

1804 - 34th Street SE, Calgary



SUBMITTED FOR: **DP - DTR2 Response**
DATE: **MAY 13, 2026**

SURVEY



AMENDED DRAWINGS
DP No Date Received
DP2025-05783 MAY 14 2026
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PRIME CONSULTANT:

ARCHITECTURAL

ARUP DATA ARCHITECT LTD.

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CALGARY, ALBERTA, T2P 1M6

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E-MAIL: info@adad.ca

[illegible]

3	2026-05-13	ISSUED FOR DP_DTR2 RESPONSE
2	2026-01-30	ISSUED FOR DP_DTR1 RESPONSE
1	2025-09-30	ISSUED FOR DEVELOPMENT PERMIT APPLICATION
No.	DATE	DESCRIPTION
ISSUED FOR / REVISIONS		



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ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 1705

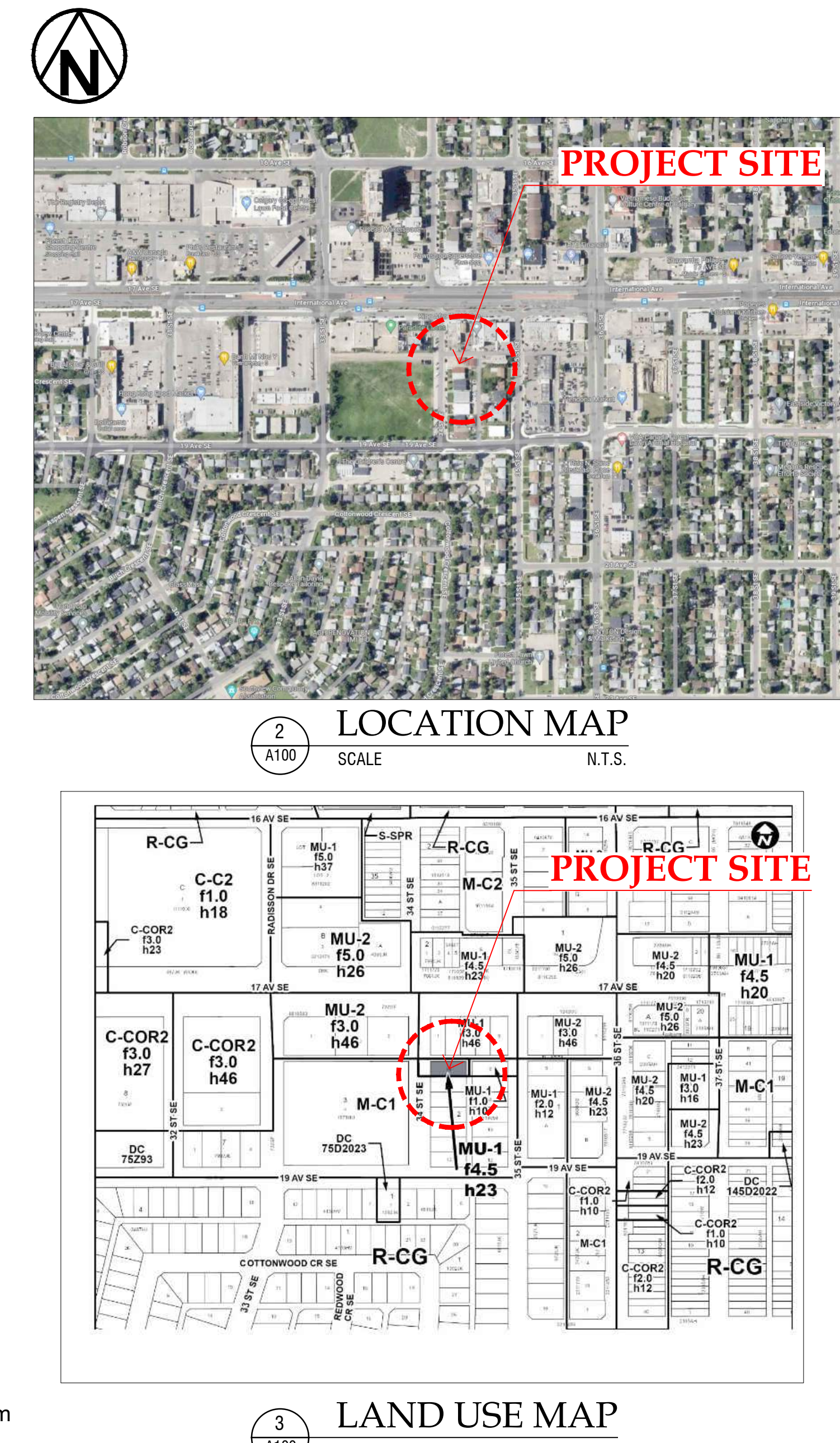
PROJECT:
**PROPOSED RESIDENTIAL
DEVELOPMENT**
CALGARY, AB

DRAWING:

COVER SHEET

DRAWING #:
1705-A-000

SCALE: N.T.S.		
DESIGN BY: AD	DRAWN BY: CS	CHECKED BY: AD



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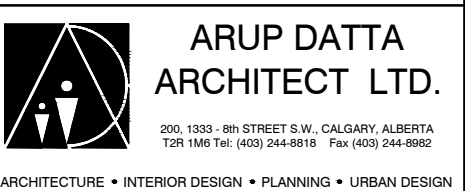
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E-MAIL: info@datta.ca

[illegible]

3	2026-06-13	ISSUED FOR DP_DTR2 RESPONSE
2	2026-01-30	ISSUED FOR DP_DTR1 RESPONSE
1	2025-09-30	ISSUED FOR DEVELOPMENT PERMIT APPLICATION

No.	DATE	DESCRIPTION
ISSUED FOR / REVISIONS 		

PROJECT #: 1705

PROJECT:
**PROPOSED RESIDENTIAL
DEVELOPMENT**
CALGARY, AB

DRAWING:

SITE PLAN

DRAWING #:
1705-A-100

SCALE: 1:100 M		
DESIGN BY: AD	DRAWN BY: CS	CHECKED BY: AD

\\1705 1804-34 Street SE Calgary (Surinder Randhawa\\Cad\\3 Development Permit\\Working\\A-100 - Site Plan.dwg 12:33:14 14/05/2026 ChrisSagooqat

1
A-101
BOLLARD DETAIL
SCALE 1:30

2
A-101
CURB DEPRESSION DETAIL
SCALE 1:30

3
A-101
CURB DEPRESSION SECTION DETAIL
SCALE 1:30

4
A-101
WHEEL STOP DETAIL
SCALE 1:30

5
A-101
"U" RACK - CLASS 2 BIKE PARKING
SCALE 1:30

6
A-101
EXTERIOR STAIR DETAIL
SCALE 1:30

152mm Ø STEEL BOLLARD
CONCRETE FILLED c/w
HDPE COVER (YELLOW)

GRADE

SET BOLLARD IN 400mm Ø
HOLE. FILL WITH 20MPa
CONCRETE

CONCRETE SIDEWALK
6mm DEEP TOOLED JOINTS
@ 19mm o.c. 300mm WIDE
BAND

PAINT TOP AND FACE OF
CURB TWO COATS OF SLIP
RESISTANT TRAFFIC
YELLOW (600mm BEYOND
TOP OF SLOPE)

6mm DEEP TOOLED JOINTS
@ 150mm o.c.

PROVIDE 45° BEVELED
EDGE c/w 13mm LIP

TOP OF ASPHALT PAVING

4" CONCRETE RAMP c/w
15m REINFORCED BAR AT
460mm o.c. BOTH WAYS

1530

305

95

30

20

100mm

1-10M ROD

1-10M ROD

1830mm MIN.

NOTES:
WHERE CURB STOP IS OVER:
ASPHALT SURFACE - RODS TO BE 300mm LONG MIN.
GRAVEL SURFACE - RODS TO BE 500mm LONG MIN.

700

370

865

U-RACK BIKE RACK. FLANGE MOUNT
BY GLOBAL INDUSTRIAL CANADA
(OR EQUIVALENT)
FASTEN TO CONCRETE W/ 4 ANCHOR
BOLTS, c/w LEVELING WASHERS AS
REQUIRED

SLOPE SIDEWALK MIN 2%

PRE-FINISHED ALUMINUM HANDRAIL, TYPICAL

1083.65

950 TYP.

3 EQ. RISE

3 EQ. RUN

SLOPE SIDEWALK TOWARD
PROPERTY LINE MIN 2%

NOTE: DETAIL SHOWN IS A GUIDE ONLY,
CONTRACTOR TO REFER TO THE LATEST
ALBERTA ACCESSIBILITY GUIDELINES'

7
A-101
ORGANICS ENCLOSURE DETAIL
SCALE 1:20

8
A-101
WASTE & RECYCLING DETAIL
SCALE 1:20

Note:
Staging Area will be designed to support a minimum weight of 25,000 kg (equivalent to a loaded collection vehicle).

