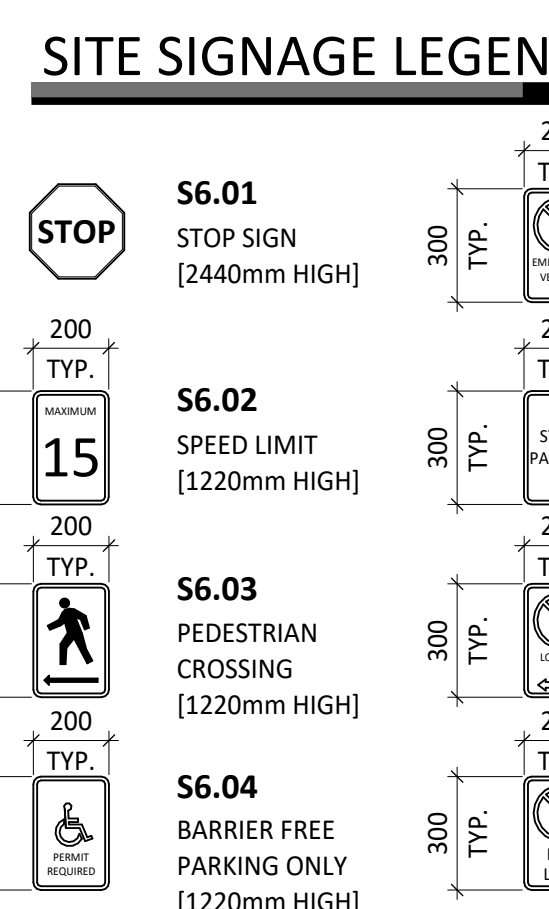
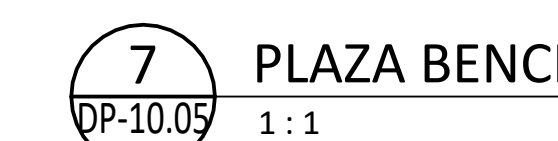
