

1&2 TRAFFORD CRESCENT N.W

DR2

FEBRUARY 17, 2026

DRAWING LIST:

DP.000	TITLE SHEET
DP.001	BLOCK PLAN
DP.002	SITE DETAILS
DP.101	SITE PLAN
L.100	LANDSCAPE PLAN
DP.200	BUILDING A+B - BASEMENT FLOOR PLAN
DP.201	BUILDING A+B - MAIN FLOOR PLAN
DP.202	BUILDING A+B - SECOND FLOOR PLAN
DP.203	BUILDING A+B - ROOF PLAN
DP.204	GARAGE - PLAN AND ROOF PLAN
DP.205	GARAGE - SECTIONS+ELEVATION
DP.206	GARAGE - ELEVATIONS
DP.207	CLASS-1 BICYCLE PARKING STALL
DP.300	BUILDING A - SECTIONS
DP.301	BUILDING B - SECTIONS
DP.400	BUILDING A - ELEVATIONS
DP.401	BUILDING B - ELEVATIONS
DP.402	BUILDING A+B - ELEVATIONS
DP.403	BOULEVARD SECTIONS
S.100	SURVEY



(ARTISTIC REPRESENTATION ONLY)

PROJECT INFORMATION:

PARCEL ADDRESS:

LEGAL:	L: 1&2, B: 4, P: 6455 GS
MUNICIPAL:	1&2 TRAFFORD CRESCENT N.W., CALGARY, AB
COMMUNITY:	THORNCLIFFE
ZONING:	R-CG

PROPOSED GROSS BUILDING A AREA:

FLOOR LEVEL	SQ.M. / SQ.FT.
LOWER	264.56 SQ.M. / 2847.65 SQ.FT.
MAIN	264.56 SQ.M. / 2847.65 SQ.FT.
SECOND	281.03 SQ.M. / 3024.94 SQ.FT.
ABOVE FLOOR:	545.59 SQ.M. / 5872.59 SQ.FT.
TOTAL:	810.15 SQ.M. / 8720.24 SQ.FT.

PROPOSED GROSS BUILDING B AREA:

FLOOR LEVEL	SQ.M. / SQ.FT.
LOWER	249.48 SQ.M. / 2685.33 SQ.FT.
MAIN	249.48 SQ.M. / 2685.33 SQ.FT.
SECOND	258.89 SQ.M. / 2786.67 SQ.FT.
ABOVE FLOOR:	508.37 SQ.M. / 5472.00 SQ.FT.
TOTAL:	757.85 SQ.M. / 8157.33 SQ.FT.

PROPOSED GARAGE AREA:

TOTAL:	186.26 SQ.M. / 2004.91 SQ.FT.
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BYLAW REGULATIONS:

BUILDING SETBACKS:

	PERMITTED
FRONT (NORTH-EAST, TRAFFORD CRESCENT)	3.0m
SIDE (SOUTH-EAST, R-CG PARCEL)	1.2m
REAR (SOUTH-WEST, LANE)	1.2m
SIDE (NORTH-WEST, NORTHMOUNT DRIVE)	1.2m

PARCEL COVERAGE:

PARCEL AREA:	1329.85 SQ.M. / 14314.37 SQ.FT.
PARCEL COVERAGE ALLOWED:	60%
BUILDING FOOT PRINT:	700.29 SQ.M. / 7537.89 SQ.FT.
TOTAL PROPOSED COVERAGE:	53%

DENSITY:

MAXIMUM ALLOWED:	75 UNITS PER HECTARE
PROPOSED:	9 UNITS / 1329.85 SQ.M.
PROPOSED DENSITY:	68 UNITS PER HECTARE

AMENITY SPACE:

MINIMUM REQUIRED:	5.0 SQ.M. / 53.82 SQ.FT. / UNIT
PROPOSED:	TOTAL 45.60 SQ.M. / 490.86 SQ.FT. = 5.07 SQ.M. / 54.54 SQ.FT. / UNIT

