

PROPOSED 6-STOUREY RESIDENTIAL DEVELOPMENT

1804 - 34th Street SE, Calgary



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 ARUP DATTA ARCHITECT LTD.
 337 17TH AVENUE, S.W.
 CALGARY, ALBERTA T2S 0A5
 TEL: (403) 244-8818 FAX: (403) 244-8982
 E-MAIL: info@adatl.ca

MULTI-FAMILY RESIDENTIAL BUILDING
 CALGARY, AB

ARCHITECTURE
 INTERIOR DESIGN
 MASTER PLANNING
 URBAN DESIGN
 ARUP DATTA ARCHITECT LTD.
 CALGARY • ALBERTA • CANADA

SUBMITTED FOR: **DEVELOPMENT PERMIT**
 DATE: **SEPTEMBER 30, 2025**

No.	DATE	DESCRIPTION
1	2025-09-30	ISSUED FOR DEVELOPMENT PERMIT APPLICATION

ISSUED FOR / REVISIONS Δ

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 T2S 0A5 Tel: (403) 244-8818 Fax: (403) 244-8982
 ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

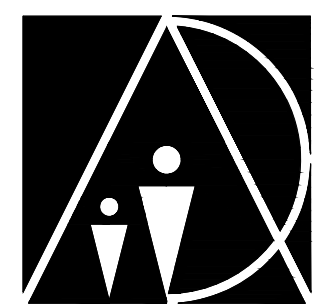
ARCHITECTURAL

ELECTRICAL

CIVIL

LANDSCAPE

SURVEY



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EMBE
 Consulting Engineers Inc.

121 15th AVENUE SE, CALGARY, AB, T2G 1G1
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12 Richmond Link Fort Saskatchewan AB T8L 0S2



Total Geomatics & Consulting Inc

PROJECT #: **1705**

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
 CALGARY, AB

DRAWING:
COVER SHEET

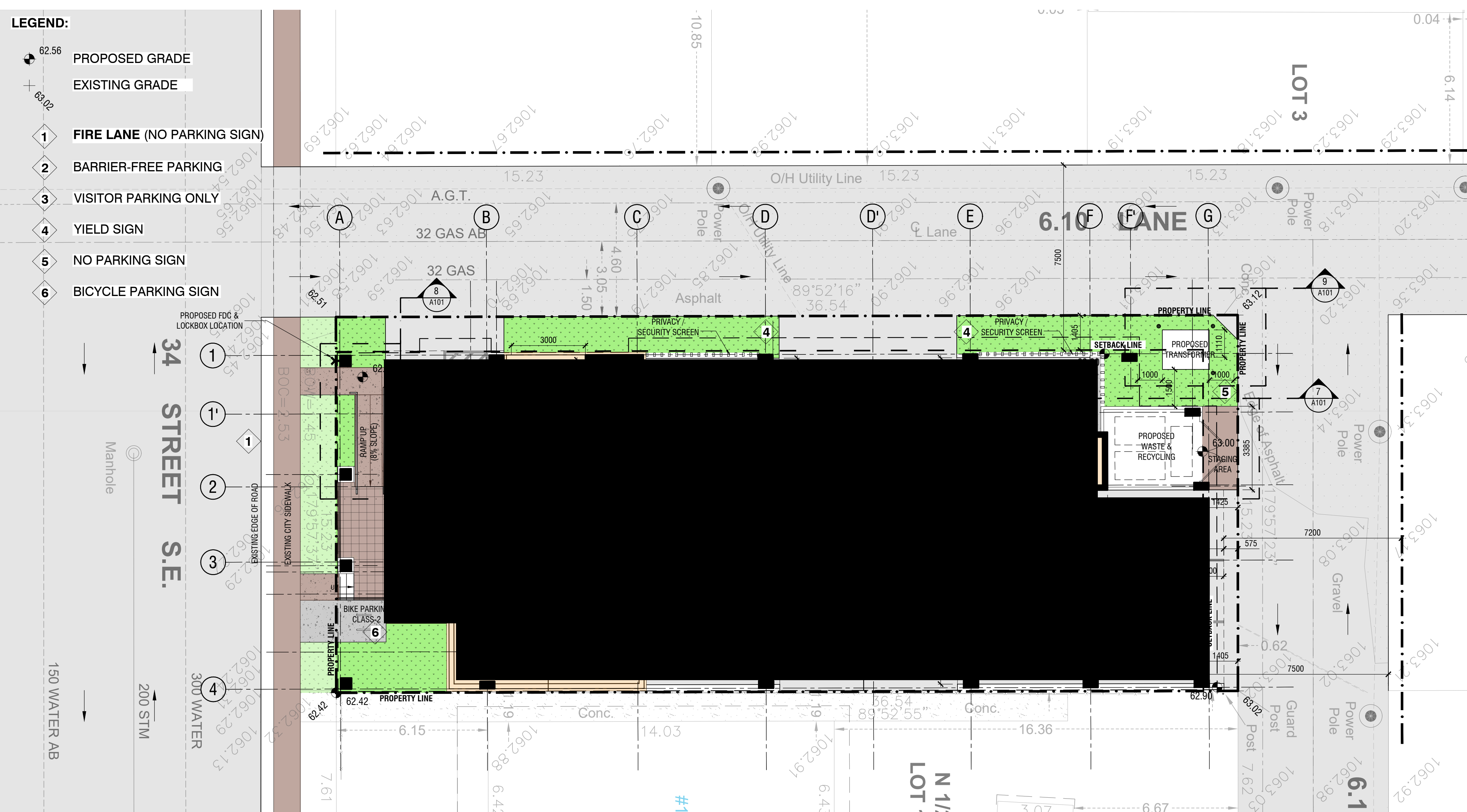
DRAWING #:
1705-A-000

SCALE: N.T.S.
 DESIGN BY: AD DRAWN BY: CS CHECKED BY: AD

C:\Users\Chris\Documents\1705 - 1804 - 34 Street SE - Calgary (Residential - Perm) - Development - Plans\1705 - 1804 - 34 Street SE - Plans.dwg 15:25:08 09/10/2025 Chris\chris

LEGEND:

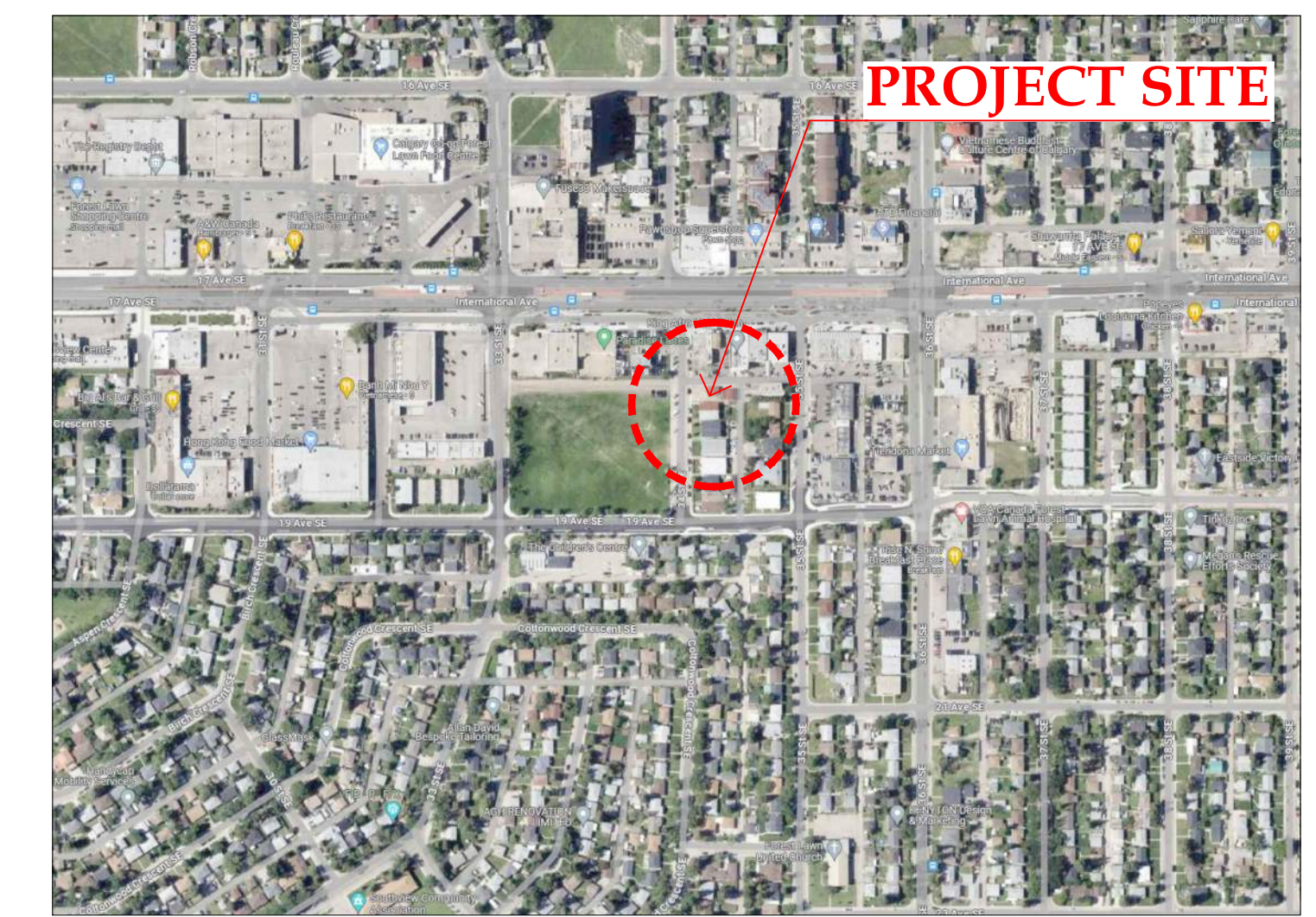
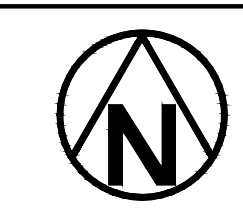
- 62.56 PROPOSED GRADE
- 60.02 EXISTING GRADE
- 1 FIRE LANE (NO PARKING SIGN)
- 2 BARRIER-FREE PARKING
- 3 VISITOR PARKING ONLY
- 4 YIELD SIGN
- 5 NO PARKING SIGN
- 6 BICYCLE PARKING SIGN