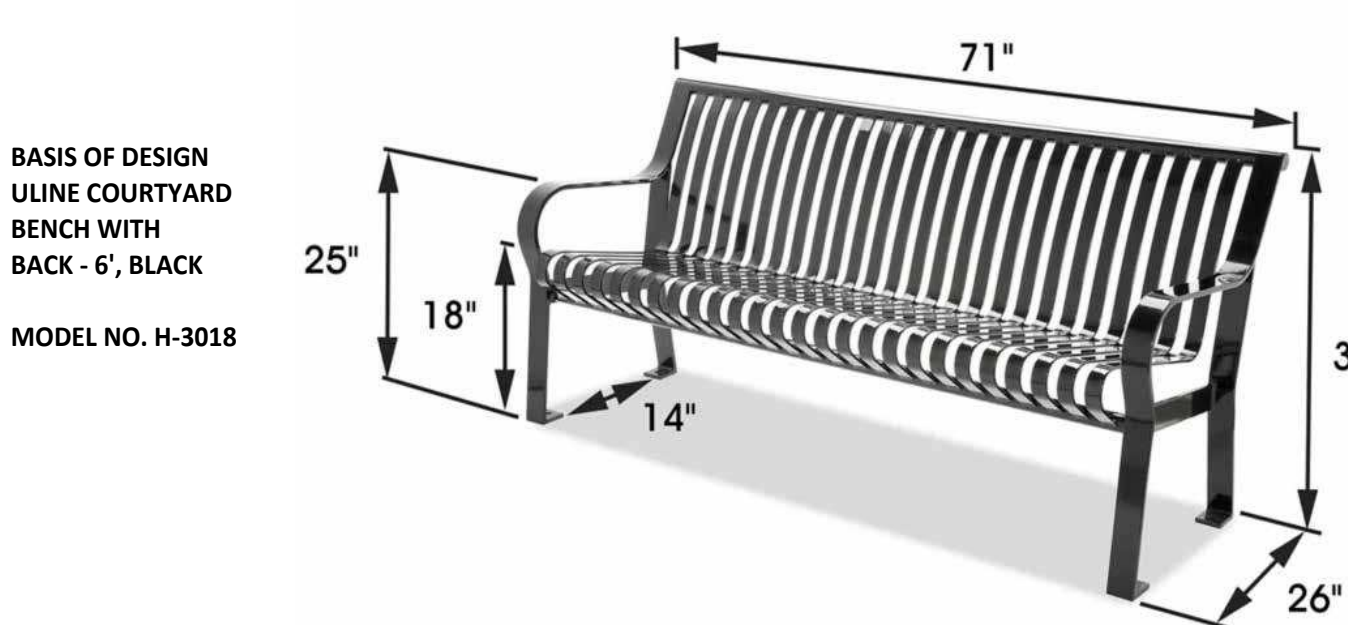
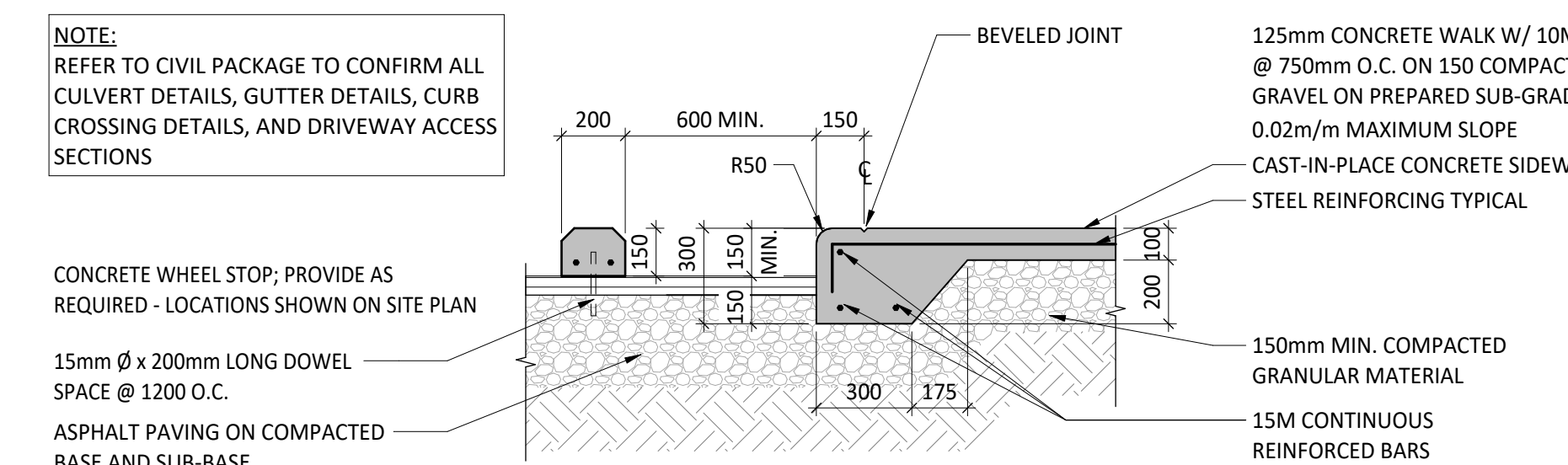