9
A-101
DRIVEWAY ENTRANCE DETAIL
SCALE 1:50

7
A-101
ORGANICS ENCLOSURE DETAIL
SCALE 1:20

8
A-101
WASTE & RECYCLING DETAIL
SCALE 1:20

STAGING AREA

EDGE OF LANE

ORGANICS
- 2 YARD BIN
(2'-10 x 6'-8")

TYPE-A WALL PROTECTION

295

2400

280

400

100

1045

865

1045

500

100

PLAN

STAGING AREA

EDGE OF LANE

GARBAGE
- 3 YARD BIN
(3'-9" x 6'-8")

RECYCLING
- 3 YARD BIN
(3'-9" x 6'-8")

TYPE-A WALL PROTECTION

370

800

3000

925

245

2000

600

1450

500

1450

725

100

4845

PLAN

PROPERTY LINE
(EDGE OF LANE)

7.20m DRIVE AISLE

1000

9200

7200

1000

1070

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-05783 MAY 14 2026
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E-MAIL: info@arup.ca

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3	2025-05-13	ISSUED FOR DP_01R2 RESPONSE
2	2025-01-30	ISSUED FOR DP_01R1 RESPONSE
1	2025-09-30	ISSUED FOR DEVELOPMENT PERMIT APPLICATION

ISSUED FOR / REVISIONS

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ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 1705

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
CALGARY, AB

DRAWING:
SITE DETAILS

DRAWING #:
1705-A-101

SCALE: AS SHOWN

DESIGN BY: AD DRAWN BY: CS CHECKED BY: AD

WA\1705-1805-24 Street SE Calgary (Sunider, Banffhead) Cdn\3 Development Permit\Working\A-101 - Site Plan.dwg 14:27:12 12/05/2026 C:\Users\arup

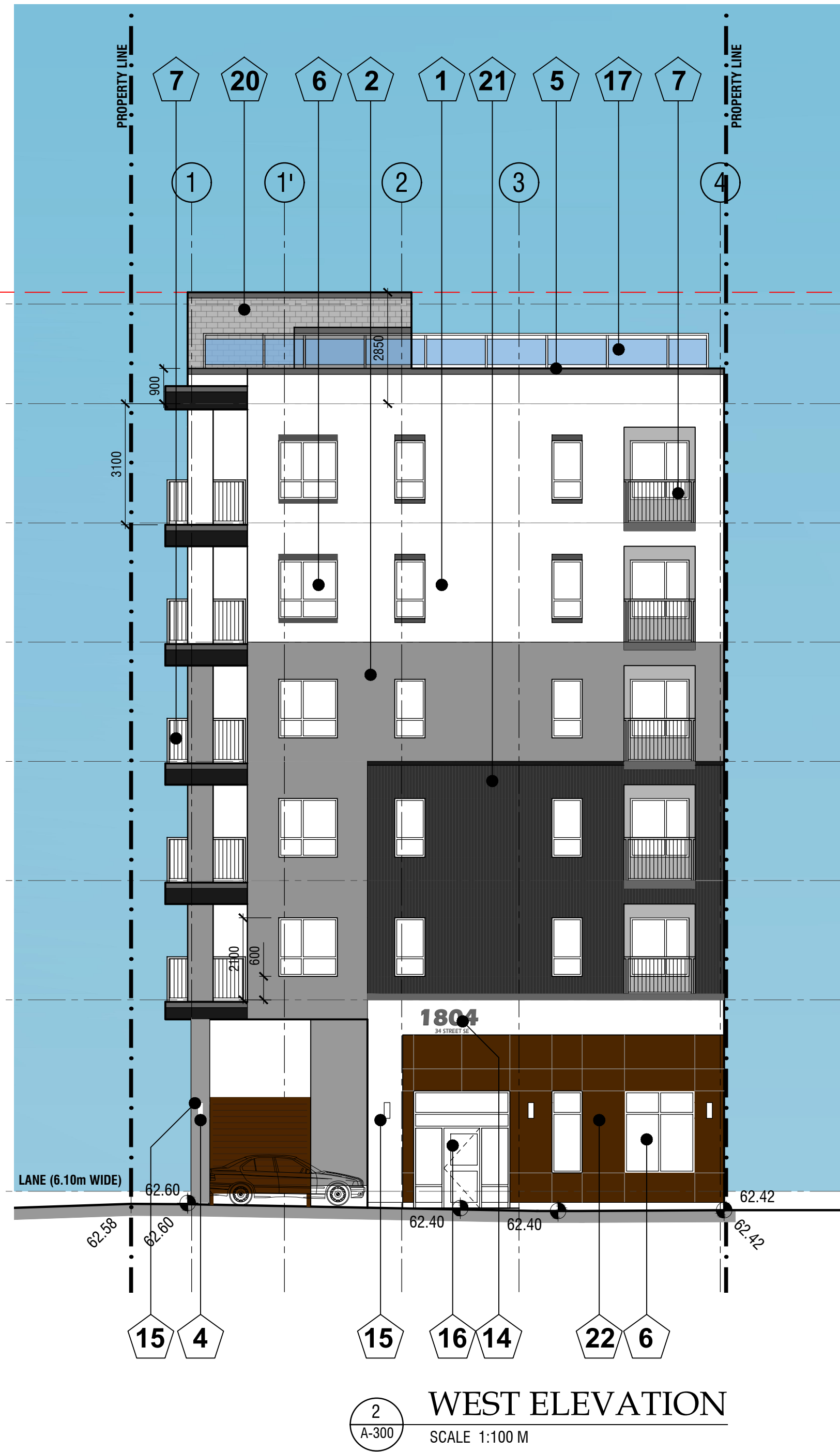
WA\1705-1804-24 Street SE Calgary (Sunrise Residences) Cadd\3 Development Permit\Working\A-300 - Building Elevations.dwg 12/31/24 14/05/2024 ChrisSengul



1 NORTH ELEVATION
A-300 SCALE 1:100 M

EXTERIOR FINISHING MATERIAL LEGEND:

1. ACRYLIC-COATED STUCCO/EIFS; COLOUR - OFF WHITE
2. ACRYLIC-COATED STUCCO/EIFS; COLOUR - GREY
3. ACRYLIC-COATED STUCCO/EIFS; COLOUR - LIGHT GREY
4. PAINTED CONCRETE (SMOOTH); COLOUR - GREY
5. PRE-FINISHED METAL FLASHING; COLOUR - DARK GREY
6. GLAZING UNIT WITH ALUM. FRAMES; COLOUR - GREY
7. POWDER-COATED ALUMINUM GUARDRAIL/HANDRAIL; COLOUR - GREY
8. ACRYLIC-COATED STUCCO/EIFS FASCIA; COLOUR - GREY
9. SECURITY SCREEN; PAINTED WOOD SLATS; COLOUR - DARK CEDAR
10. METAL DOOR; COLOUR - GREY
11. WOOD PLANKS / COMPOSITE PLANKS; COLOUR - BROWN / WOODLOOK
12. ACRYLIC-COATED STUCCO/EIFS WINDOW TRIM; COLOUR - GREY
13. PRE-FINISHED VERTICAL METAL SLATS; COLOUR - WOODLOOK
14. BUILDING SIGNAGE - BACK LIT DIMENSIONAL LETTER; COLOUR - CLEAR ANODIZED ALUMINUM
15. EXTERIOR LIGHTING; COLOUR - DARK GREY
16. ALUM. FRAME GLAZED ENTRANCE DOOR
17. ALUM. FRAMED GLAZED GUARDRAIL; COLOUR - WHITE
18. HORIZONTAL CORRUGATED METAL PANEL; COLOUR - GREY
19. ACRYLIC-COATED STUCCO/EIFS; COLOUR - DARK GREY
20. BRICK VENEER; COLOUR - GREY
21. VERTICAL CORRUGATED METAL PANEL; COLOUR - DARK GREY
22. ACRYLIC-COATED STUCCO/EIFS; COLOUR - LIGHT BROWN
23. WROUGHT IRON FENCE; COLOUR - DARK GREY



2 WEST ELEVATION
A-300 SCALE 1:100 M

DEVELOPMENT
PERMIT
DECISION
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ON THIS PLAN

AMENDED DRAWINGS
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DP2025-05783 MAY 14 2026
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MUNICIPAL ADDRESS:
- 1804 - 34th Street SE, Calgary, AB
LEGAL ADDRESS:
- Lot 19, Block 2, Plan 5682GI

NO.	DATE	DESCRIPTION
3	2025-05-13	ISSUED FOR DP_0702 RESPONSE
2	2025-01-30	ISSUED FOR DP_0701 RESPONSE
1	2025-09-30	ISSUED FOR DEVELOPMENT PERMIT APPLICATION