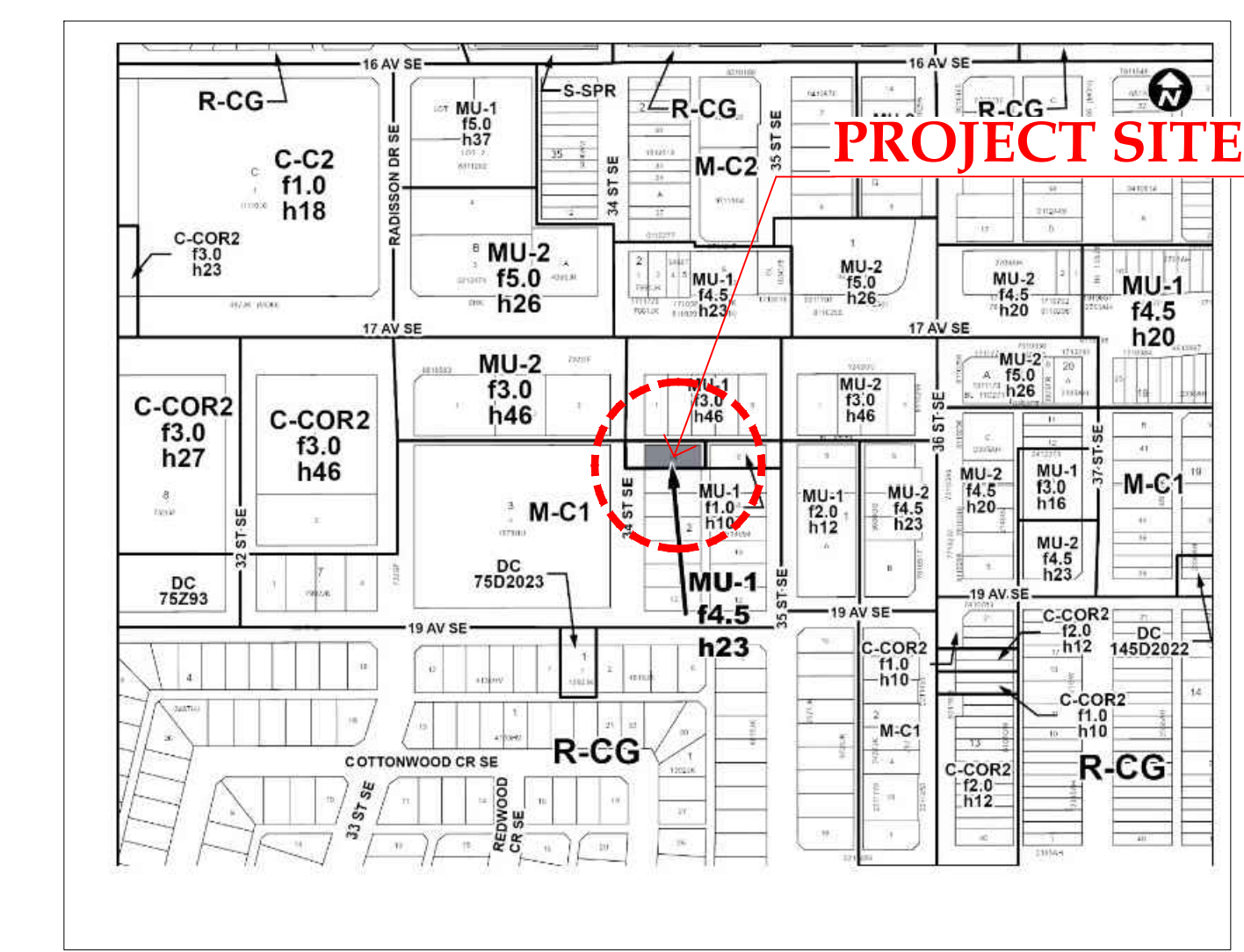
1 SITE PLAN
SCALE 1:100 M

GARBAGE COLLECTION NOTE:
During collection schedules, the property management staff will roll out (and in) the bins from and in to the enclosure prior to and after collection.

NOTE: All elements are proposed unless otherwise noted.



2 LOCATION MAP
SCALE N.T.S.



3 LAND USE MAP
SCALE N.T.S.

PROJECT INFORMATION:

MUNICIPAL ADDRESS: - 1804 - 34th Street SE, Calgary, AB
LEGAL ADDRESS: - Lot 19, Block 2, Plan 5682GI
PARCEL AREA: - 556.5 m²

LAND USE / ZONING: - Mixed Use - General (MU-1f4.5h23)

GROSS FLOOR AREA:

MAIN FLOOR	-	125.00 m ²
2ND FLOOR	-	448.00 m ²
3RD FLOOR	-	448.00 m ²
4TH FLOOR	-	448.00 m ²
5TH FLOOR	-	448.00 m ²
6TH FLOOR	-	448.00 m ²
TOTAL	-	2,365.00 m²

FLOOR AREA RATIO:

MAX. ALLOWABLE	-	2,504.25 m ² (4.5)
PROPOSED	-	2,365.00 m ² (4.25)

DWELLING UNIT DISTRIBUTION:

	1-BDR	2-BDR	
2F	1	4	
3F	1	4	
4F	1	4	
5F	1	4	
6F	1	4	
TOTAL	5	20	25 UNITS

DENSITY: - 450 UPH

PARKING CALCULATION:

Dwelling Unit (@ 0.75 stalls per unit)	-	18.75
Visitor (@ 0.1 stalls per unit)	-	2.5
TOTAL	-	21.25 stalls

REDUCTION:
The proposed project site is located within 200.0m of Primary Transit Service.
Required parking stall is 21.25 x 25% = 5.3125

21.25 - 5.3125 = 15.9 stalls

Required Parking Stalls after Reduction - 16 stalls

PARKING PROVIDED

Dwelling Unit	-	11 stalls
Visitors	-	2 stalls
TOTAL	-	13 Stalls

BUILDING HEIGHT:

MAX. ALLOWABLE	-	23.0m
PROPOSED	-	20.15m

SETBACK REQUIREMENT:

FRONT	-	0.0m
SIDE (LANE)	-	7.5m FROM ADJACENT PROPERTY LINE
REAR (LANE)	-	7.5m FROM ADJACENT PROPERTY LINE
SIDE	-	0.0m

* PROPOSED SETBACK IS THE SAME AS ZONING BYLAW REQUIREMENT.

* Parking shortfall of 3 stalls - we are seeking relaxation/variance for the 3 parking stalls as the proposed project is intended as rental housing units. The project site is also located within a major transit-oriented redevelopment - International Avenue Area Redevelopment Plan.