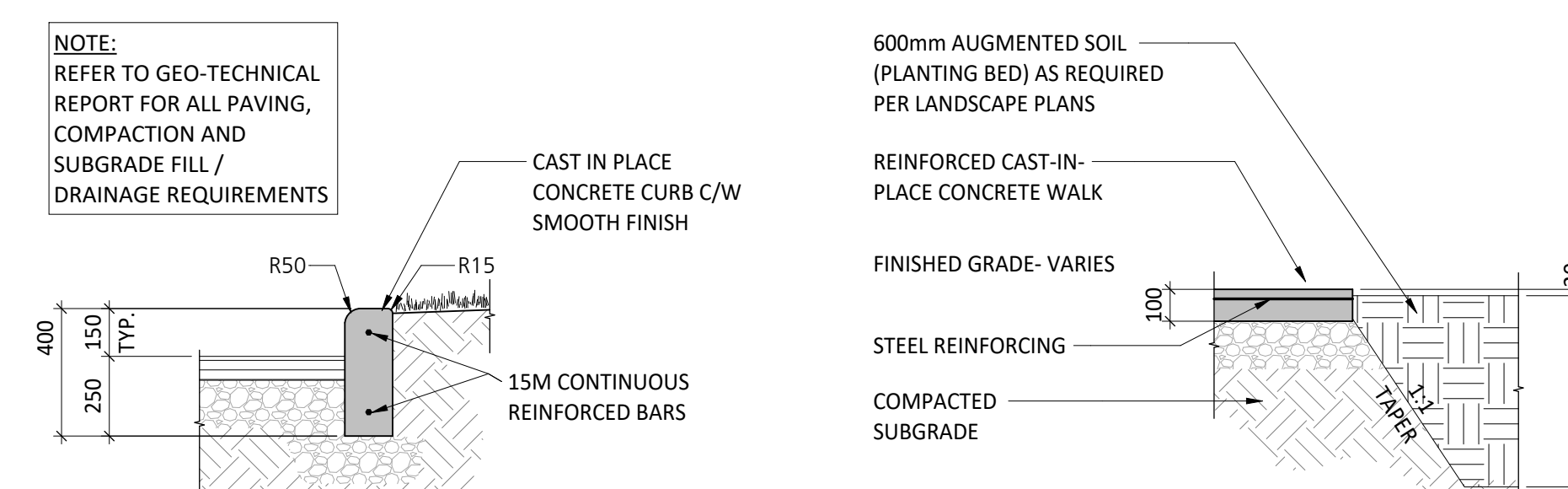
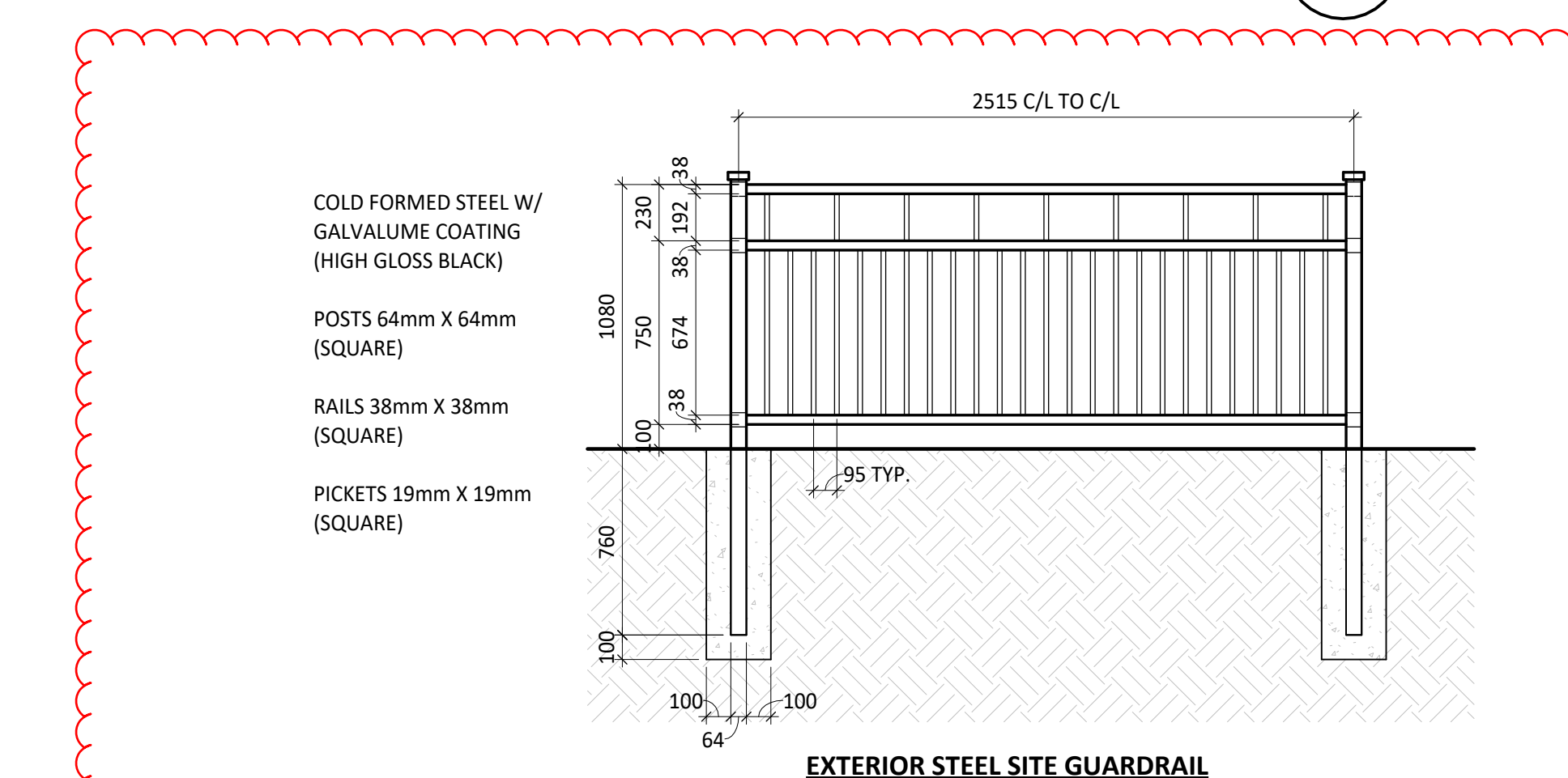
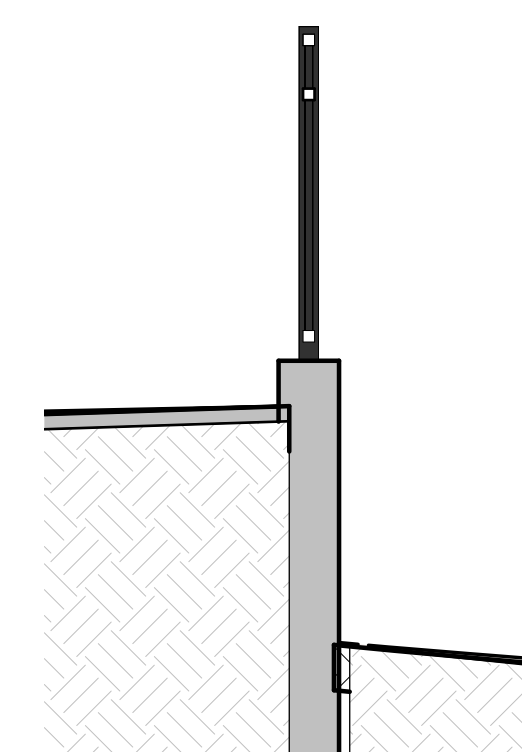