VEHICULAR PARKING:

REQUIRED RESIDENTIAL STALLS 0.5 STALLS / UNIT	9.0 STALLS REQUIRED
TOTAL PARKING STALLS PROVIDED:	10.0 STALLS

BICYCLE PARKING:

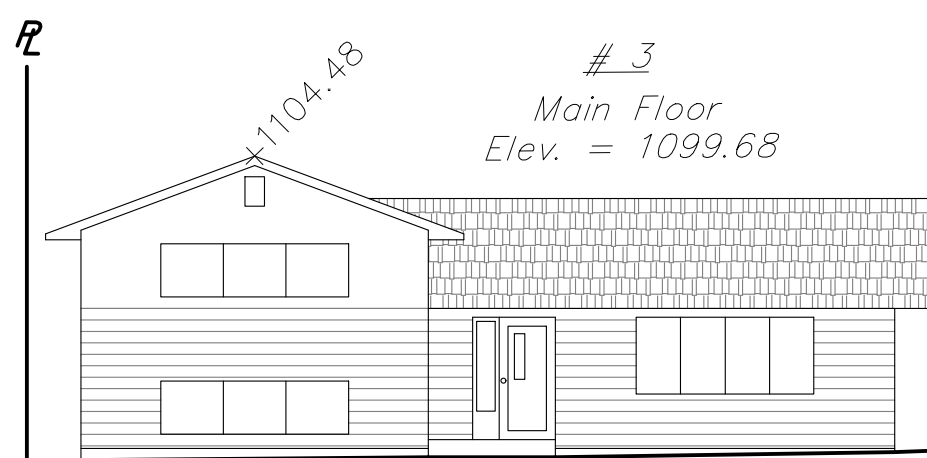
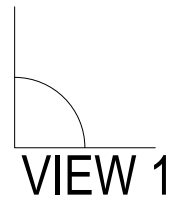
TOTAL PARKING STALLS PROVIDED:	8.0 STALLS PROVIDED
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WASTE & RECYCLING:

MINIMUM REQUIRED:	0.24 m² PER UNIT / WEEK (18 UNITS AND SUITES x 0.24 m² = 4.32 m² / WEEK)
PROVIDED:	
WASTE:	8 x 0.24 m² BINS = 1.92 m²
RECYCLING:	6 x 0.24 m² BINS = 1.44 m²
ORGANICS:	4 x 0.24 m² BINS = 0.96 m²



FORMED ALLIANCE ARCHITECTURE STUDIO



A photograph of a residential property. In the foreground is a gravel driveway. To the left, a tall evergreen tree stands next to a blue recycling bin. A dense border of various shrubs runs along the side of the property. On the right, a portion of a house with light-colored siding and a black door is visible. Power lines are strung across the sky above the trees.

A photograph of a residential property. In the foreground, a paved road with visible cracks curves from the bottom left towards the right. A concrete curb separates the road from a green lawn. On the lawn, there is a large, dark green evergreen tree. To the left of the evergreen is a smaller, lighter green deciduous tree. Behind the trees, a white house with a grey roof is partially visible. A low, dark green hedge runs along the front of the property. In the background, more trees and a cloudy sky are visible.