BICYCLE PARKING REQUIRED:

CLASS-1 (@ 0.5 stalls per unit)	-	12.5 (13) stalls
CLASS-2 (@ 0.1 stalls per unit)	-	2.5 (3) stalls

BICYCLE PARKING PROVIDED:

CLASS-1	-	13 stalls
CLASS-2	-	4 stalls

WASTE & RECYCLING CALCULATION:

REQUIREMENT:
25 units x 0.24 m³ = 6 m³ (7.5 yd³)

PROVIDED:

Garbage (3 yard)	=	1 bin
Recycling (3 yard)	=	1 bin
Organics (2 yard)	=	1 bin

RESIDENTIAL AMENITY SPACE:

REQUIREMENT:
25 units x 5.0 m² = 125.0 m²

PROPOSED:

Private Amenity Space (@ 5.0 m ² x 15 units)	=	75.0 m ²
Common Amenity Space (Rooftop Amenity)	=	120.0 m ²
TOTAL	=	195.0 m²

DRAWING LIST

ARCHITECTURAL:

- 1705-A-000 - COVER SHEET
- 1705-A-100 - SITE PLAN
- 1705-A-101 - SITE DETAILS
- 1705-A-200 - MAIN & 2nd FLOOR PLANS
- 1705-A-201 - TYPICAL (3rd-6th) & ROOF PLANS
- 1705-A-300 - BUILDING ELEVATIONS 01 OF 02
- 1705-A-301 - BUILDING ELEVATIONS 02 OF 02
- 1705-A-400 - SCHEMATIC SECTIONS

ELECTRICAL:

- E001 - SITE PLAN - LIGHTING
- E002 - SITE PLAN - LIGHTING POINT BY POINT
- E003 - SITE PLAN - ELECTRICAL DISTRIBUTION
- E004 - RENDERING & SCHEDULES

LANDSCAPE:

- DPL-1 - LANDSCAPE PLAN
- DPL-2 - ROOF AMENITY SPACE
- DPL-3 - DETAILS

CIVIL:

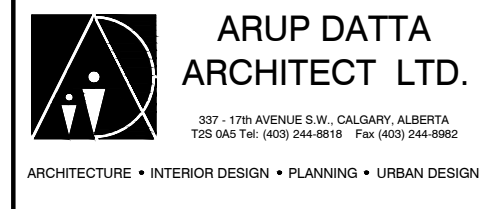
- SP1 - SITE SERVICING PLAN
- SP2 - SITE GRADING PLAN

SURVEY: - SURVEY PLAN

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 E-MAIL: info@arup.ca

No.	DATE	DESCRIPTION
1	2025-09-30	ISSUED FOR DEVELOPMENT PERMIT APPLICATION
ISSUED FOR / REVISIONS		



PROJECT #: **1705**

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
 CALGARY, AB

DRAWING:
SITE PLAN

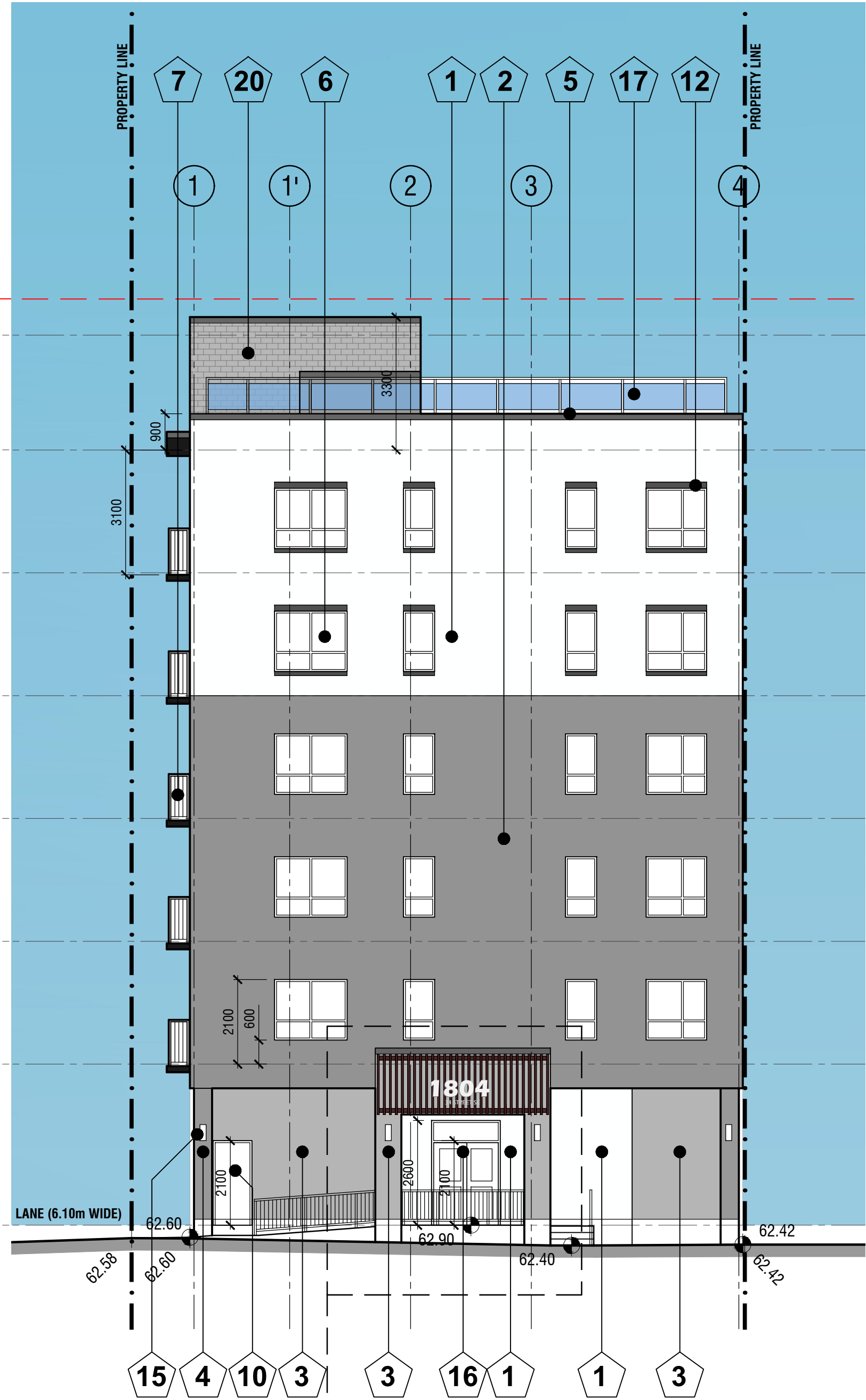
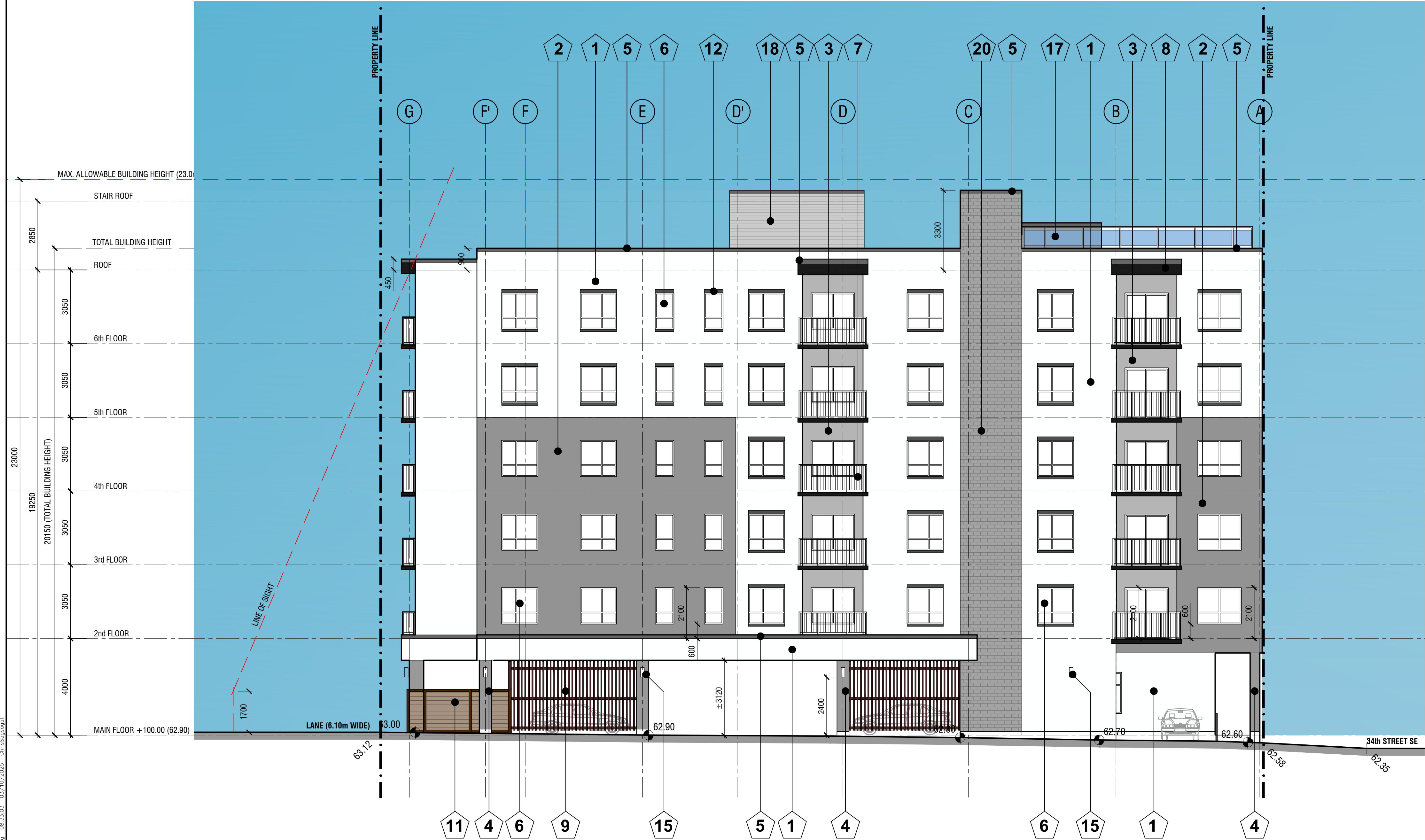
DRAWING #:
1705-A-100