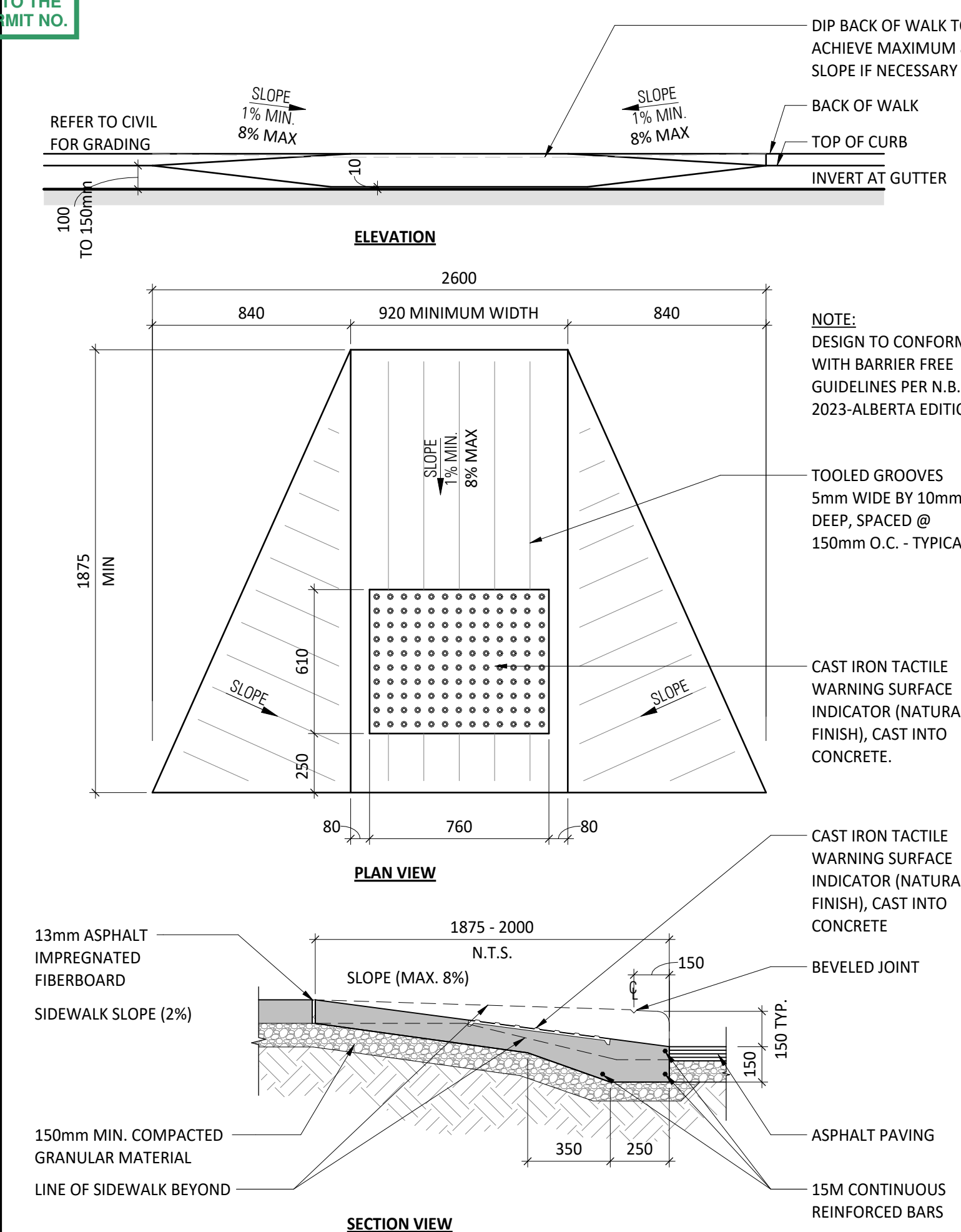
EXISTING SITE PLAN
1 : 500