ISSUED FOR / REVISIONS △

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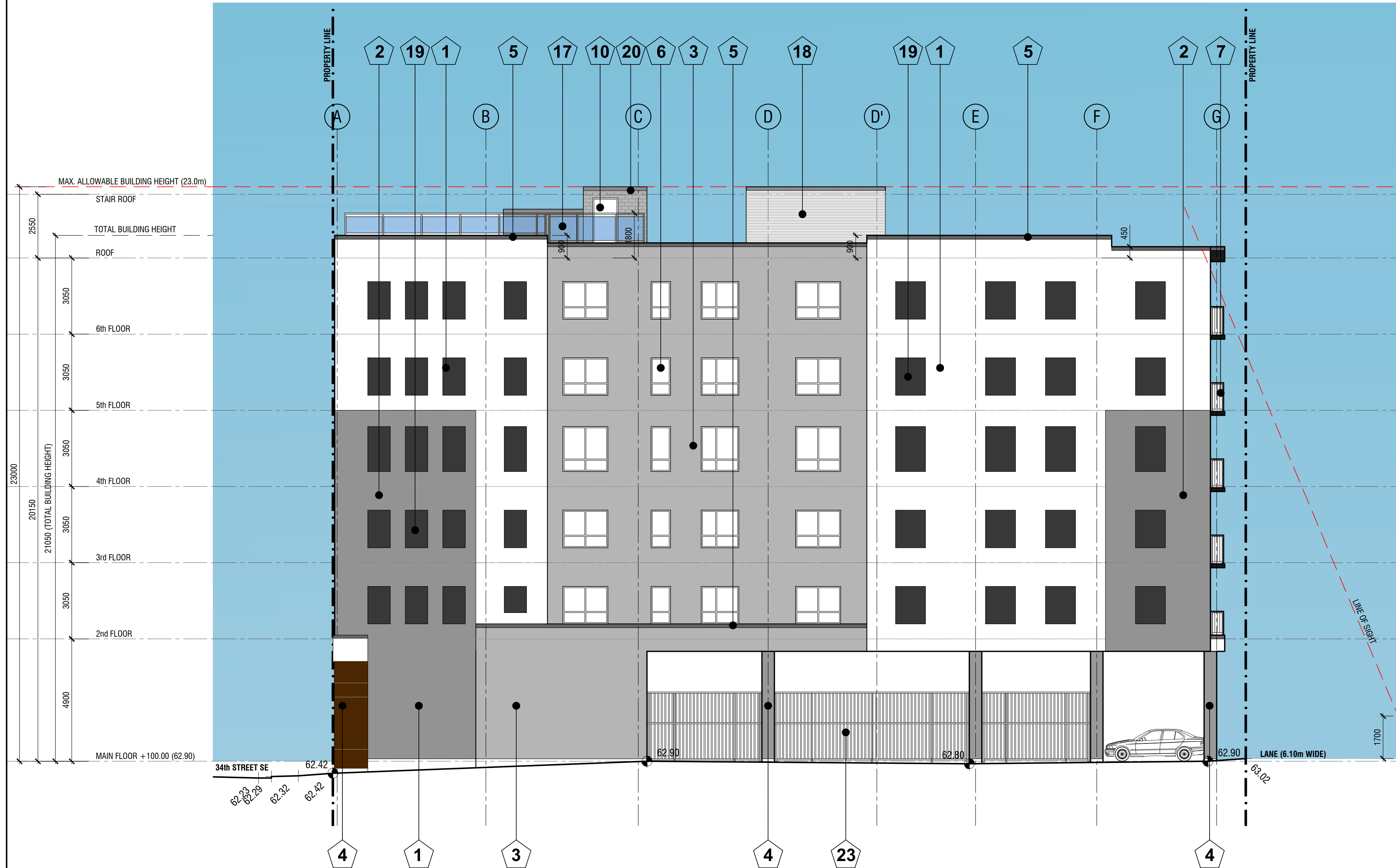
PROJECT #: 1705
PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
CALGARY, AB

DRAWING:
BUILDING ELEVATIONS

DRAWING #:
1705-A-300

SCALE: 1:100 M
DESIGN BY: AD
DRAWN BY: CS
CHECKED BY: AD

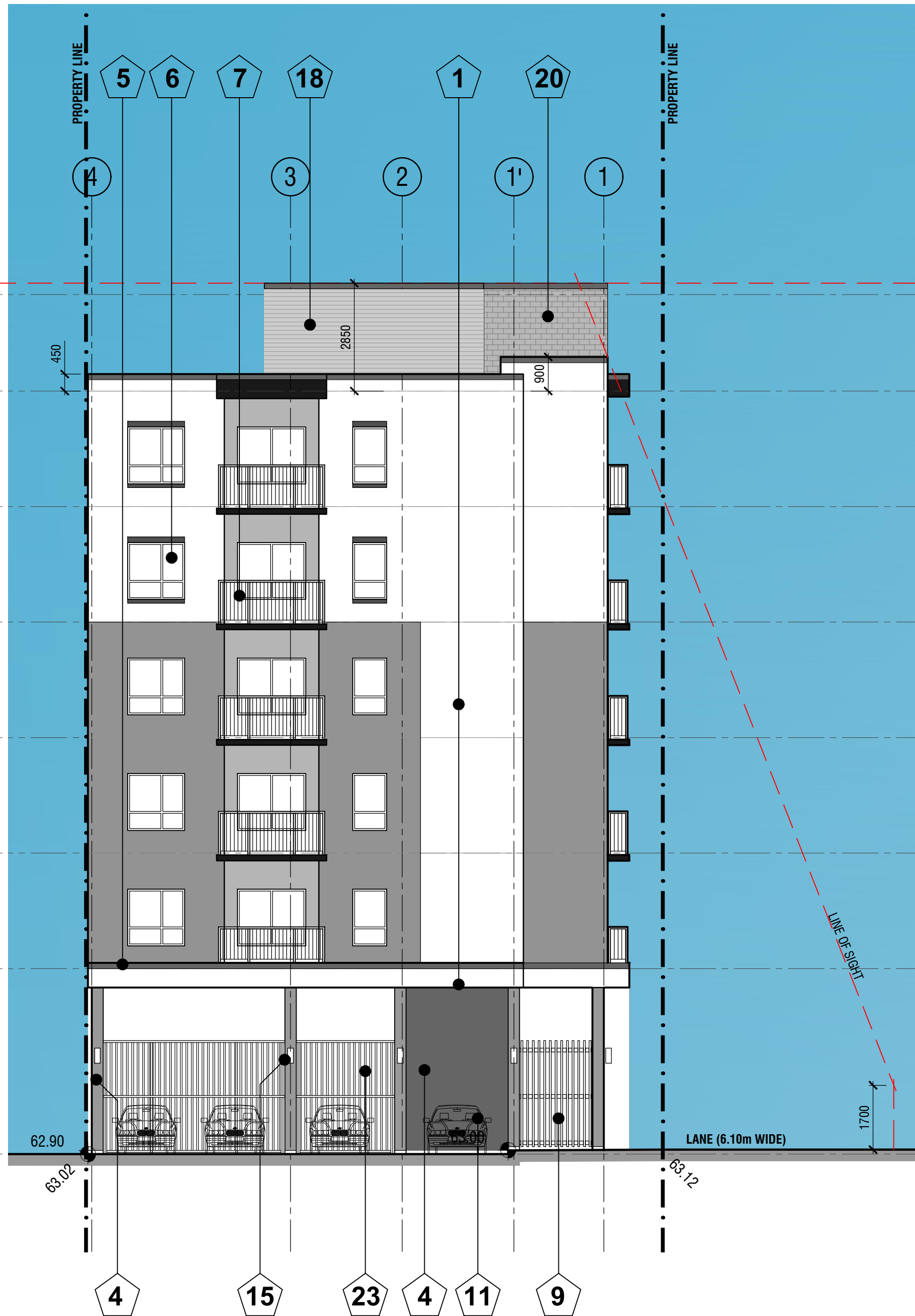
WA\1705-1804-24 Street SE Calgary (Sunrise, Sunrise) C:\Users\Bartosz\OneDrive\Documents\1705-1804-24 Street SE Calgary (Sunrise, Sunrise) C:\Users\Bartosz\OneDrive\Documents\1705-1804-24 Street SE Calgary (Sunrise, Sunrise) C:\Users\Bartosz\OneDrive\Documents\1705-1804-24 Street SE Calgary (Sunrise, Sunrise)



1 SOUTH ELEVATION
A-301 SCALE 1:100 M

EXTERIOR FINISHING MATERIAL LEGEND:

1. ACRYLIC-COATED STUCCO/EIFS; COLOUR - OFF WHITE
2. ACRYLIC-COATED STUCCO/EIFS; COLOUR - GREY
3. ACRYLIC-COATED STUCCO/EIFS; COLOUR - LIGHT GREY
4. PAINTED CONCRETE (SMOOTH); COLOUR - GREY
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20. BRICK VENEER; COLOUR - GREY
21. VERTICAL CORRUGATED METAL PANEL; COLOUR - DARK GREY
22. ACRYLIC-COATED STUCCO/EIFS; COLOUR - LIGHT BROWN
23. WROUGHT IRON FENCE; COLOUR - DARK GREY



2 EAST ELEVATION
A-301 SCALE 1:100 M

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LEGAL ADDRESS:
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No.	DATE	DESCRIPTION
1	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
2	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
3	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
4	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
5	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
6	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
7	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
8	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
9	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
10	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
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21	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
22	2025-05-13	ISSUED FOR DP, 2102 RESPONSE
23	2025-05-13	ISSUED FOR DP, 2102 RESPONSE