SCALE:	1:100 M
DESIGN BY:	DRAWN BY:
AD	CS
CHECKED BY:	AD

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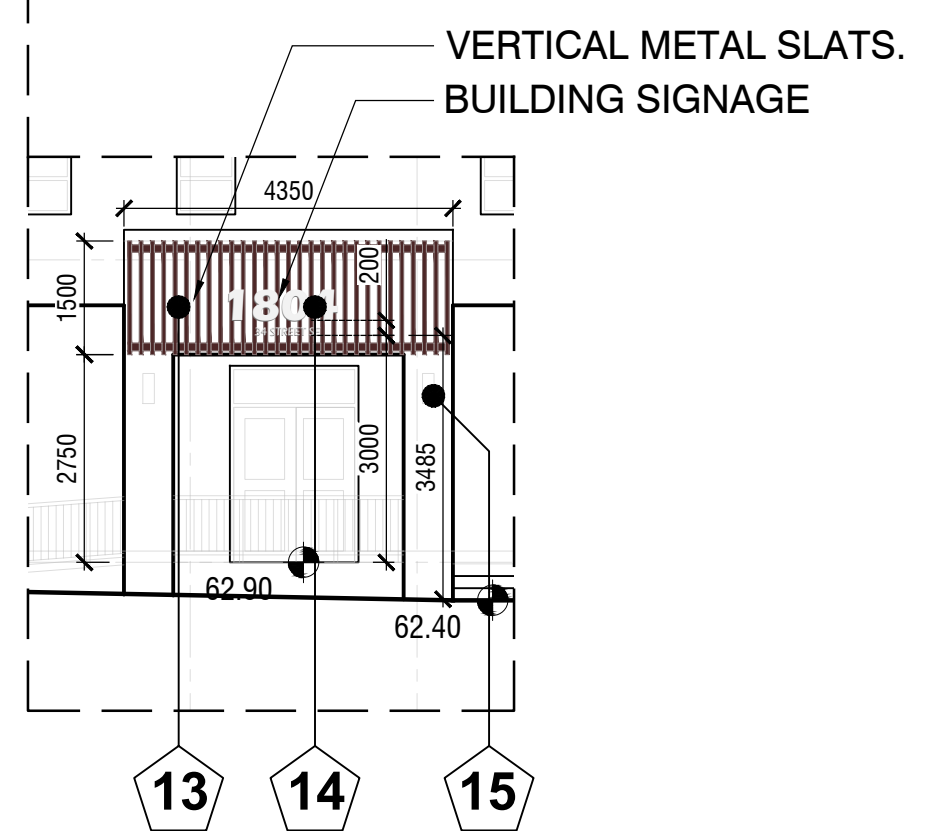
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EXTERIOR FINISHING MATERIAL LEGEND:

1. ACRYLIC-COATED STUCCO/EIFS; COLOUR - OFF WHITE
2. ACRYLIC-COATED STUCCO/EIFS; COLOUR - GREY
3. ACRYLIC-COATED STUCCO/EIFS; COLOUR - LIGHT GREY
4. PAINTED CONCRETE (SMOOTH); COLOUR - GREY
5. PRE-FINISHED METAL FLASHING; COLOUR - DARK GREY
6. GLAZING UNIT WITH ALUM. FRAMES; COLOUR - GREY
7. POWDER-COATED ALUMINUM GUARDRAIL/HANDRAIL; COLOUR - GREY
8. ACRYLIC-COATED STUCCO/EIFS FASCIA; COLOUR - GREY
9. SECURITY SCREEN; PAINTED WOOD SLATS; COLOUR - DARK CEDAR
10. METAL DOOR; COLOUR - GREY
11. WOOD PLANKS / COMPOSITE PLANKS; COLOUR - BROWN / WOODLOOK
12. ACRYLIC-COATED STUCCO/EIFS WINDOW TRIM; COLOUR - GREY
13. PRE-FINISHED VERTICAL METAL SLATS; COLOUR - WOODLOOK
14. BUILDING SIGNAGE - BACK LIT DIMENSIONAL LETTER; COLOUR - CLEAR ANODIZED ALUMINUM
15. EXTERIOR LIGHTING; COLOUR - DARK GREY
16. ALUM. FRAME GLAZED ENTRANCE DOOR
17. ALUM. FRAMED GLAZED GUARDRAIL; COLOUR - WHITE
18. HORIZONTAL CORRUGATED METAL PANEL; COLOUR - GREY
19. ACRYLIC-COATED STUCCO/EIFS; COLOUR - DARK GREY
20. BRICK VENEER; COLOUR - GREY