URW

CONDOMINIUM PLAN 1210519

ROAD PLAN 041 3483

FRACTIONAL S.W.1/4 Sec. 21-23-29-4



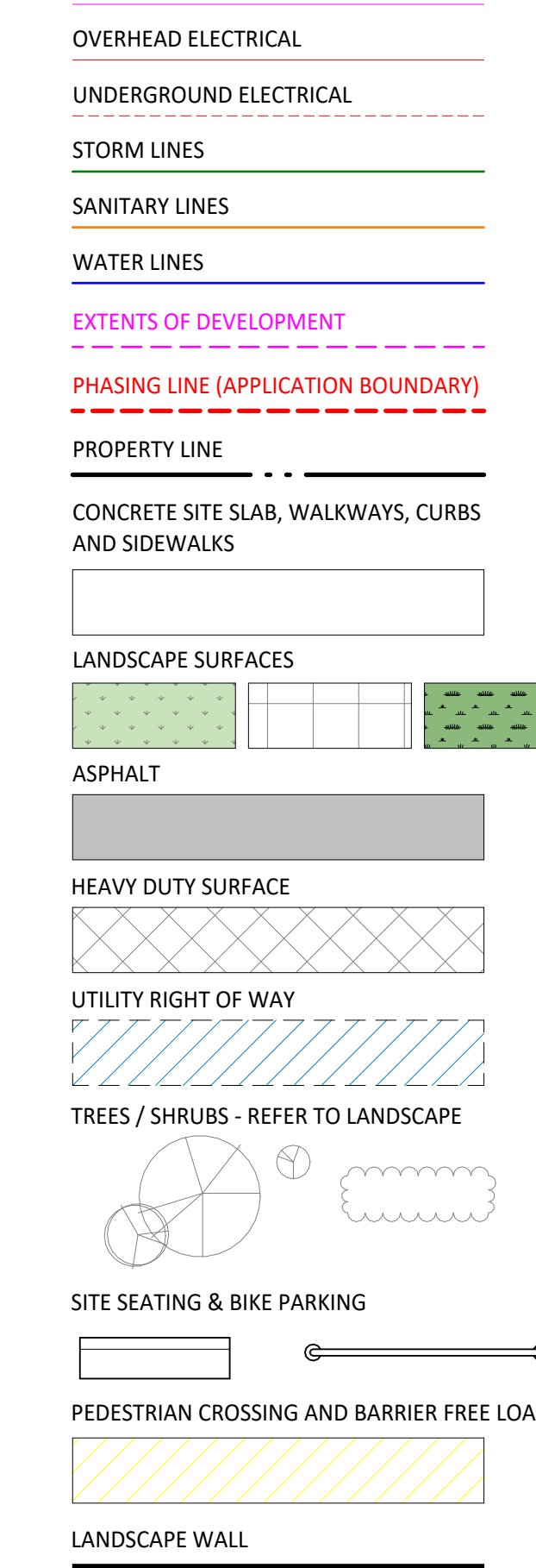
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7. REFER TO STRUCTURAL DRAWINGS FOR WALL AND COLUMN DETAIL
8. 15mm concrete curbs THROUGHOUT SITE, TYPICAL
9. FOR WASTE & RECYCLING DETAILS SEE DETAILS U. CURB RADIUS WILL BE 600mm U.N.D. G&S LINE



	DR1 RESPONSE (PHASE 2)	25-02-01
	DEVELOPMENT PERMIT (PHASE 2)	25-10-11
No.	Description	Date (YYYY-MM-YY)

Issued For / Revisions

Project: QUARRY PARK HEALTH CAMPUS - PHASE 2
Project Number: 2502
9365 24 Street SE
Calgary, Alberta