VIEW 4 : NORTH WEST

RELEASES

NO.	DESCRIPTION	DATE
03	DR2	2026.02.17
02	DR1	2026.01.19
01	ISSUED FOR DP	2025.10.03

1&2 TRAFFORD
CRESCENT N.W

82 TRAFFORD CRESCENT N.W.
CALGARY, AB

LOGAL ADDRESS
: 182 B: 4 P: 6455 GS

25.032 MRC 1

RUN	CHECKED
IP	SMISK

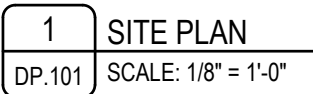
DATE	SCALE
7 FEB 2026	AS NOTED

BLOCK PLAN

RANDOM NUMBER

DP.001

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



1. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
2. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO CONSTRUCTION PERIMETER.
3. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
4. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
5. PROVIDE EXTERIOR LIGHTING AT ALL FRONT ENTRY AREAS. WALL MOUNTED.
6. HOUSING NUMBER MOUNTED ON EXTERIOR WALL. SITE CONFIRM HEIGHT W/ ARCHITECT PRIOR TO ROUGH-IN & INSTALL.
7. EMPTY CONDUIT WITH PULL STRING FROM ELECTRICAL PANEL TO ATTIC FOR FUTURE SOLAR PANELS. ALLOW FOR DEAD LOAD OF SOLAR PANELS ON ROOF TRUSSES.
8. EMPTY CONDUIT WITH PULL STRING FROM ELECTRICAL PANEL TO PARKING AREA FOR FUTURE EV CHARGING EQUIPMENT.
9. AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE DURING EXCAVATION OF BUILDING A FOUNDATION IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION.

N.01	ENTRY TO PRIMARY UNIT
N.02	ENTRY TO SECONDARY SUITE
N.03	PROPOSED ENCLOSED PARKING STALL
N.04	PROPOSED WASTE AND RECYCLING LOCATION
N.05	PROPOSED FENCE AND METAL GATE
N.06	PROPOSED CLASS-1 BICYCLE PARKING STALL
N.07	PROPOSED COMMON AMENITY SPACE (AREA: 45.60 SQ.M)
N.08	LINE OF BUILDING ABOVE
N.09	WINDOW WELL
N.10	RAIN BARREL CONNECTED TO DOWNSPOUT

[illegible]

1&2 TRAFFORD
CRESCENT N.W

42 TRAFFORD CRESCENT N.W.
CALGARY, AB

182 B: 4 P: 6455 GS

25.032 MRC 1

MAN	CHECKED
2	SMISK

DATE	SCALE
FEB 2025	AS NOTED

SITE PLAN

UNIVERSITY OF ALABAMA

DP.101

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[illegible]