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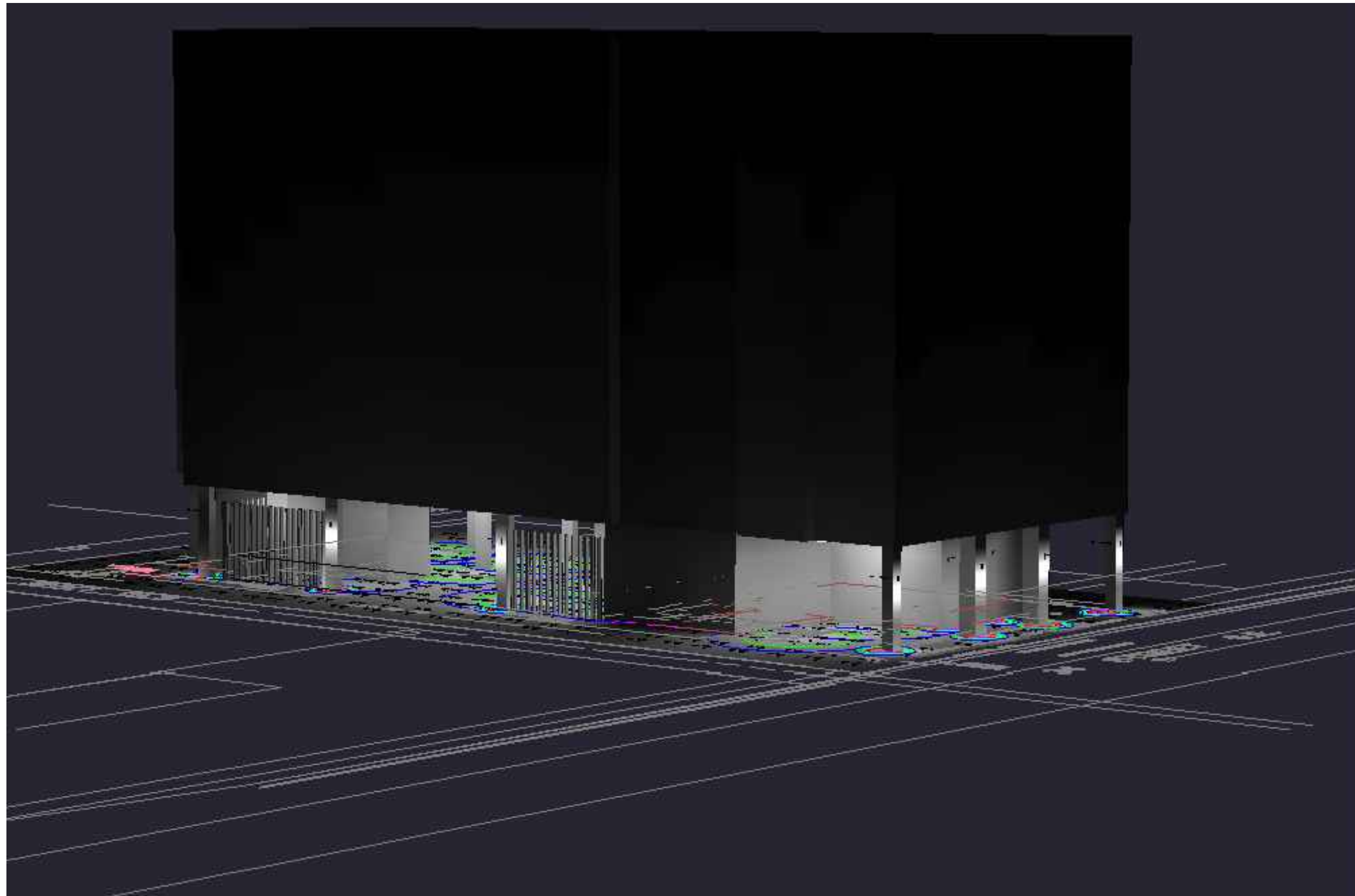
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 1000 10th Street S.W. Calgary, Alberta
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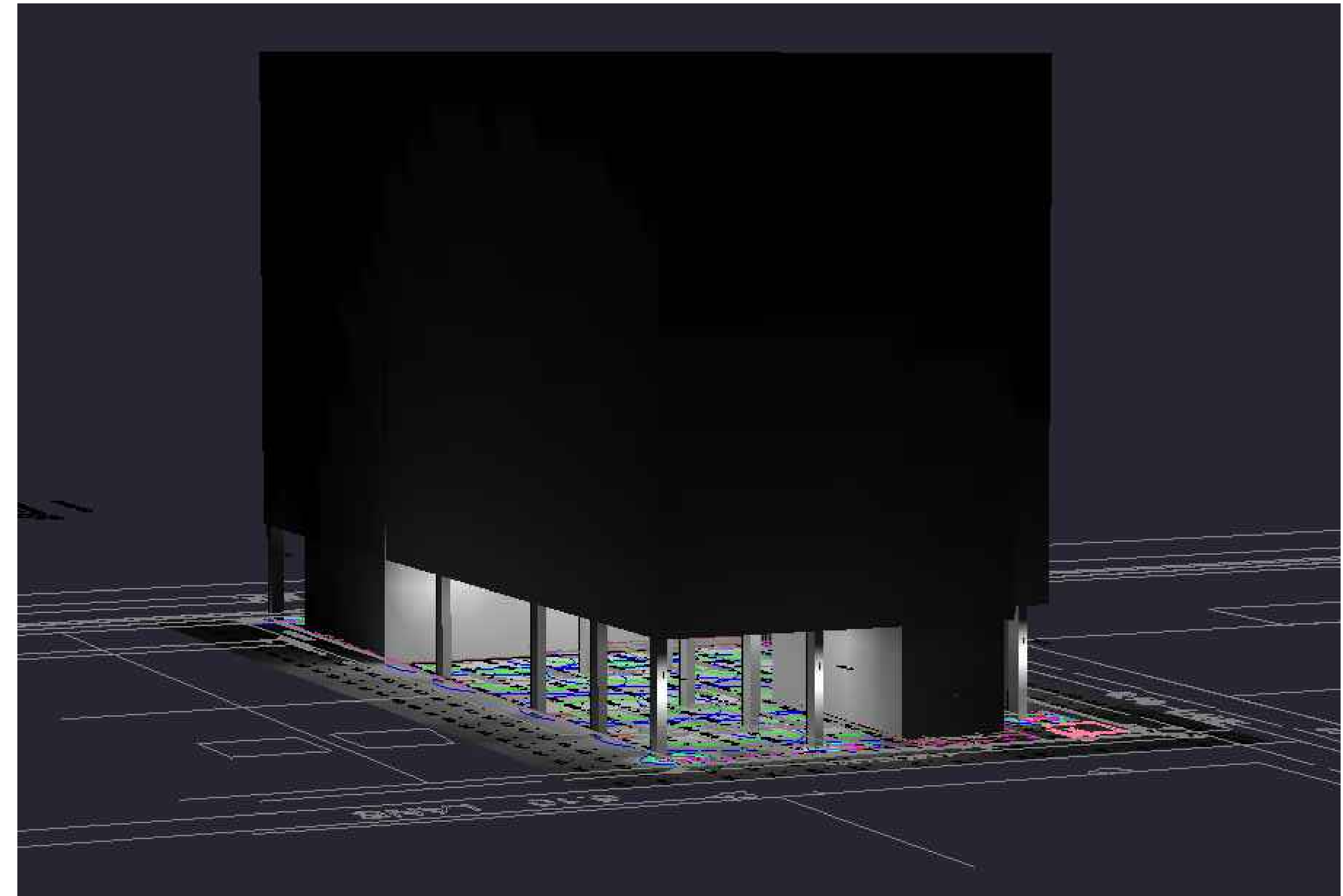
PROJECT #:	1705
PROJECT:	PROPOSED RESIDENTIAL DEVELOPMENT
DRAWING #:	1705-A-300
SCALE:	1:100 M
DESIGN BY:	AD
DRAWN BY:	CS
CHECKED BY:	AD

NOTE: All elements are proposed unless otherwise noted.

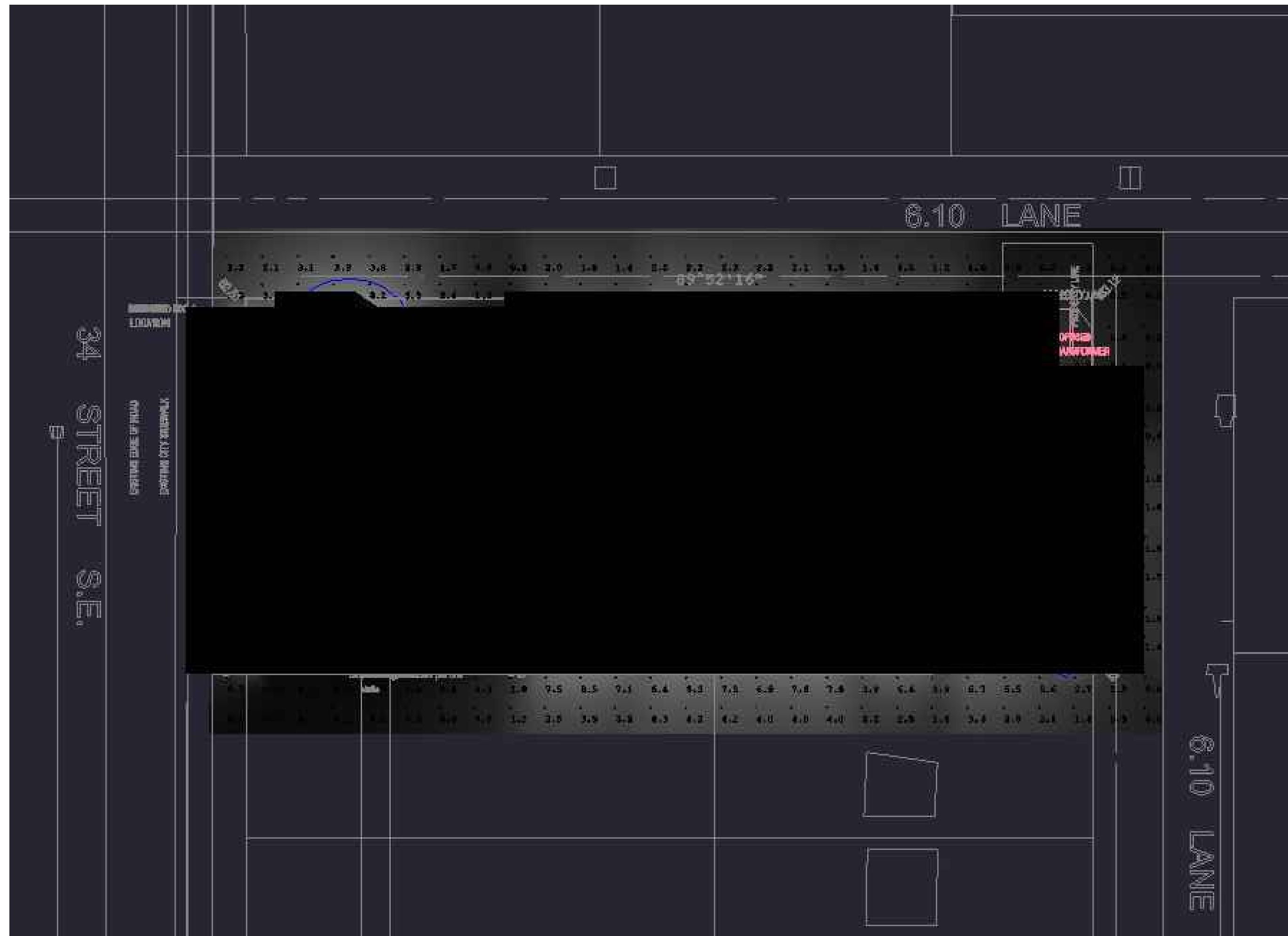
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01 SITE PLAN - LIGHTING - RENDERING 1
E004 SCALE: 1:100