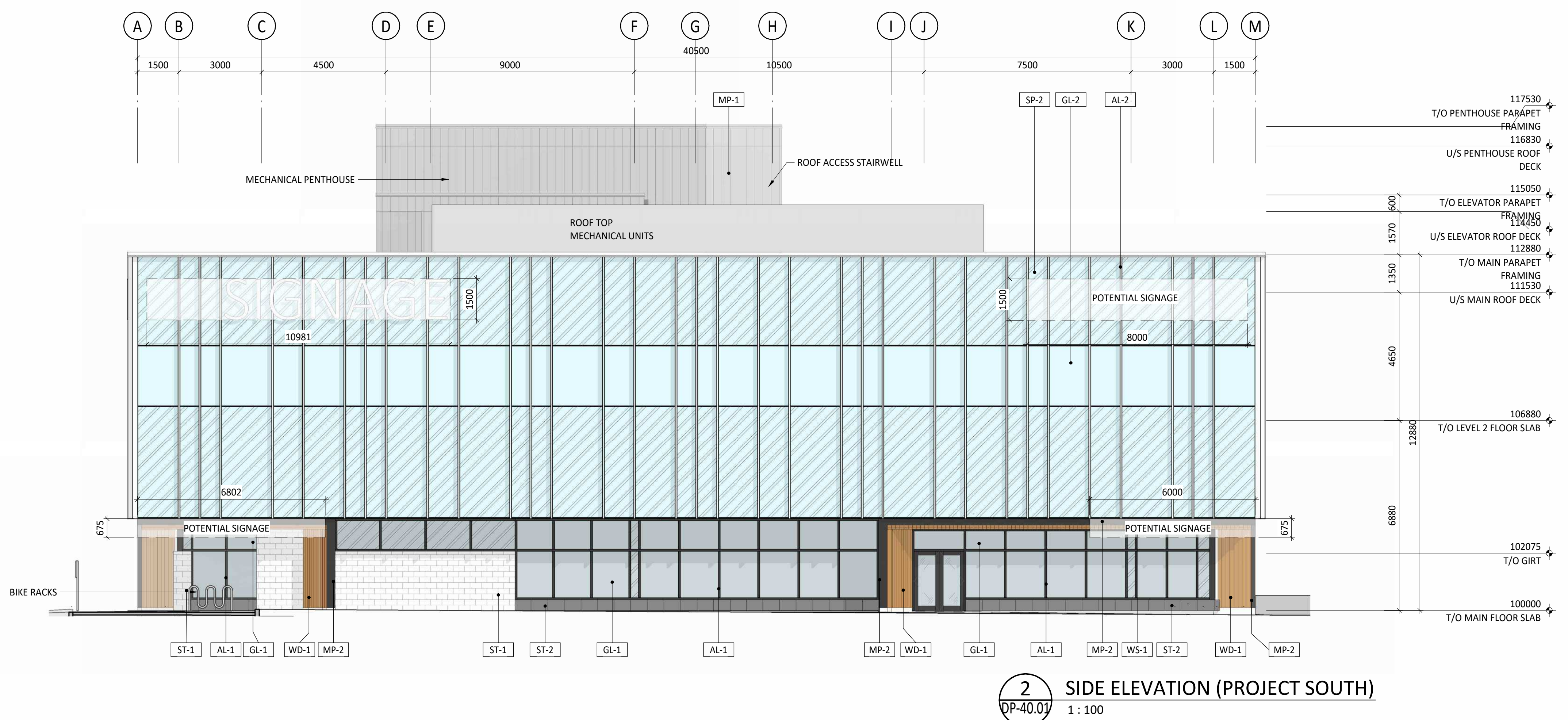
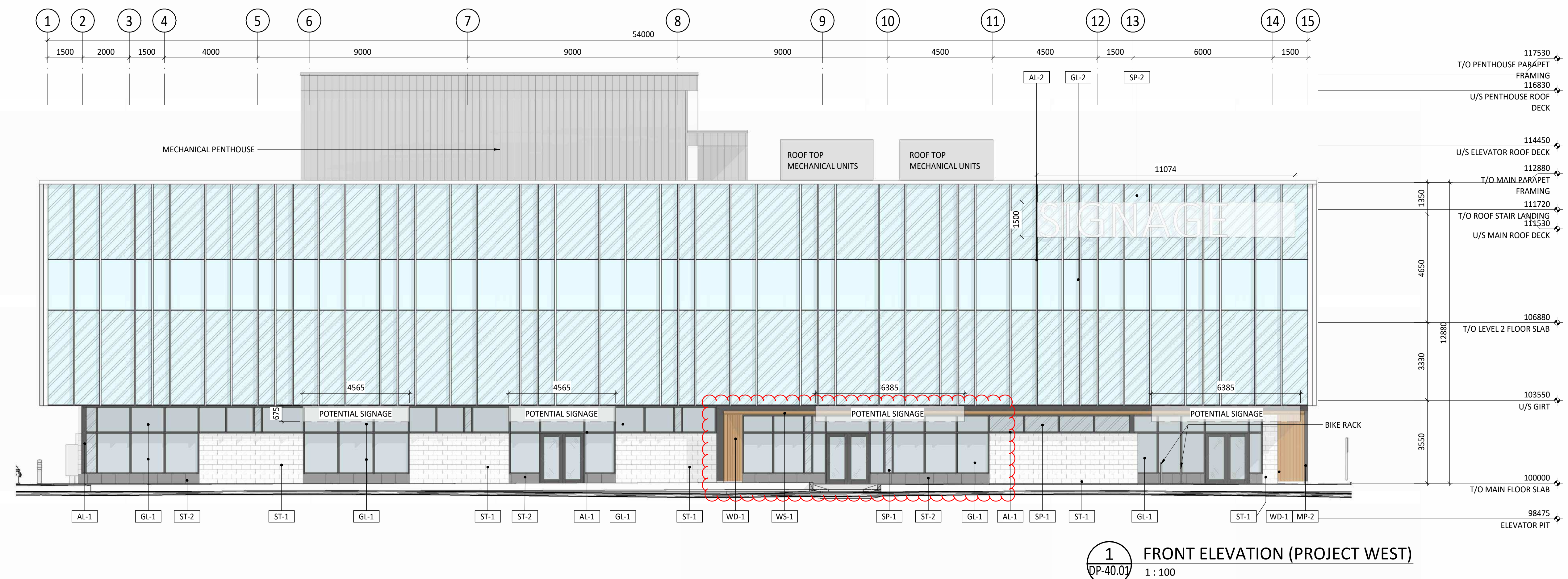
Legal Description PLAN 2511644; BLOCK 40; LOT 9	Building Permit No. BP2025-22468
Development Permit No. DP2025-03911	DSSP No. DSSP2025-0558



Drawing Title
PROPOSED SITE PLAN - PHASE 2

Drawn by: Author	Scale
Reviewed by: KB	As indicated
Manager: EJ	Date (YYYY-MM-DD)
Peer Review:	

Drawing Number	
DP-10.05	Revision Number



- NOTES:**
- PARTITIONS TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE.
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MATERIALS	
PT-1	EXTERIOR DOOR / FRAME PAINT
MP-1	EXTERIOR VERTICAL METAL CLADDING - LIGHT GREY
MP-2	METAL PANEL CLADDING - BLACK
WD-1	WOOD LOOK CLADDING
WD-1	WOOD LOOK SOFFIT
FL-1	PREFINISHED FLASHING - LIGHT GREY
GL-1	EXTERIOR GLAZING
GL-2	EXTERIOR GLAZING - GREY
AL-1	BLACK ANODIZED ALUMINUM (CW)
AL-2	WHITE ANODIZED ALUMINUM (CW)
SP-1	SPANDREL PANEL
ST-1	STONE FINISH - LIGHT GREY
ST-2	STONE FINISH - DARK GREY