03	DR2	2026.02.17
02	DR1	2026.01.19
01	ISSUED FOR DP	2025.10.03

PROJECT NAME

1&2 TRAFFORD
CRESCENT N.W

42 TRAFFORD CRESCENT N.W.
ALGARY AB

182 B: 4 P: 6455 GS

25.032 MRC 1

MAN	CHECKED
P	SMISK

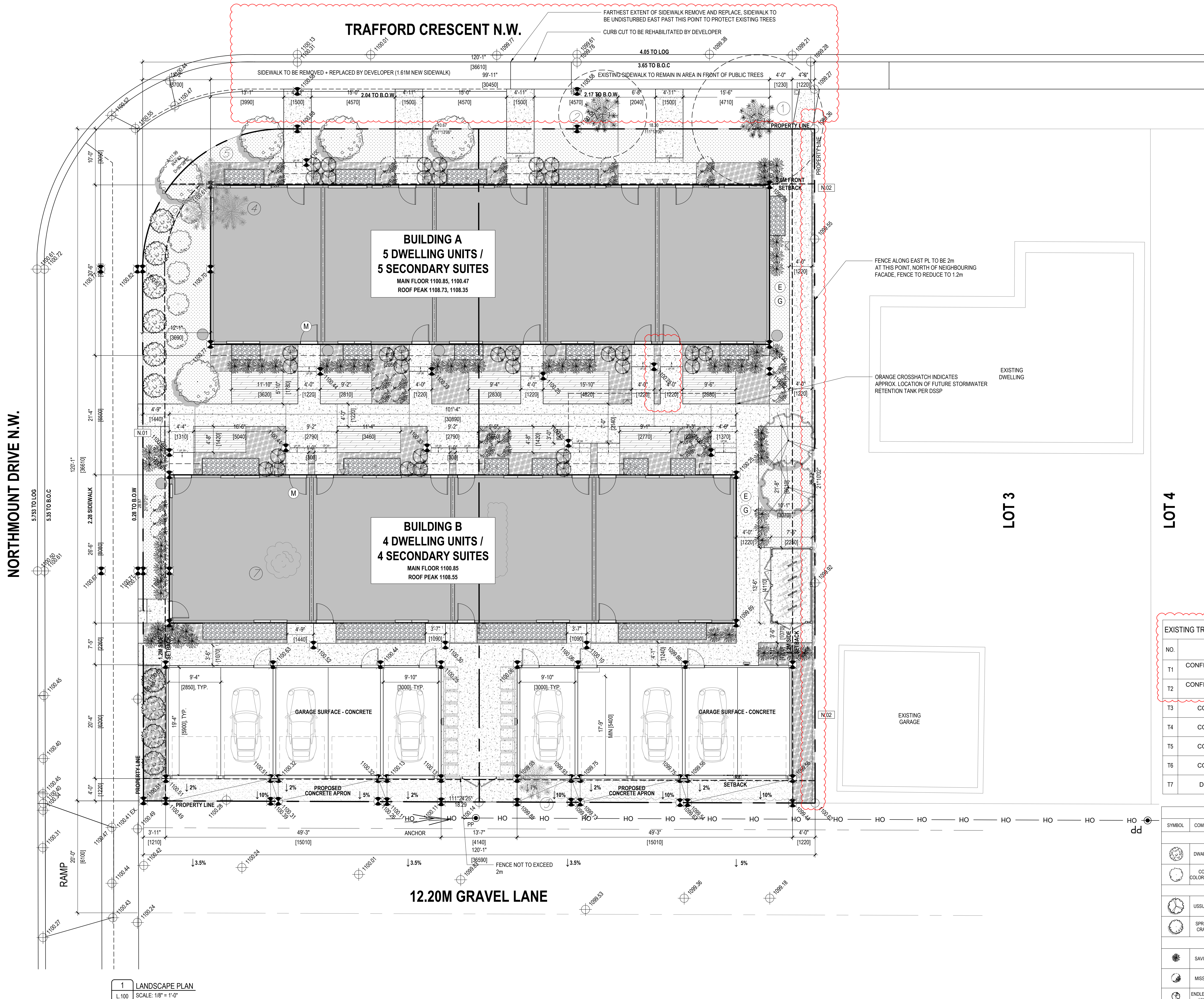
DATE	SCALE
FEB 2026	AS NOTED

LANDSCAPE PLAN

ANNUAL REPORT

L.100

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GENERAL NOTES

- A. **LANDSCAPED AREA = 457.21 SQ.M / 4921.37 SQ.FT PROVIDED**
- B. **BYLAW 542 (7) MINIMUM 30% OF LANDSCAPE AREA MUST ME SOFT SURFACED LANDSCAPING = 253.90 SQ.M / 2732.96 SQ.FT PROVIDED (55.53%)**
- C. **BYLAW 542.2 (2): 1 TREE AND 3 SHRUBS REQUIRED PER 110 sq.m OF PARCEL AREA = 22 TREES & 98 SHRUBS. PROVIDED X TREES & X SHRUBS**
- D. **LANDSCAPING TO BE LOW WATER PLANTING, DROUGHT TOLERANT.**
- E. **ALL SOFT SURFACE LANDSCAPED AREA WILL HAVE AN UNDERGROUND IRRIGATION SYSTEM.**
- F. **ALL SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.**
- G. **MINIMUM SOIL DEPTH OF 1200mm FOR TREES, 600mm FOR PLANTING BEDS WITH SHRUBS & 300mm IN ALL OTHER AREAS.**
- H. **AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE DURING EXCAVATION OF BUILDING A FOUNDATION IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION.**