02 SITE PLAN - LIGHTING - RENDERING 2
E004 SCALE: 1:100



03 SITE PLAN - LIGHTING - RENDERING 3
E004 SCALE: 1:100

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No.	DATE	DESCRIPTION
1	2025-09-25	DEVELOPMENT PERMIT

ISSUED FOR / REVISIONS ▲



ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: **25194**
PROJECT:
**34th AVENUE
RESIDENTIAL
DEVELOPMENT**
CALGARY, AB

DRAWING:
**RENDERINGS &
SCHEDULES**

DRAWING #:

SCALE: AS DRAWING
DESIGN BY: RH DRAWN BY: RH CHECKED BY: DK

PLANTING NOTES:

1. CONTRACTOR TO CALL FIRST CALL AT 1-800-242-3447 TO HAVE EXISTING UTILITIES LOCATED PRIOR TO START OF ANY CONSTRUCTION.
2. CONTRACTOR TO ENSURE THAT ALL NECESSARY ARRANGEMENTS ARE MADE WITH THE PIPELINE COMPANIES CONCERNING THE MOVEMENT OF MATERIALS AND EQUIPMENT NEAR ANY PIPELINE RIGHT OF WAYS/ AREAS.
3. CONTRACTOR IS RESPONSIBLE FOR THE HOARDING OF ALL TREE WITHIN OR ADJACENT TO CONSTRUCTION AREAS.
4. CONTRACTOR IS RESPONSIBLE FOR HALLING OF ALL EXCESS MATERIALS OFF THE SITE.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO LANDSCAPED AREAS AND MUST MAKE ALL NECESSARY RESTORATIONS AND REPAIRS.
6. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
7. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION STARTING.
8. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.
9. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK AND SHALL MEET OR EXCEED THE SPEC'S OF THE CDN NURSERY TRADES ASSOC. FOR SIZE, HT. SPREAD, GRADING QUALITY AND METHOD OF CULTIVATION.
10. NO SUBSTITUTIONS OF MATERIALS, PRODUCTS OR QUANTITIES WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
11. AREAS TO RECEIVE SOD TO HAVE TOPSOIL TO A DEPTH OF 100mm, AREAS TO RECEIVE SEED TO HAVE TOPSOIL TO A DEPTH OF 150mm, AREAS FOR PLANTING BEDS TO A DEPTH OF 450mm.
12. ALL PLANT MATERIAL AND WORKMANSHIP TO CONFORM TO THE REQUIREMENTS OF THE CITY OF CALGARY DESIGN AND CONSTRUCTION STANDARDS IN ITS MOST RECENT EDITION.
13. 75mm DEPTH SHREDDED BARK MULCH IN ALL PLANTING BEDS.
14. PLANTING TO BE IRRIGATED BY LOW WATER IRRIGATION. IRRIGATION SHALL BE PLACED IN TREE AND SHRUB AREAS ONLY IN ACCORDANCE WITH THE CITY OF CALGARY REQUIREMENTS.

TREE PLANTING DETAIL

The following Tree Planting Detail will be used for Spade Hole Preparation, 40mm - 100mm Caliper, either Coniferous or Deciduous, Basket or Ball & Burlap Trees

PLAN FOR TREE STAKING (optional)

NOTES:

- Do not allow air pockets to form when back filling.
- Stake beyond edge of root ball.
- Tree should be planted 75mm - 100mm below ground level.
- Bars should be hammered down into solid footing (at least 400mm into sub-soil base).
- If tree is in wire basket, cut and remove strapping and the horizontal/vertical wires of the wire basket to a minimum depth of 200mm from the top of the root ball. Pull back burlap to this same minimum depth.
- Use rubber straps at end of all guy wires to protect the tree at point of contact.
- Prune dead branches to maintain natural form of tree.

Labels in diagram: Single Leader (unless multi-stem species is specified), Rubber Strap, Wire does not go around tree, 11 Gauge Guy Wire, Use three 1800mm pointed T-Bars, (staking optional), Mulch, starting 50mm from Root Flare (trunk) & extending the hole, Root Flare at grade, Slope Top Soil from Root Ball to edge of hole to form well, 100mm, 40mm to 100mm Caliper Tree, Top Soil, refer to Top Soil Specs., 400mm, Sub-soil, Compacted Clay below Root Ball.

	PROJECT TITLE SPECIFICATIONS	DRAWN BY W.B.	SCALE N.T.S.
	SHEET TITLE TREE PLANTING DETAIL	DATE 2003-01-23	SHEET NO. 24
	40mm - 100mm CALIPER TREES SPADE DUG	DESIGN BY	FILE NO.
		DATE	

The following shrub planting detail will be used for all potted deciduous or coniferous shrubs

Shrub Pit

Shrub Bed

NOTE: If site is 300mm Loam Shrub Bed excavation is not required.

	PROJECT TITLE SPECIFICATIONS	DRAWN BY W.B./M.M.	SCALE N.T.S.
	SHEET TITLE SHRUB PLANTING DETAIL	DATE 2017 11 09	SHEET NO. 25
		DESIGN BY	FILE NO.
		DATE	

TREE PLANTING DETAIL

This detail may be used for group tree planting on sites where drainage patterns allow a raised bed. Consider species selection & site selection for this detail.

NOTES:

- Edge of bed to be staked and approved by Landscape Architect.
- Do not allow air pockets to form when back filling.
- If staking, stake beyond edge of root ball. Bars should be hammered down into solid footing (at least 400mm into sub-soil base). Use 2mm (1/2") braided nylon strap to protect the tree at point of contact.
- If tree is in wire basket, cut and remove strapping and the horizontal / vertical wires of the upper 1/3 as a minimum. Pull back burlap to the same minimum.
- Prune dead branches to maintain natural form of tree. Do not prune heavily at planting.
- Option to raise bed 150mm - 300mm

PLAN FOR TREE STAKING (optional)

Labels in diagram: Spacing as per plant schedule, 40mm to 100mm Caliper Tree or Coniferous Tree, Single Leader (unless multi-stem species is specified), 2mm (1/2") Braided Nylon Strap, Use three 1800mm pointed T-Bars, (staking optional), mulch, Root Flare at grade, Existing Grade, 600mm, 150mm, 300mm, 400mm, Place rootball on compacted or undisturbed subgrade, Topsoil, refer to Topsoil Specifications.

	PROJECT TITLE SPECIFICATIONS	DRAWN BY W.B./M.M.	SCALE N.T.S.
	SHEET TITLE TREE BED DETAIL	DATE 2009 10 27	SHEET NO. 26
		DESIGN BY	FILE NO.
		DATE	

4				
3				
2				
1				
NO.	ISSUE	BY	DATE	APPROD

8				
7				
6				
5				
NO.	REVISIONS	BY	DATE	APPROD

SUB - CONSULTANT
SUB - CONSULTANT

CONSULTANT

W.L.A. GROUP
LANDSCAPE ARCHITECTURE

12 Richmond Link Fort Saskatchewan AB T8L 0S2

CLIENT
DRAWING SCALE:
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DRAWN	DATE
BEW	SEPT 26, 2015
DESIGNED	DATE
BEW	SEPT 26, 2015
CHECKED	DATE
BEW	SEPT 26, 2015
ISSUED FOR DEVELOPMENT PERMIT	DATE
SEPT 30, 2015	
ISSUED FOR CONSTRUCTION	DATE