DR1 RESPONSE (PHASE 2) 25-02-05
DEVELOPMENT PERMIT (PHASE 2) 25-10-10

No. Description Date (YYYY-MM-DD)

Issued For / Revisions

Project: Quarry Park Health Campus - Phase 2
Project Number: 25027

9365 24 Street SE
Calgary, Alberta

Legal Description: PLAN 2511644; BLOCK 40; LOT 9
Building Permit No. BP2025-22468
Development Permit No. DP2025-03911
DSSP No. DSSP2025-0558

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Drawing Title
EXTERIOR ELEVATIONS

Drawn by: Author
Reviewed by: KB
Manager: EJ
Peer Review:

Scale
1 : 100
Date (YYYY-MM-DD)

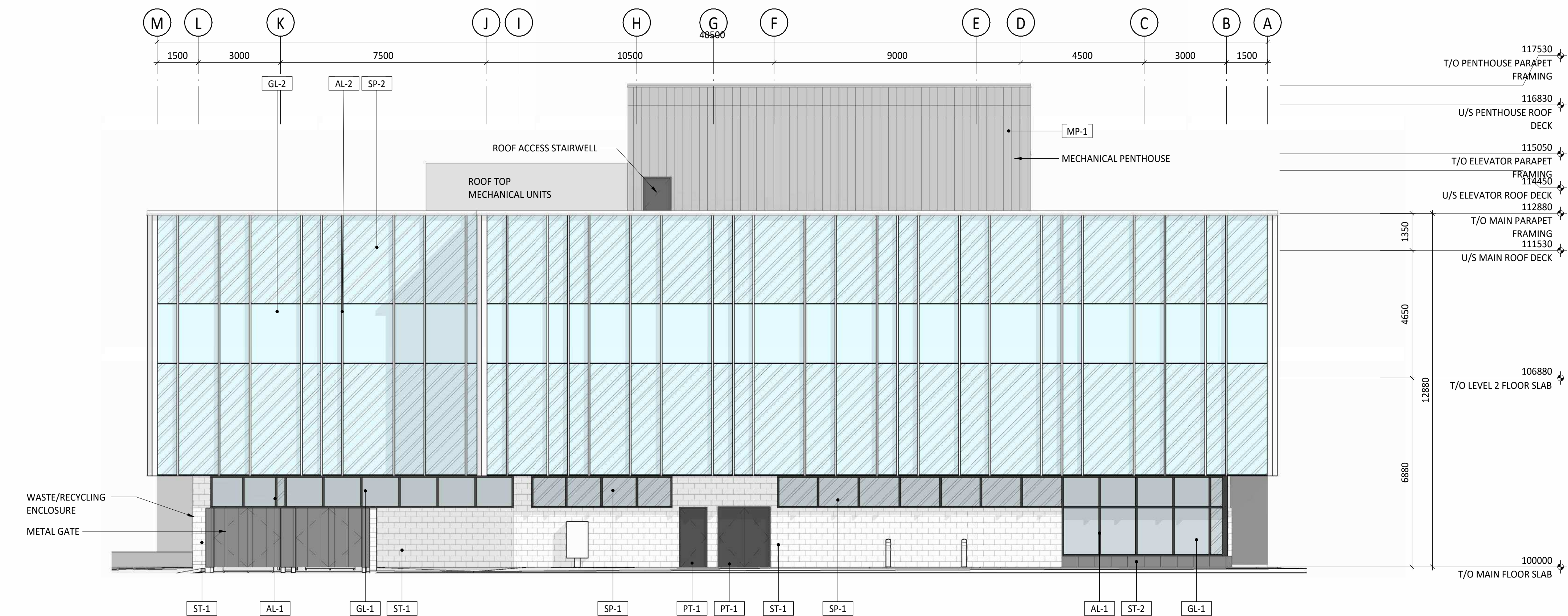
Drawing Number
DP-40.01
Drawing Package
Revision Number