SHEET NOTES

- | | |
|---|-----------------------------|
| N.01 | PROPOSED SIGNAGE |
| N.02 | LANDSCAPE CURB |
|  | EXISTING GEODETIC ELEVATION |
|  | PROPOSED GEODETIC ELEVATION |
|  | GAS METER LOCATION |
|  | WATER METER LOCATION |
|  | ELECTRICAL METER LOCATION |

LANDSCAPING LEGEND	
CODE	ITEM
	MULCH GROUND COVER
	LAWN (GRASS)
	CONCRETE (APRON)
	BROOM FINISHED CONCRETE (WALKWAY)
	GRAVEL (WINDOW WELL)

Lot 4

EXISTING TREES

NO.	SPECIES	CALIPER (m)	CANOPY (m)	HEIGHT (m)	NOTES
T1	CONIFEROUS (WHITE SPRUCE)	1	3.6	10.50	TO REMAIN (PUBLIC TREE)
T2	CONIFEROUS (WHITE SPRUCE)	1	2.4	10.50	TO REMAIN (PUBLIC TREE)
T3	CONIFEROUS	0.76	2.8	10.00	TO BE REMOVED
T4	CONIFEROUS	0.50	4.5	11.00	TO BE REMOVED
T5	CONIFEROUS	0.38	6.6	11.00	TO BE REMOVED
T6	CONIFEROUS	0.50	3.0	10.50	TO BE REMOVED
T7	DECIDUOUS	0.90	2.1	8.00	TO BE REMOVED

PLANTING LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE @ PLANTING	TYP. SPREAD	CALIPER	MATURE HEIGHT	REQ.	QTY.
CONIFEROUS TREES								
	DWARF SPRUCE	PICEA GLAUCA	2 m HIGH	7'-10"	10'-13"		LOW WATER, DROUGHT TOLERANT	10
	COLUMNAR COLORADO SPRUCE	PICEA PUNGENS FASTIGIATA	MIN 2.0mm DEEP ROOT BALL	5'	3.0m HIGH	6.0m HIGH	LOW WATER, DROUGHT TOLERANT	5
DECIDUOUS TREES								
	USSURIAN PEAR	PYRUS USSURIENSIS	60 mm CALLIPER	20'-25"	80mm CALIPER	5.0m HIGH	LOW WATER, DROUGHT TOLERANT	2
	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'		15'-20"	50mm CALIPER	8.0m HIGH		5
DECIDUOUS SHRUBS								
	SAVIN JUNIPER	JUNIPERUS SABINA	0.60 m SPREAD	4'-4"	3' to 6'		LOW WATER, DROUGHT TOLERANT	53
	MISS KIM LILAC	SYRINGA SPP. PAT	0.60m SPREAD	1.5m			LOW WATER, DROUGHT TOLERANT	28
	ENDLESS SUMMER HYDRANGEA	SYRINGA SPP.	0.60m SPREAD	1.5m	600mm		LOW WATER, DROUGHT TOLERANT	34

N.01	EXISTING GRADING AT PROPERTY LINE
N.02	PROPOSED GRADING AT BUILDING
N.03	PROPOSED ENCLOSED PARKING STALL
N.04	PROPOSED WASTE AND RECYCLING LOCATION
N.05	GARAGE DOOR 8'X8' TYP.
N.06	PROPOSED CONCRETE APRON
N.07	DOWNSPOUT/EAVESTROUGH LOCATION
N.08	METAL GATE, COLOUR : BLACK

1. REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

A - FIBER CEMENT

A2.1 PANEL / SMOOTH / COLOUR = BLACK

B - MASONRY

B1.1 BRICK / COLOUR = BEIGE

C - METAL

C3.1	ALUMINUM FASCIA & SOFFIT / COLOUR = BLACK
C4.1	METAL FLASHING / COLOUR = BLACK
C5.1	METAL SCREEN W/ GATE / COLOUR = BLACK