ISSUED FOR / REVISIONS

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PROJECT #: 1705

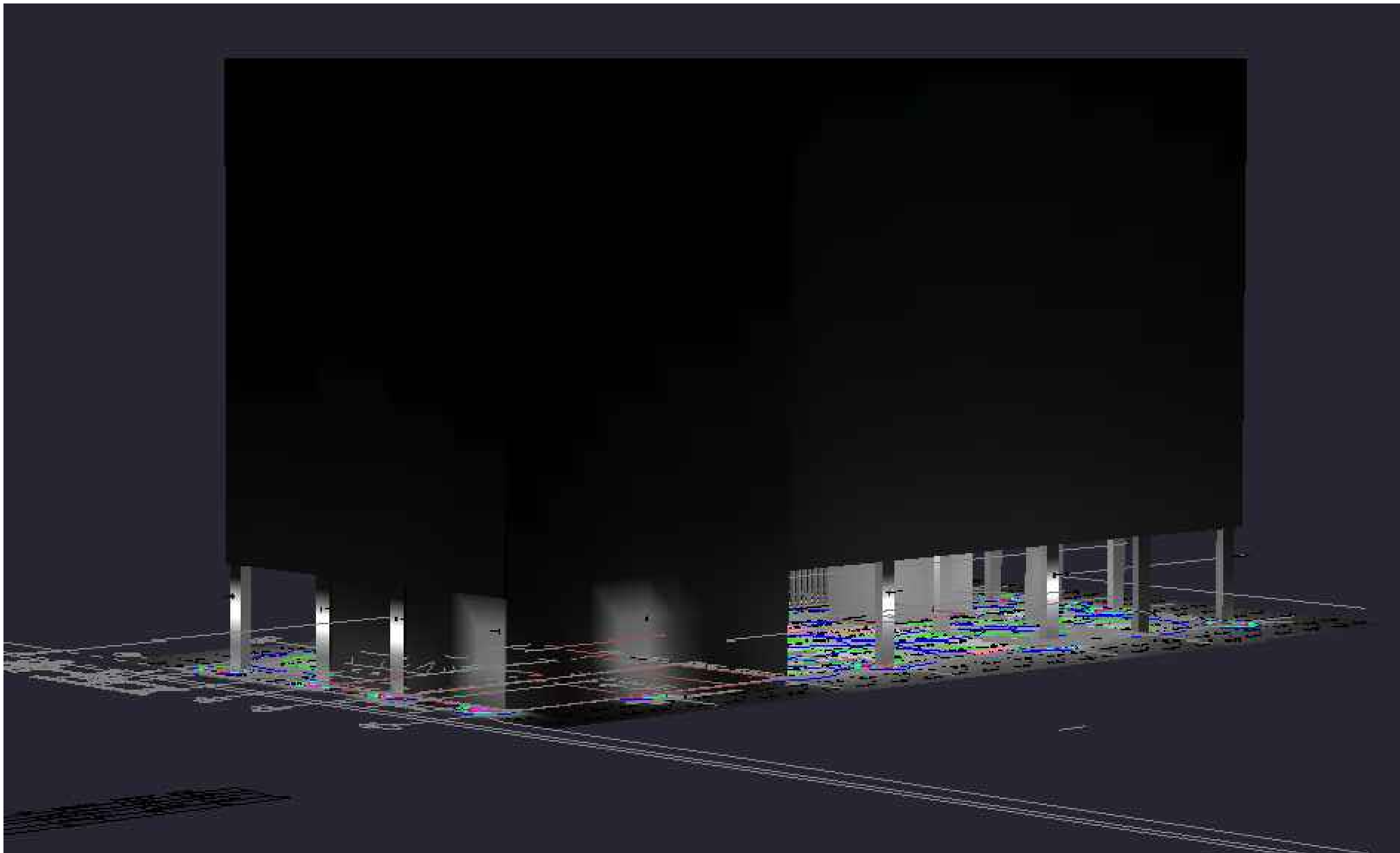
PROPOSED RESIDENTIAL DEVELOPMENT

DRAWING: BUILDING ELEVATIONS

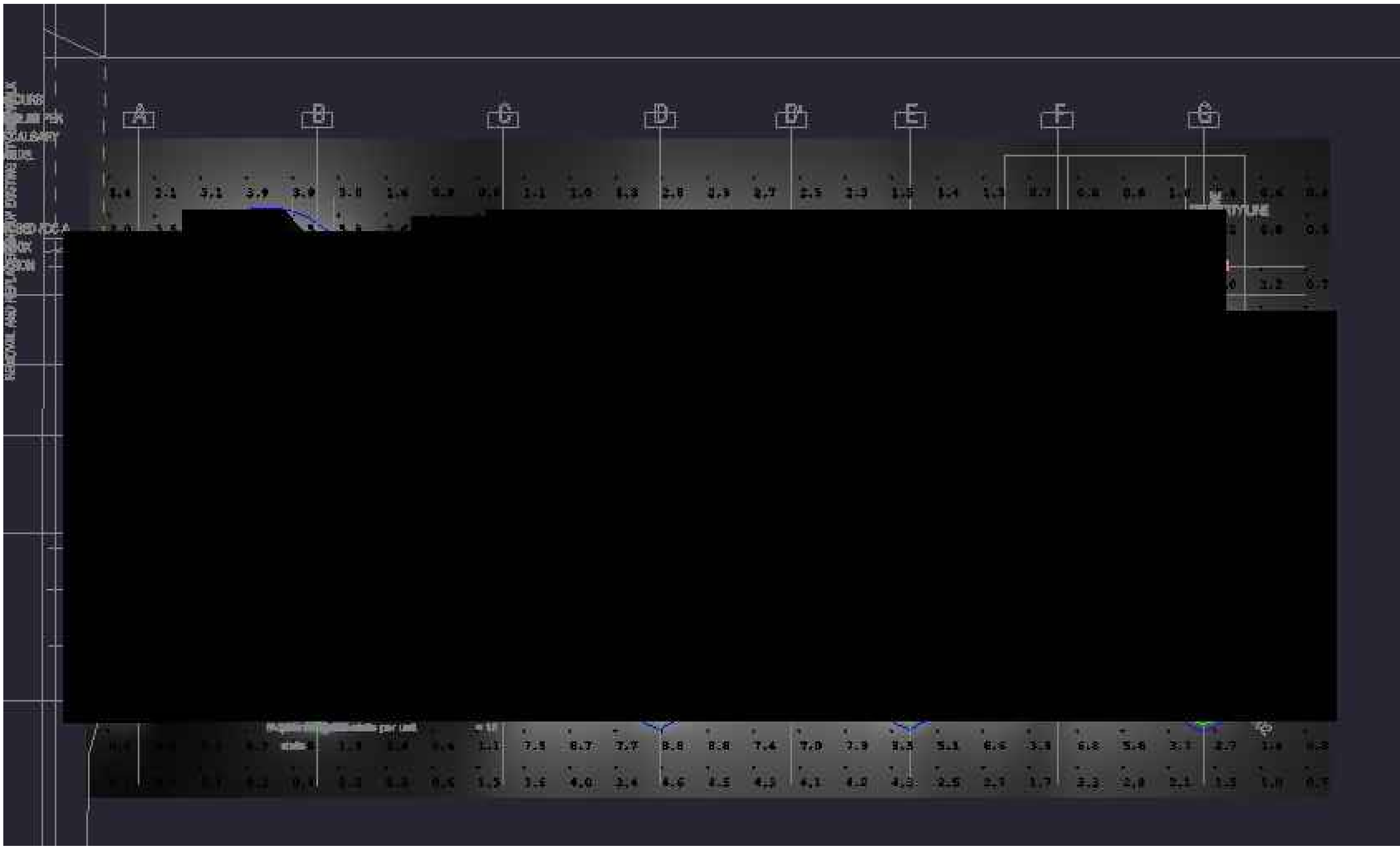
DRAWING #: 1705-A-301

SCALE: 1:100 M

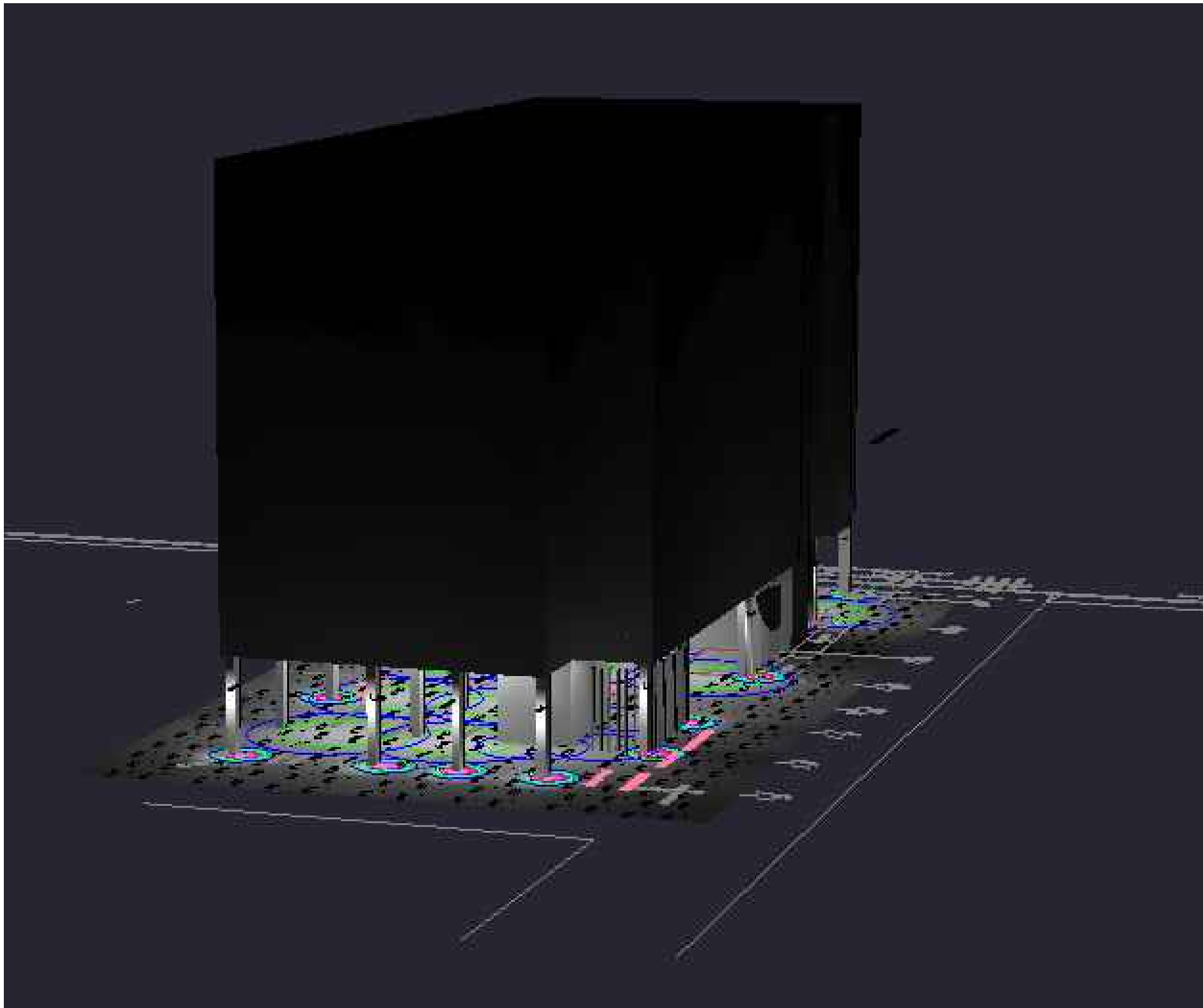
DESIGN BY: AD DRAWN BY: CS CHECKED BY: AD



01
E004 SITE PLAN - LIGHTING - RENDERING 1
SCALE: 1:100



02
E004 SITE PLAN - LIGHTING - RENDERING 2
SCALE: 1:100



03
E004 SITE PLAN - LIGHTING - RENDERING 3
SCALE: 1:100

DEVELOPMENT
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EMBE
Consulting Engineers Inc.
121 188 AVENUE SE, CALGARY AB T2S 1G1
403-465-2277 | info@embeconsulting.ca

No.	DATE	DESCRIPTION
3	2026-05-15	DEVELOPMENT PERMIT
2	2026-01-15	DEVELOPMENT PERMIT
1	2025-09-20	DEVELOPMENT PERMIT

ISSUED FOR / REVISIONS

ARUP DATTA ARCHITECT LTD.
357 - 17th AVENUE S.W. CALGARY, ALBERTA
T2S 0A5 TEL: (403) 244-8818 FAX: (403) 244-8882