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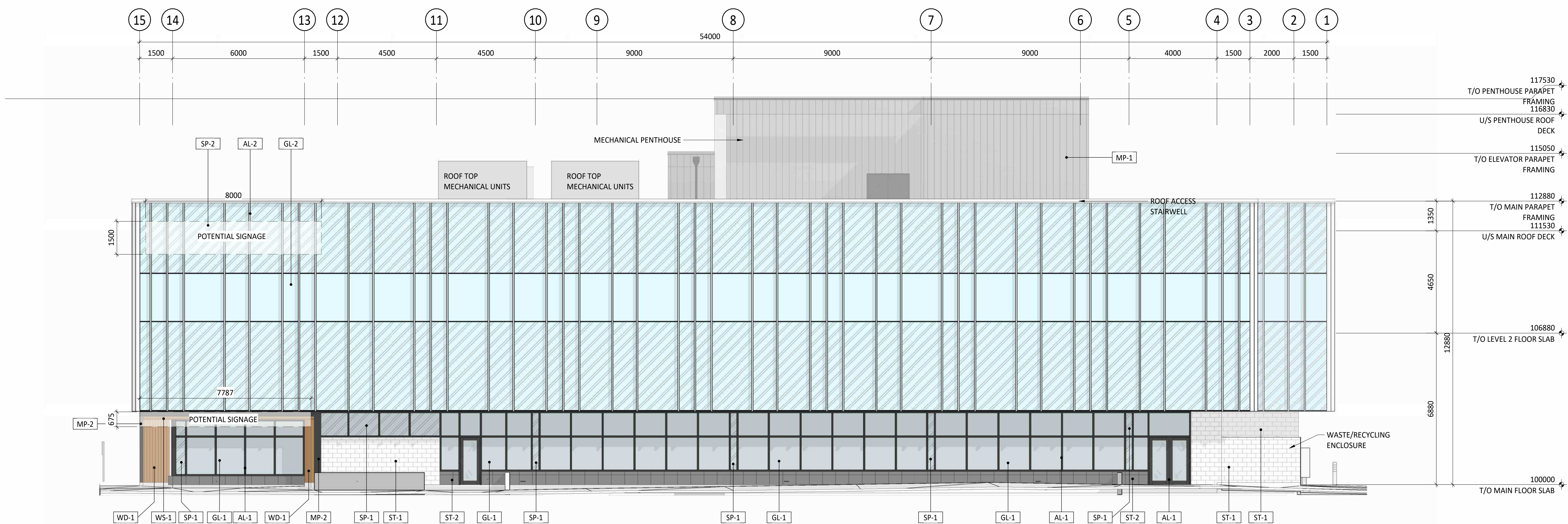


MATERIALS

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SP-1	SPANDREL PANEL
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ST-2	STONE FINISH - DARK GREY



1 SIDE ELEVATION (PROJECT NORTH)
1 : 100



2 REAR ELEVATION (PROJECT EAST)
1 : 100

DR1 RESPONSE (PHASE 2) 25-02-05
DEVELOPMENT PERMIT (PHASE 2) 25-10-10

No. Description Date (YYYY-MM-DD)

Issued For / Revisions

Project Number: 25027

QUARRY PARK HEALTH CAMPUS - PHASE 2

9365 24 Street SE
Calgary, Alberta

Legal Description
PLAN 2511644; BLOCK 40;
LOT 9
Development Permit No.
DP2025-03911

Building Permit No.
BP2025-22468
DSSP No.
DSSP2025-0558

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GGA-ARCHITECTURE

Drawing Title
EXTERIOR ELEVATIONS

Drawn by: Author
Reviewed by: KB
Manager: EJ
Scale
1 : 100
Date (YYYY-MM-DD)

Peer Review:

Drawing Number
DP-40.02

Drawing Package
Revision Number

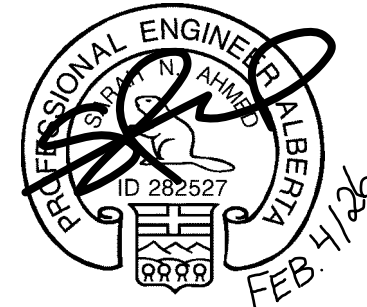
QUARRY PARK HEALTH CAMPUS - PHASE 2

9365 24TH STREET SE
CALGARY, ALBERTA

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Smith + Andersen
1205 - 330 5th Avenue SW, Calgary AB, T2P 0L4
1 403 261 8897 smithandersen.com



PERMIT TO PRACTICE
SMITH + ANDERSEN (ALBERTA) LTD
RM SIGNATURE: 
RM APEGA ID #: 25827
DATE: 2026-02-04
PERMIT NUMBER: P02037
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

ELECTRICAL DP DRAWING LIST	
SHEET NO.	SHEET NAME
DPE0.0	COVER & DRAWING LIST - ELECTRICAL
DPE0.1	ELECTRICAL LEGENDS
DPE1.0	ELECTRICAL SITE PLAN
DPE1.1	LIGHTING POINT-BY-POINT
DPE2.0	ELECTRICAL SCHEDULE



B	DR1 RESPONSE	2026-02-05
A	DEVELOPMENT PERMIT	2025-10-10

No. Description Date (YYYY-MM-DD)

Issued For / Revisions 

Project Project Number: 25423

QUARRY PARK HEALTH CAMPUS - PHASE 2

9365 24TH STREET SE
CALGARY, ALBERTA

Legal Description Building Permit No.

Development Permit No. DSSP No.

GGA-ARCHITECTURE
350,140-10 Ave SE
Calgary, Alberta.
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Drawing Title
COVER & DRAWING LIST - ELECTRICAL

Drawn by: MD	Scale: N.T.S.
Reviewed by: NH	Date (YYYY-MM-DD): 2026-02-05
Manager: SA	
Peer Review:	

Drawing Number Drawing Package

DPE0.0
Revision Number
B