D - TRIM

D1.1 ENGINEERED 2" WOOD TRIM / COLOUR = BLACK

E - PARGING/CONCRETE

E1.1 PARGING / COLOUR = NATURAL GRAY

F - ROOFING

F1.1 ASPHALT ROOF SHINGLES / COLOUR = BLACK

H - DOORS

H1.1 METAL DOOR / COLOUR = BLACK

H2.1 METAL 8'x8' GARAGE DOOR / COLOUR = BLACK

 EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

[illegible]

1&2 TRAFFORD
CRESCENT N.W

82 TRAFFORD CRESCENT N.W.
CALGARY, AB

L: 182 B: 4 P: 6455 GS

25.032 MRC

NAME	CHECKED
IP	SMISK

DATE	SCALE
7 FEB 2026	AS NOTED

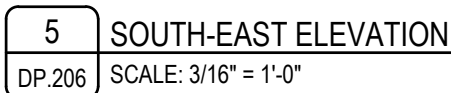
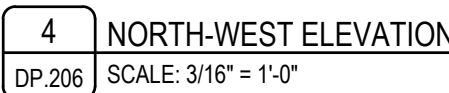
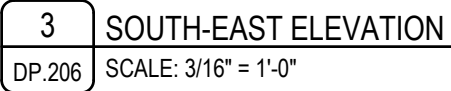
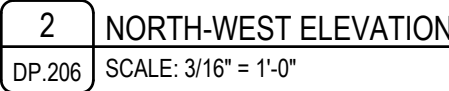
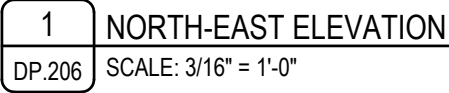
DRAWING TITLE

**GARAGE - SECTION+
ELEVATION**

PLATE 10

DP.205

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TO REMAIN THE EXCLUSIVE PROPERTY OF
THE ARCHITECT AND MAY NOT BE USED OR
REPRODUCED WITHOUT PRIOR WRITTEN
CONSENT.



N.01	EXISTING GRADING AT PROPERTY LINE
N.02	PROPOSED GRADING AT BUILDING
N.03	PROPOSED ENCLOSED PARKING STALL
N.04	PROPOSED WASTE AND RECYCLING LOCATION
N.05	GARAGE DOOR 8'X8' TYP.
N.06	PROPOSED CONCRETE APRON
N.07	DOWNSPOUT/EAVESTROUGH LOCATION
N.08	METAL GATE, COLOUR : BLACK

1. REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

H2.1 METAL 8'x8' GARAGE DOOR / COLOUR = BLACK

 EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

[illegible]

RAJENDRA PRASAD

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1. REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

N.01	CANOPY
N.02	DOWNSPOUT/ EAVESTROUGH COLOUR = BLACK
N.03	LANDSCAPE CURB

A - FIBER CEMENT

A1.1	6" HORIZONTAL LAP SIDING / CEDARMILL / COLOUR = BLACK
A2.1	PANEL / SMOOTH / COLOUR = BLACK

B1.1	BRICK / COLOUR = BEIGE
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C3.1	ALUMINUM FASCIA & SOFFIT / COLOUR = BLACK
C4.1	METAL FLASHING / COLOUR = BLACK

D1.1 ENGINEERED 2" WOOD TRIM / COLOUR = BLACK

E1.1	PARGING / COLOUR = NATURAL GRAY
E2.1	CONCRETE STAIR / COLOUR = NATURAL GRAY

F1.1	ASPHALT ROOF SHINGLES / COLOUR = BLACK
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G1.1	WINDOW / COLOUR = BLACK
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H1.1	METAL DOOR / COLOUR = BLACK
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J - GUARDS & RAILINGS

K. SIGNAGE

L-LIGHTS

M - METER SERVICE

 EXISTING GEODETIC ELEVATION

EXISTING GEODETIC ELEVATION

PROPOSED GEODETIC ELEVATION

[illegible]