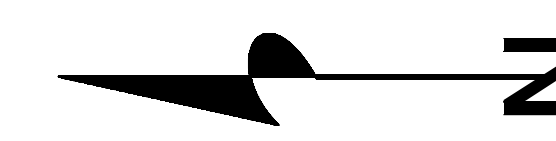
PROJECT	MULTI USE BUILDING
	1804-3A STREET SE CALGARY, ALBERTA
DRAWING	DETAILS

DPL-3

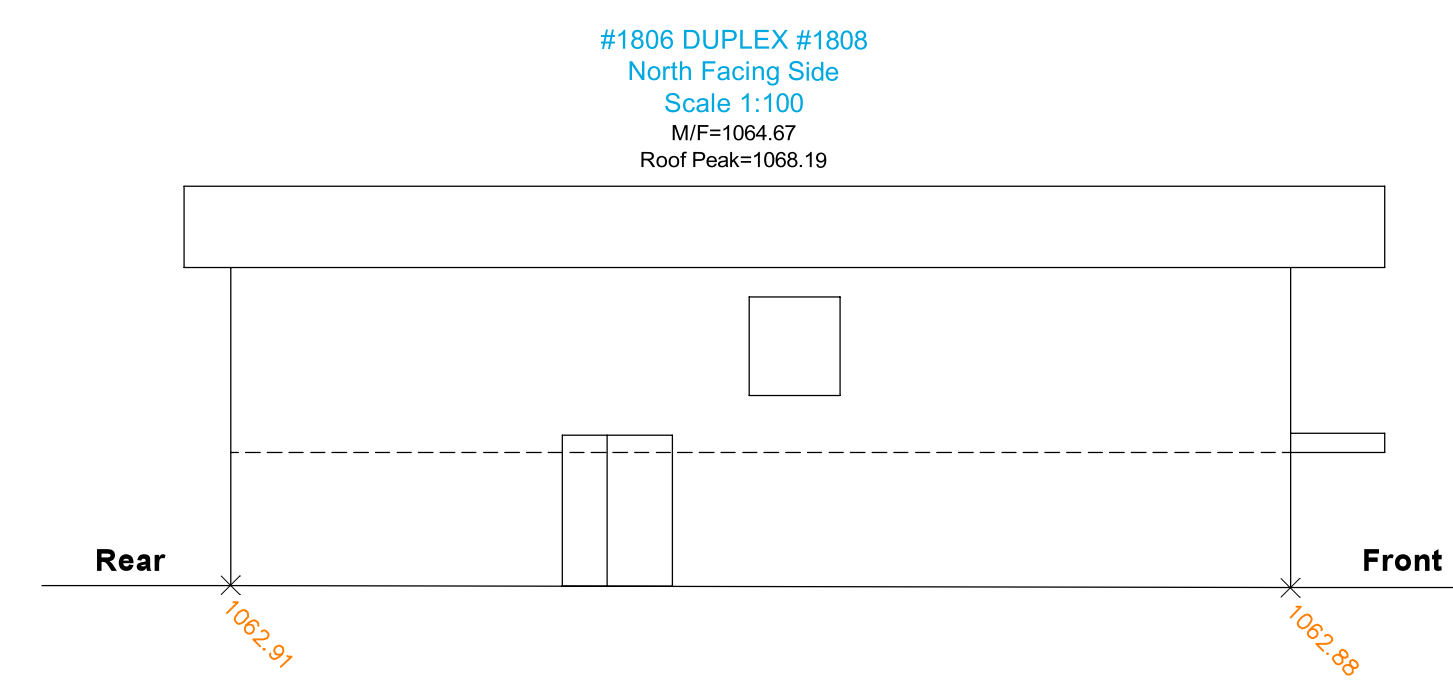
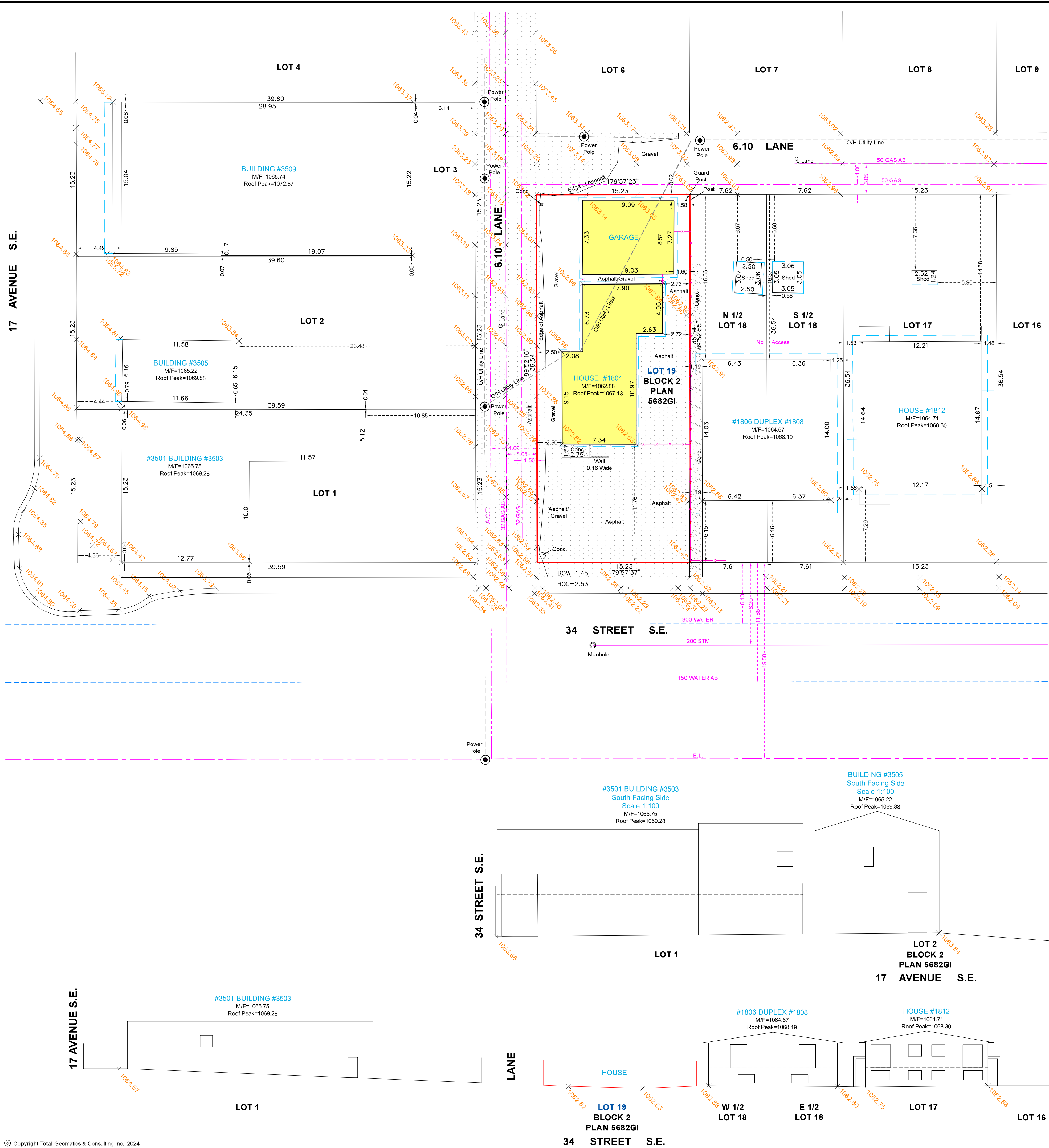
CITY OF CALGARY
ALBERTA

PLAN SHOWING
SITE SURVEY
AFFECTING

LOT 19, BLOCK 2, PLAN 5682GI
WITHIN
N.E. 1/4 SEC.9-24-29-W4M



17 AVENUE S.E.



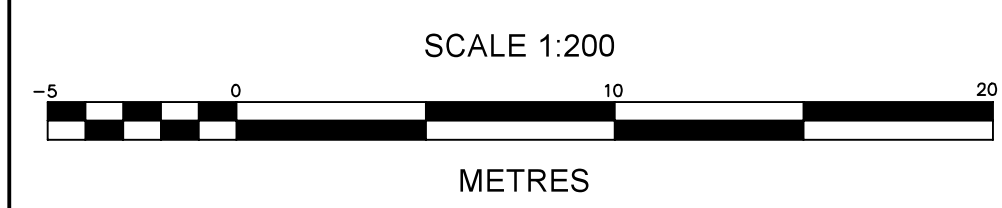
#1806 DUPLEX #1808
North Facing Side
Scale 1:100
M/F=1064.67
Roof Peak=1068.19

NOTES:
Distances shown are in metres and decimals thereof.
Location of underground utilities are copied from City of Calgary Block Profile sheets.
All elevations are geodetic elevations and are referred to ASCM124956. Elevation=1067.029

PROPERTY DESCRIPTION:

CLIENT:
[REDACTED]
MUNICIPAL ADDRESS:
1804 - 34 STREET S.E.
CALGARY, ALBERTA

DATE OF SURVEY:
APRIL 23, 2024



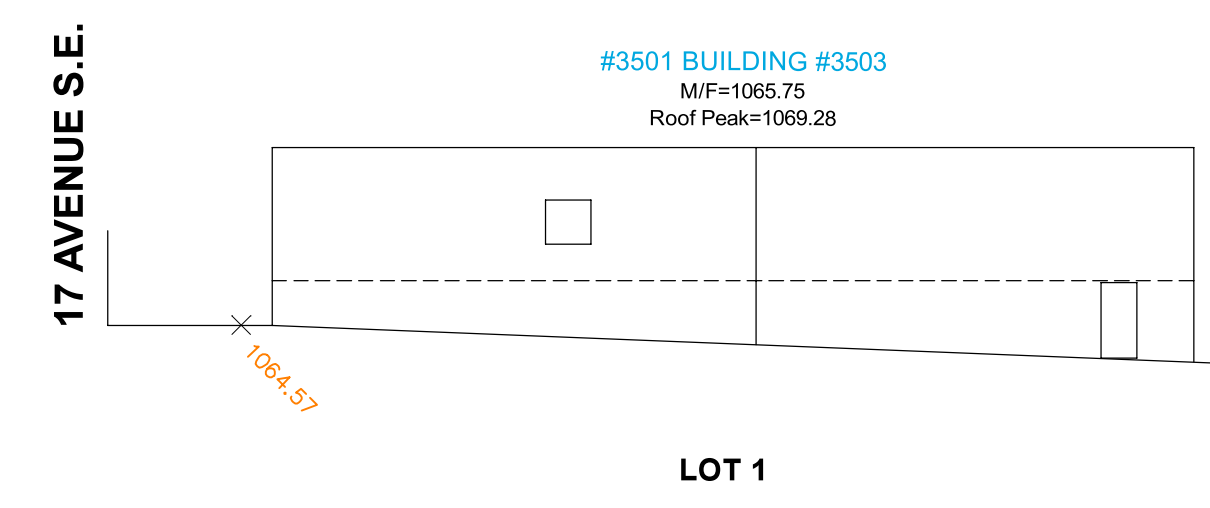
LEGEND

Spot elevations are shown thus	+
Subject Property is shown thus	Yellow shaded area
Eave Fascia are shown thus	Blue dashed line
Fences are shown thus	Red dashed line
Building foundation shown thus	Black solid line
Overhead Utilities shown thus	Black dashed line
Gas line shown thus	Purple dashed line
Sanitary Lines shown thus	Pink dashed line
Storm lines shown thus	Blue dashed line
Water lines shown thus	Blue dashed line
AGT Lines shown thus	Purple dashed line
E.L. Lines shown thus	Purple dashed line
Coniferous trees are shown thus	Green circle with cross
Deciduous trees are shown thus	Green circle with dot
Shrubs are shown thus	Green circle with horizontal lines
Tree Canopy shown thus	Green circle with vertical lines
Catch Basins shown thus	Black square with 'C'
Manhole shown thus	Black circle with 'M'
Power Poles shown thus	Black circle with 'P'
Fire Hydrant shown thus	Black circle with 'F'
Light Standards shown thus	Black circle with 'L'
Sign shown thus	Black square with 'S'

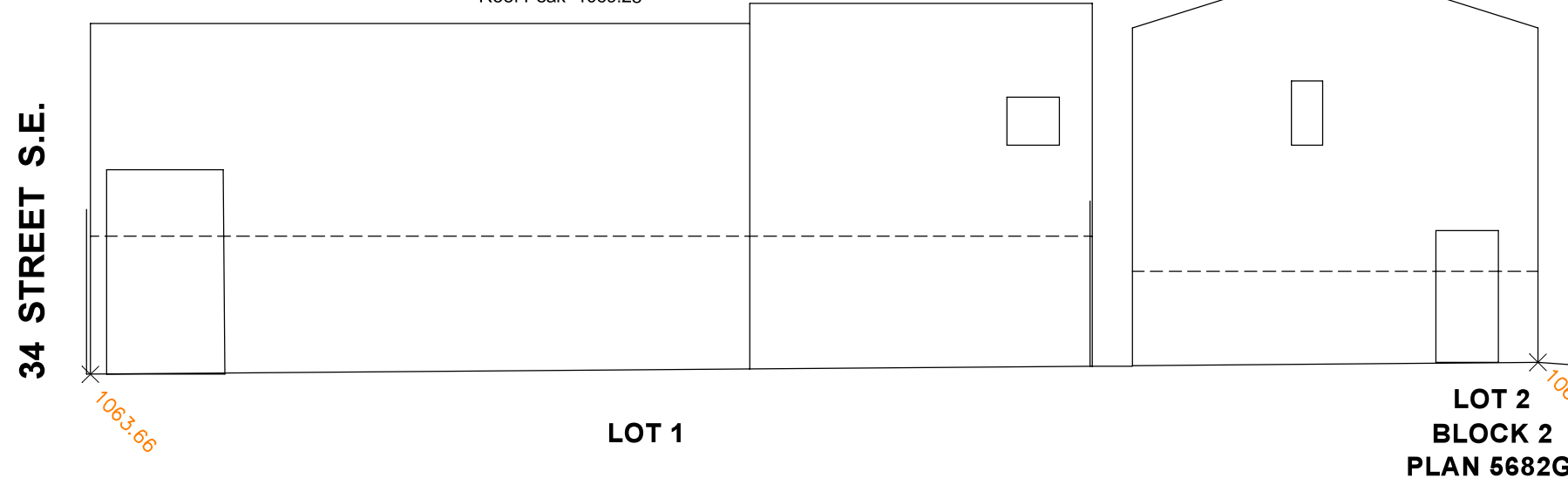
#3501 BUILDING #3503
South Facing Side
Scale 1:100
M/F=1065.75
Roof Peak=1069.28

BUILDING #3505
South Facing Side
Scale 1:100
M/F=1065.22
Roof Peak=1069.88

BUILDING #3509
South Facing Side
Scale 1:100
M/F=1065.74
Roof Peak=1072.57

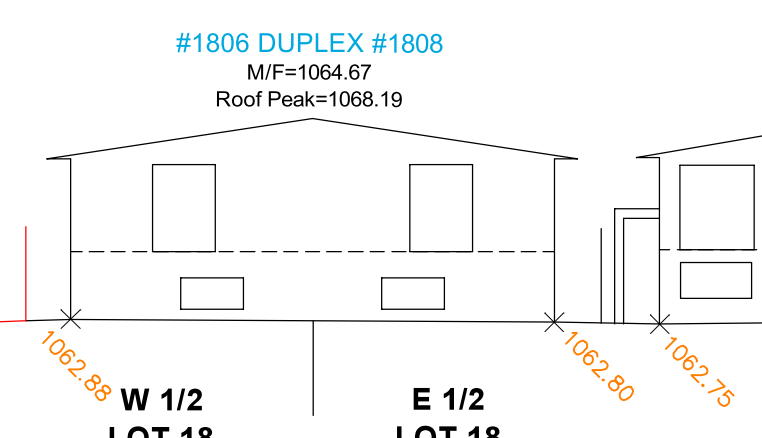


LOT 1

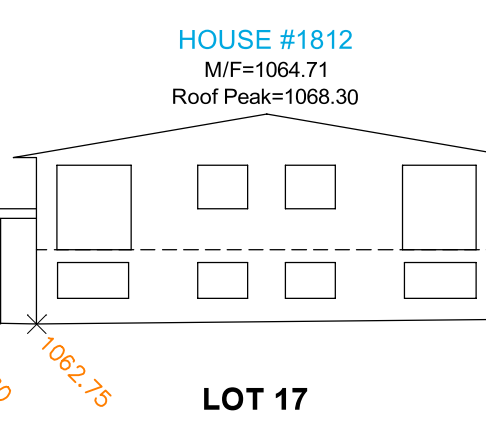


LOT 19
BLOCK 2
PLAN 5682GI

34 STREET S.E.

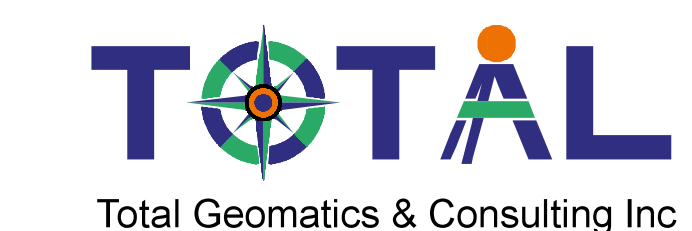


LOT 18



LOT 17

DISCLAIMER:
This plan represents best information at the time of Survey.
Total Geomatics and Consulting Inc. and its employees take
no responsibility for the location of any Underground Conduits,
Pipes or any other facilities whether shown on or Omitted from this plan.
All underground installation should be located by the
respective authorities prior to Construction.
CALL ALBERTA ONE CALL: 1-800-242-3447



NITIN BANSAL A.L.S.	TOTAL GEOMATICS & CONSULTING INC	DATE: APRIL 29, 2024
DWN BY: CD	93 ROYAL CREST VIEW N.W., CALGARY	JOB NO: TG24-0143
CK'D BY: NB	T3G SW5, ALBERTA, PH: (403) 478 3635	ACAD FILE NO: TG24-0143DP