ARCHITECTURE • INTERIOR DESIGN • PLANNING • URBAN DESIGN

PROJECT #: 25194

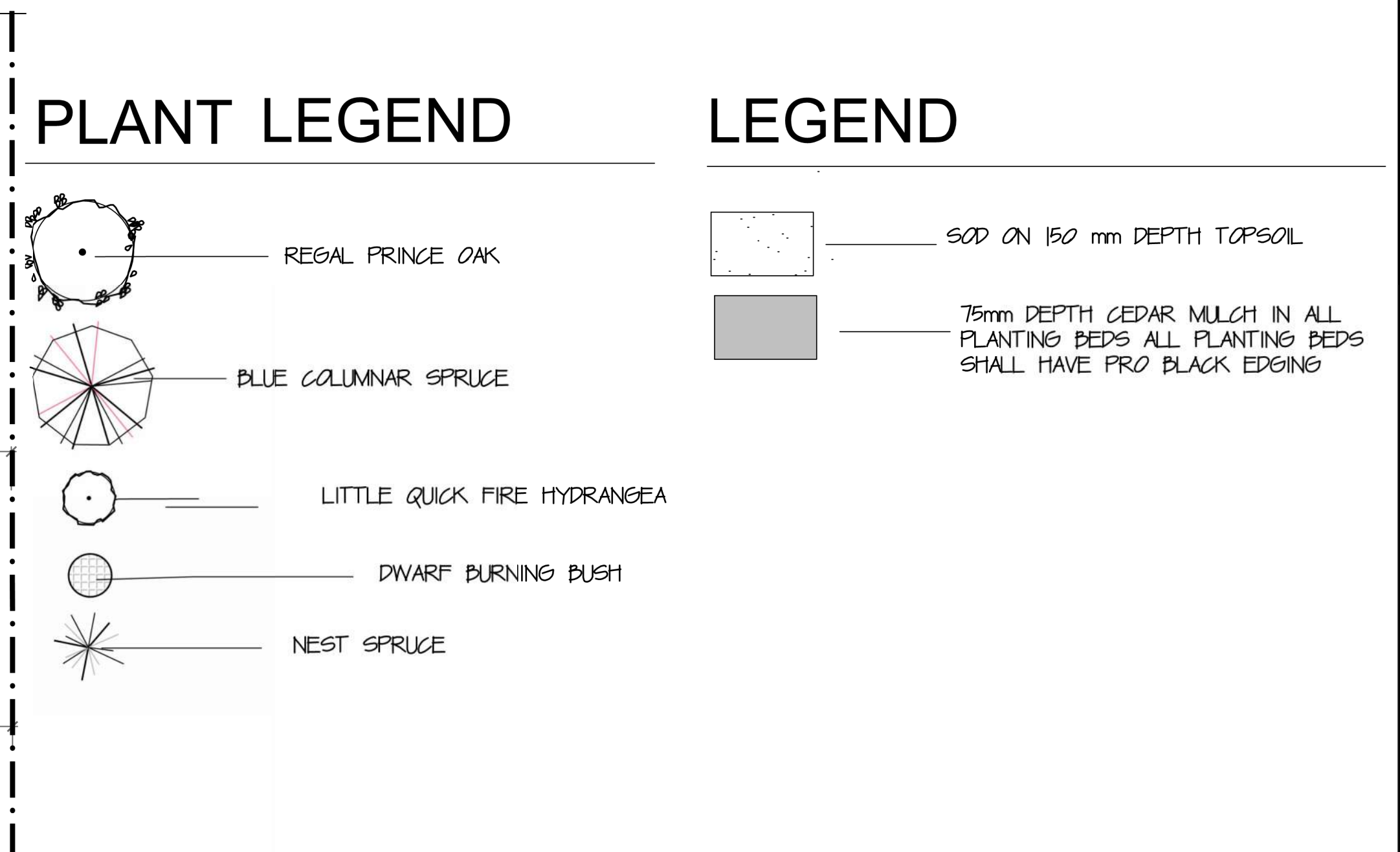
PROJECT:
34th AVENUE
RESIDENTIAL
DEVELOPMENT
CALGARY, AB

DRAWING:
RENDERINGS &
SCHEDULES

DRAWING #:
E004

SCALE: AS DRAWING

DESIGN BY: RH	DRAWN BY: RH	CHECKED BY: DK
------------------	-----------------	-------------------



PROJECT	
MULTI USE BUILDING 1804-34 STREET SE CALGARY, ALBERTA	
DRAWING	
LANDSCAPE PLAN	DPL-1

SITE FURNITURE SCHEDULE

ITEM	QTY.	MANUFACTURER	STYLE	COLOUR	INSTALLATION
BENCH	4	WISHBONE INDUSTRIES	RUTHERFORD BENCH RAL-6	SAND SURFACE BLACK METAL	SURFACE MOUNT
GARBAGE CONTAINER	1	WISHBONE INDUSTRIES	URBAN FORM UFTR-30	SAND SURFACE BLACK METAL	SURFACE MOUNT
PICNIC TABLE	2	WISHBONE INDUSTRIES	RUTHERFORD RPTSF-6 REG	SAND SURFACE BLACK METAL	SURFACE MOUNT
PLANTER 1	3	WISHBONE INDUSTRIES	PLANTER UFSW 38S	SAND SURFACE BLACK METAL	SURFACE MOUNT
PLANTER 2	5	WISHBONE INDUSTRIES	RUTHERFORD RPTSF-6 REG	SAND SURFACE BLACK METAL	SURFACE MOUNT