1&2 TRAFFORD
CRESCENT N.W

82 TRAFFORD CRESCENT N.W.
CALGARY, AB

L: 182 B: 4 P: 6455 GS

PROJECT NO. 25.032 MRC 1

MAN	CHEGG
MP	SMISK

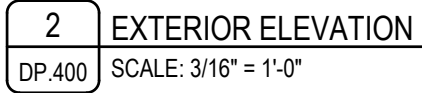
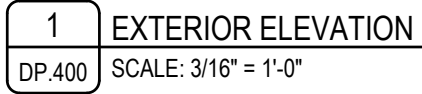
DATE	SCALE
7 FEB 2026	AS NOTED

BUILDING A - ELEVATION

RANNO NUMBER

DP.400

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2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

N.01	CANOPY
N.02	DOWNSPOUT/ EAVESTROUGH COLOUR = BLACK
N.03	LANDSCAPE CURB

A1.1 6" HORIZONTAL LAP SIDING / CEDARMILL / COLOUR = BLACK

A2.1 PANEL / SMOOTH / COLOUR = BLACK

B1.1 BRICK / COLOUR = BEIGE

C3.1 ALUMINUM FASCIA & SOFFIT / COLOUR = BLACK

C4.1 METAL FLASHING / COLOUR = BLACK

D1.1 ENGINEERED 2" WOOD TRIM / COLOUR = BLACK

E1.1	PARGING / COLOUR = NATURAL GRAY
E2.1	CONCRETE STAIR / COLOUR = NATURAL GRAY

F1.1	ASPHALT ROOF SHINGLES / COLOUR = BLACK
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G1.1	WINDOW / COLOUR = BLACK
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H1.1	METAL DOOR / COLOUR = BLACK
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H2.1 METAL 8'x8' GARAGE DOOR / COLOUR = BLACK

J1.1 ALUMINUM GUARDRAIL W/ PICKETS / COLOUR = BLACK

K1.1 ADDRESS NUMBER / COLOUR = BLACK

L1.1	WALL MOUNTED / COLOUR = BLACK
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M1.1 SERVICE METER C/W PANEL BACKING FINISH AND TRIM SURROUND
COLOUR = TO MATCH ADJACENT FINISH

EXISTING GEODETIC ELEVATION

PROPOSED GEODETIC ELEVATION

1	EXTERIOR ELEVATION
DP.401	SCALE: 3/16" = 1'-0"

2	EXTERIOR ELEVATION
DP.401	SCALE: 3/16" = 1'-0"

1&2 TRAFFORD
CRESCENT N.W

82 TRAFFORD CRESCENT N.W.
CALGARY, AB

: 182 B: 4 P: 6455 GS

25.032 MRC 1

RUN	CHECKED
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SM/5K

ITEMS	SCALE
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7 FEB 2026 AS NO

BUILDING B - ELEVATIONS

PLATE 10

DP.401

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Plan Showing Survey for
Development Permit

*Municipal Address:
1 & 2 Trafford Crescent N.W.
Calgary, Alberta*

Unless otherwise specified, the dimensions shown relate to distances from property boundaries to foundation walls only at the date of survey.

Property is subject to:

771 147 064 ZONING REGULATIONS (AIRPORT)
921 301 301, 951 158 604, 981 242 903 CAVEAT
021 028 967, 021 028 968, 021 028 969 DISCHARGE OF CAVEAT

Property is subject to:
771 147 064 ZONING REGULATIONS (AIRPORT)

Doors shown thus:

Tree #	Tree Type	Trunk ϕ	Canopy(r)	Height
1	Coniferous	0.90m	3.6m	10.50m
2	Coniferous	0.75m	2.4m	10.50m
3	Coniferous	0.76m	2.8m	10.00m
4	Coniferous	0.50m	4.5m	11.00m
5	Coniferous	0.38m	6.6m	11.00m
6	Coniferous	0.50m	3.0m	10.50m
7	Deciduous	0.90m	2.1m	8.00m

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AG FILE NO.: 7326

1	SURVEY
S.100	SCALE: NTS