BENCH WITH BACK

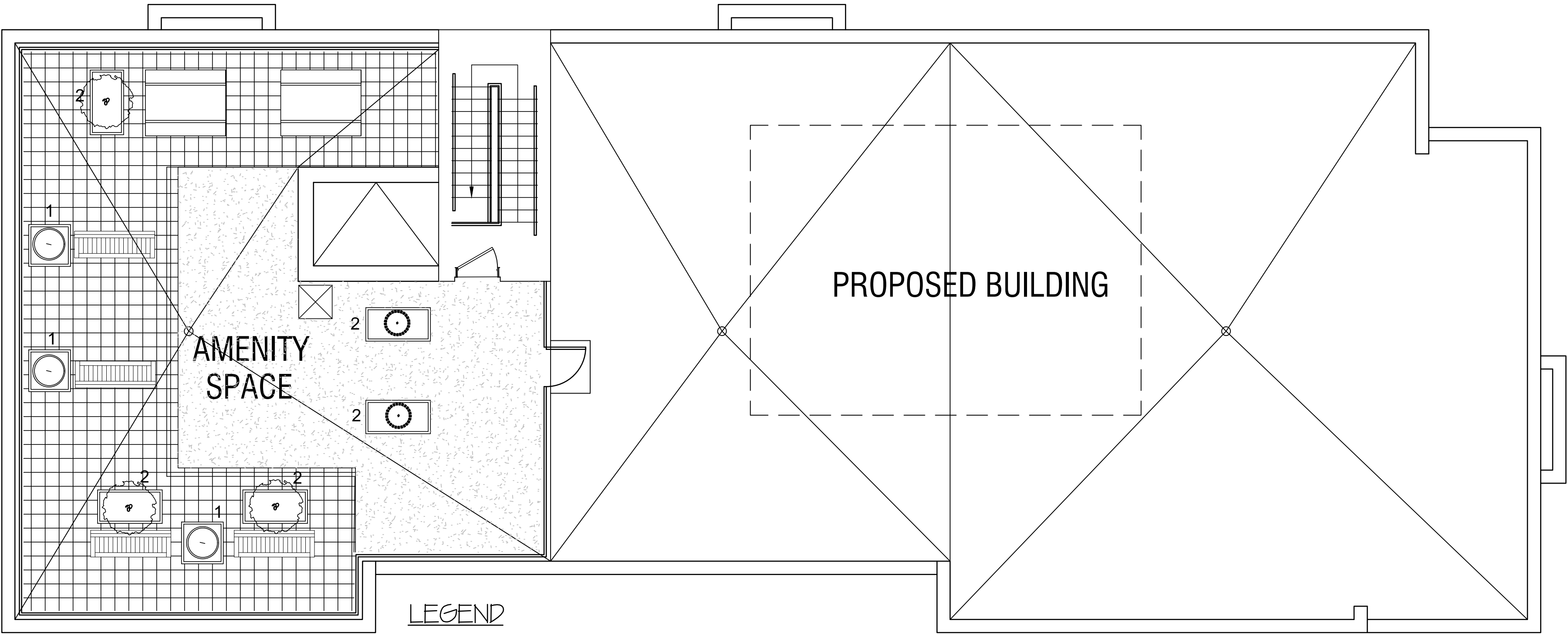


Shown with Optional
Hands Free Foot Pedal

GARBAGE CONTAINER



PICNIC TABLE



PLANT LEGEND

- 1 GOLDEN NUGGET BARBERRY
- 2 BLUE ARROW UPRIGHT JUNIPER
- 3 PATRIOT HOSTA
- 4 TREE FORM PEE GEE HYDRANGEA

LEGEND

- SMALL PLANTER
- LARGE PLANTER
- PICNIC TABLE
- BENCH WITH BACK
- GARBAGE CONTAINER
- CONCRETE PAD
- STAMPED CONCRETE COLOR TBD

PLANT LIST-ROOF ONLY

QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
SHRUBS				
10	GOLDEN NUGGET BARBERRY	BARBERRY THUNB. GOLDEN NUGGET	450 mm HT	POTTED
2	BLUE ARROW UPRIGHT JUNIPER	JUNIPERUS SCOP. BLUE ARROW	1200 mm HT	POTTED
3	TREE FORM PEE GEE HYDRANGEA	HYDRANGEA PANICULATA PEE GEE	1200 mm HT.	POTTED
PERENNIALS				
3	PATRIOT HOSTA	HOSTA PATRIOT	3 GAL	CONTAINER

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

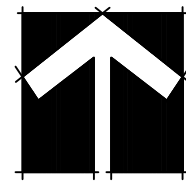
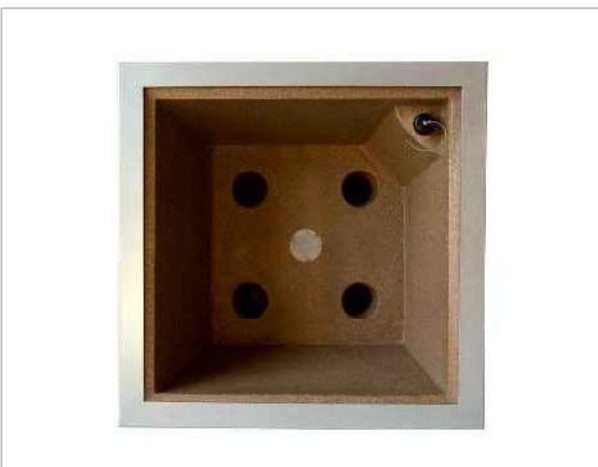
AMENDED DRAWINGS
DP No
DP2025-05783
Date Received
MAY 14 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



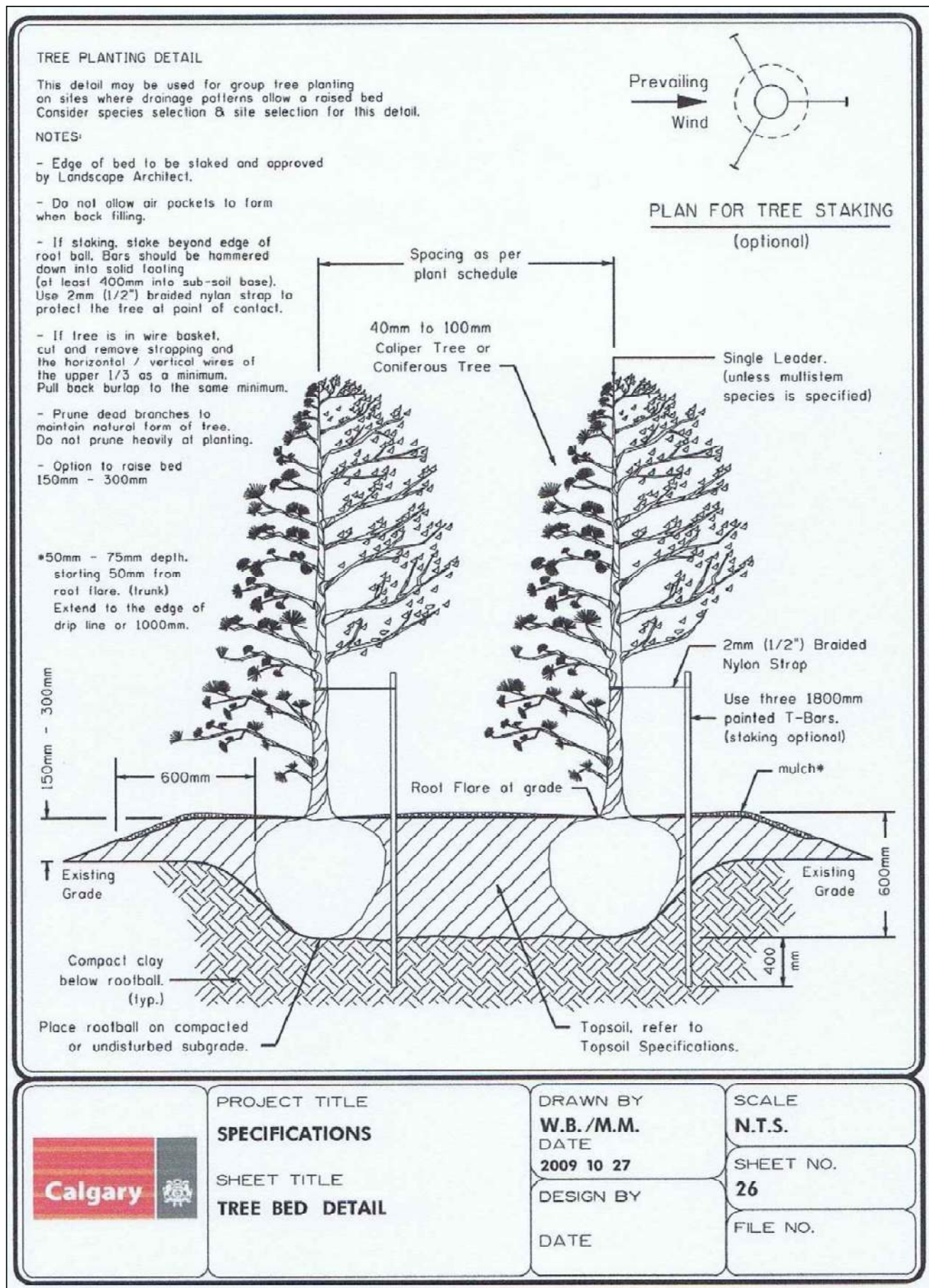
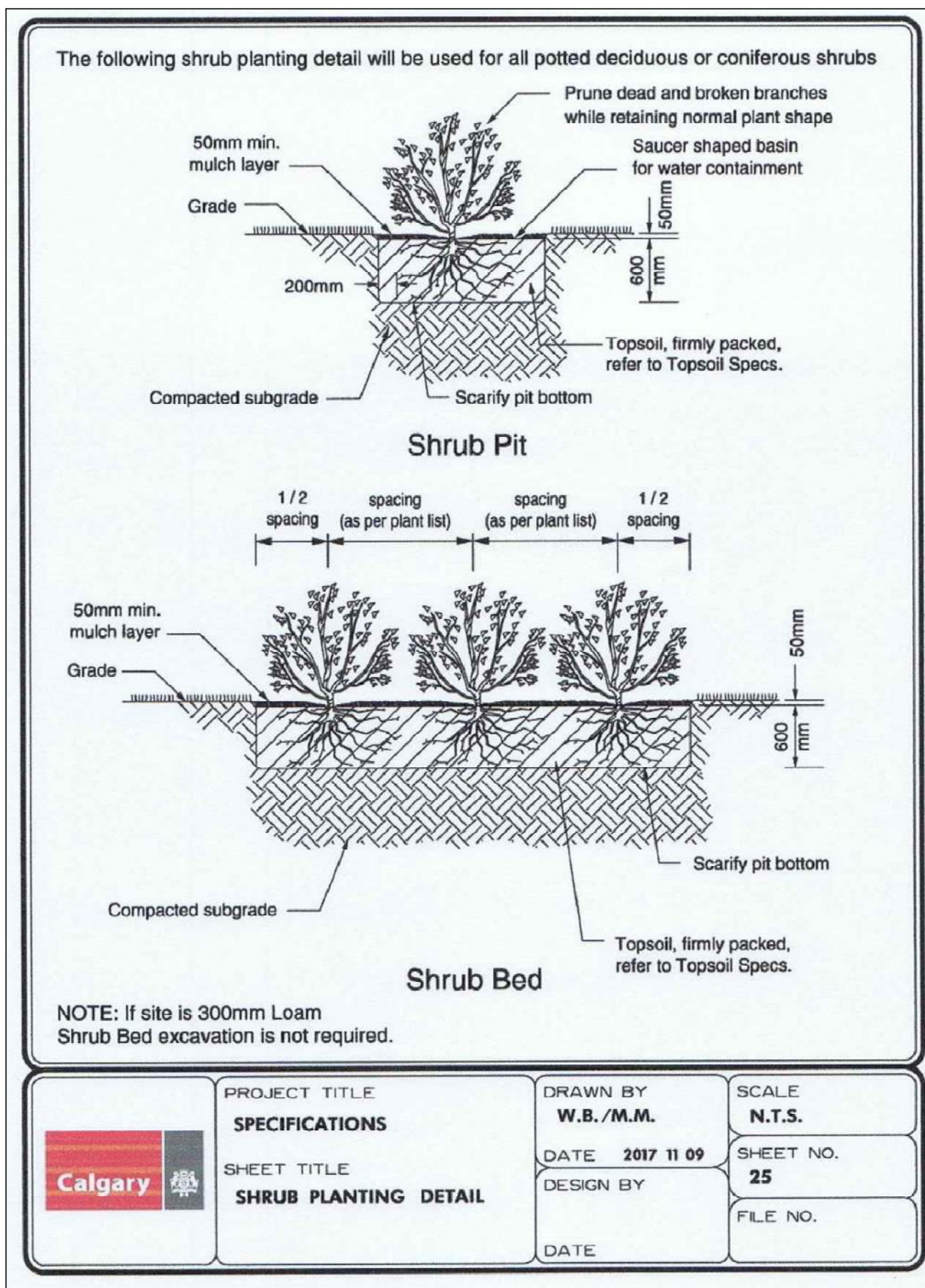
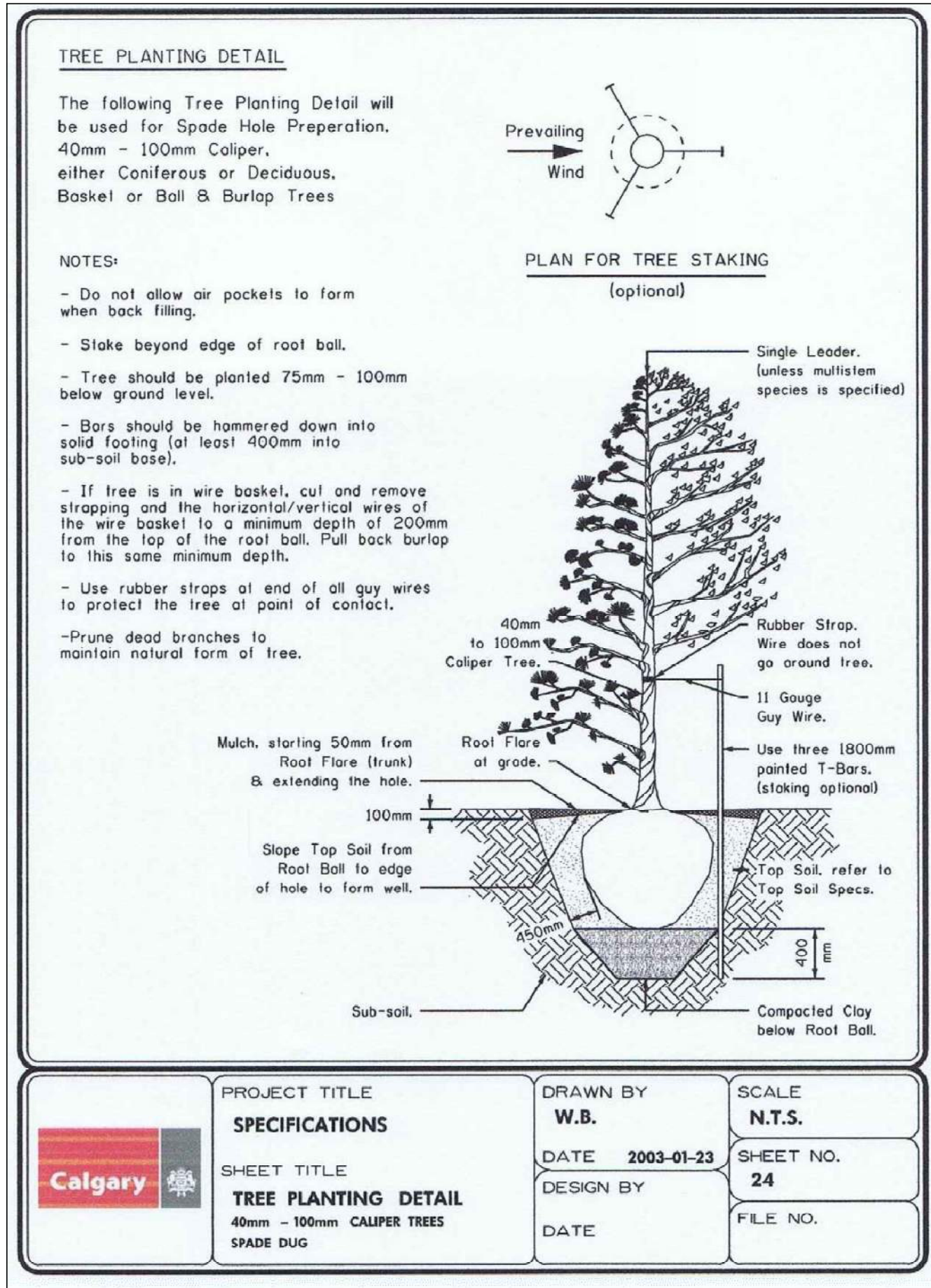
LARGE PLANTER



SMALL PLANTER



4					8					SUB - CONSULTANT	CONSULTANT The Alberta Association of Landscape Architects Bruce C. Williams	CLIENT	DRAWN BEW JAN 14, 2016	DATE	PROJECT MULTI USE BUILDING 1804-34 STREET SE CALGARY, ALBERTA
3					7					SUB - CONSULTANT	J.L.A. GROUP LANDSCAPE ARCHITECTURE 12 Richmond Link Fort Saskatchewan AB T8L 0G2		DESIGNED BEW JAN 14, 2016	DATE	
2					6							DRAWING SCALE: 1:100 Metric	CHECKED BEW JAN 14, 2016	DATE	DRAWING
1					5							Use, reproduction or revision of this drawing or its components is strictly prohibited without written permission from JLA Group Ltd. Any discrepancies or omissions shall be reported to the Landscape Architect prior to commencement of any work. The drawing or its components shall not be scaled.	JAN 14, 2016	DATE	ROOF AMENITY SPACE
NO.	ISSUE	BY	DATE	APPROD	NO.	REVISIONS	BY	DATE	APPROD				ISSUED FOR DEVELOPMENT PERMIT	DATE	
													ISSUED FOR CONSTRUCTION		DPL-2



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No DP2025-05783 Date Received MAY 14 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

4									
3									
2									
1									
NO.	ISSUE	BY	DATE	APPROD	NO.	REVISIONS	BY	DATE	APPROD

SUB - CONSULTANT
SUB - CONSULTANT

CONSULTANT

The Alberta Association of Landscape Architects

Bruce E. Williams

J.L.A. GROUP

LANDSCAPE ARCHITECTURE

12 Richmond Link Fort Saskatchewan AB T8L 0S2

CLIENT

DRAWN BY PEW JAN 14, 2016

DESIGNED BY PEW JAN 14, 2016

CHECKED BY PEW JAN 14, 2016

ISSUED FOR DEVELOPMENT PERMIT

DATE

ISSUED FOR CONSTRUCTION

DATE

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DRAWING SCALE:

JAN 14, 2016

DATE

ISSUED FOR DEVELOPMENT PERMIT

DATE

ISSUED FOR CONSTRUCTION

DATE

PROJECT

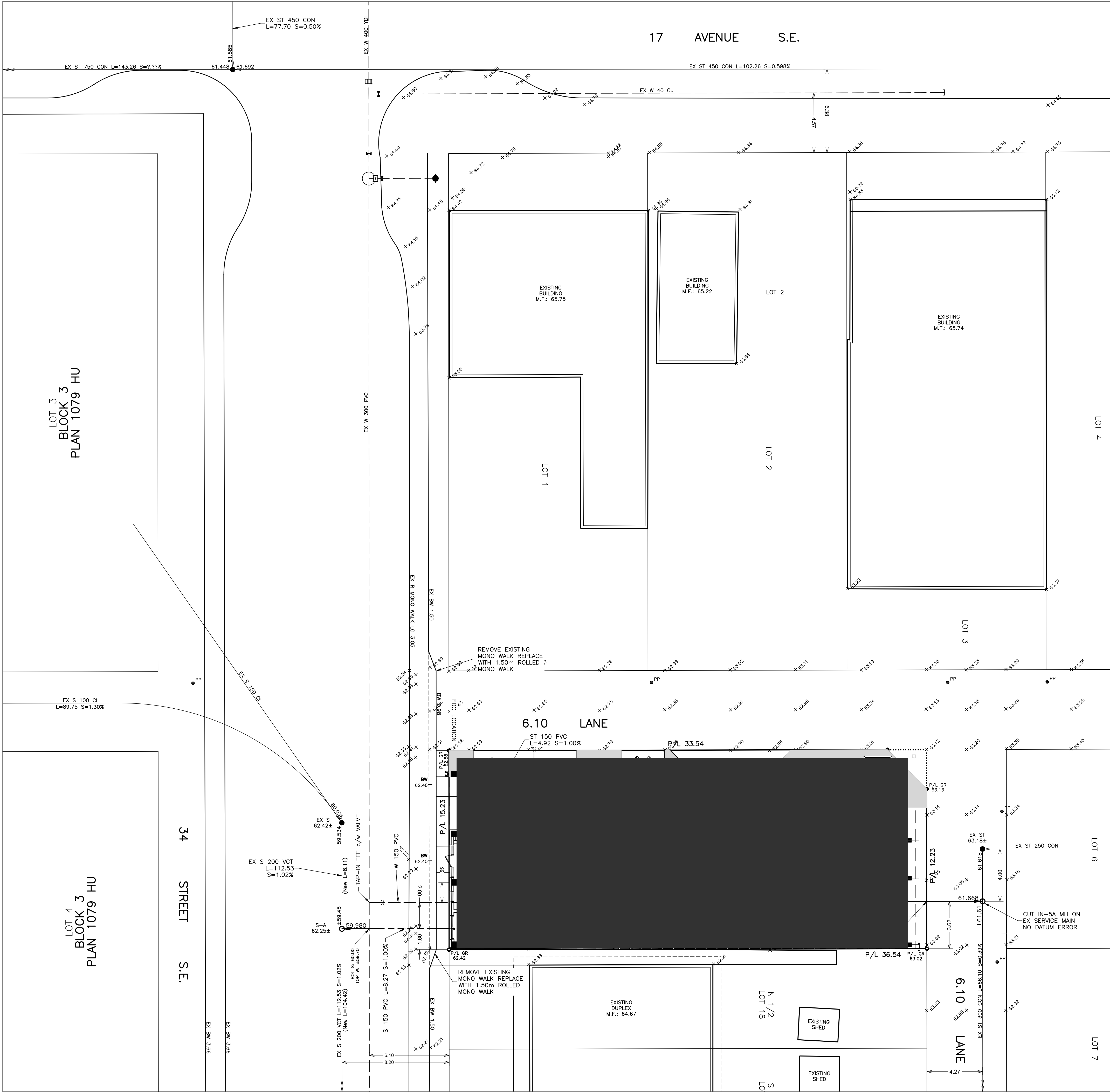
MULTI USE BUILDING

1804-34 STREET SE

CALGARY, ALBERTA

DRAWING

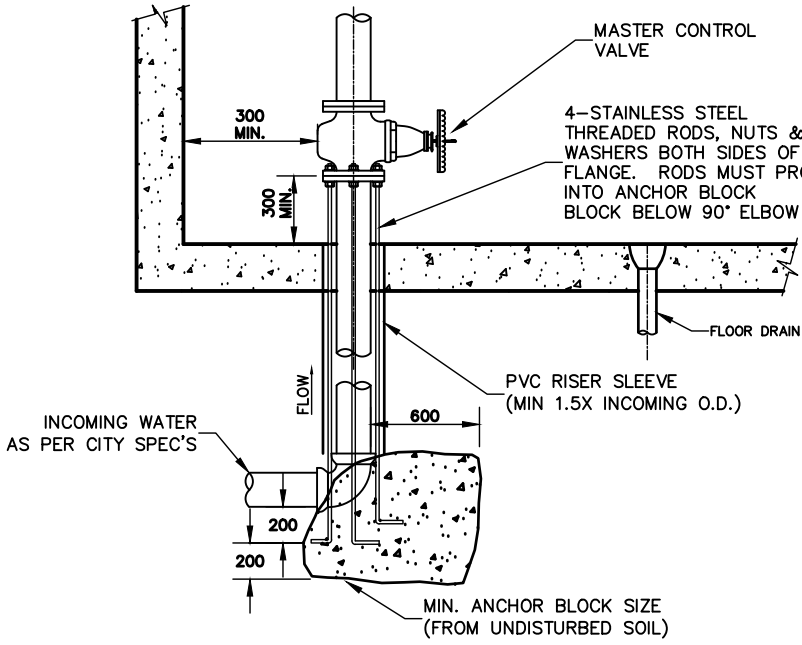
DETAILS



THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS. DSSP PLANS TO MATCH DP PLANS WHEN ALL IS COMPLETE

FOR DEVELOPMENT PERMIT SUBMISSION ONLY. NOT FOR TENDER OR CONSTRUCTION.



PIPE ANCHOR DETAIL N.T.S.

- NOTES:
- THE MASTER CONTROL VALVE SHALL BE ONE OF THE FOLLOWING:
a) RESILIENT SEATED RISING SPINDLE (OS & Y) FLANGE GATE VALVE (UL or ULC LISTED) FOR FIRE LINES AND CSA APPROVED FOR DOMESTIC LINES.
b) SHORT-BODY, RUBBER SEATED FLANGED OR LUG WATER TYPE BUTTERFLY VALVE c/w HAND WHEEL, REDUCTION GEAR OPERATOR, POSITION INDICATOR (UL or ULC LISTED) PROVIDED THEY ARE NOT IN A SUCTION LINE FOR FIRE PUMPS(S).
c) SHORT-BODY, RUBBER SEATED FLANGED OR LUG WATER TYPE BUTTERFLY VALVE c/w HAND WHEEL, REDUCTION GEAR OPERATOR, POSITION INDICATOR (UL or ULC LISTED) PROVIDED THEY ARE NOT IN A SUCTION LINE FOR FIRE PUMPS(S).
 - ENTRANCE PIPE MATERIAL THROUGH THE OUTSIDE WALL AND THROUGH THE FLOOR SHALL BE DUCTILE IRON PIPE ANWMA C151 (LATEST EDITION) CLASS B3 OR APPROVED EQUAL. BURIED FITTINGS (90° ELBOW) SHALL BE CAST OR DUCTILE IRON CONFORMING TO ANWMA C110 (LATEST EDITION) OR APPROVED EQUAL. ALL SERVICE ENTRIES (INCLUDING ANCHOR DETAILS) SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND DETAILED ON THE MECHANICAL SITE PLAN. (ANCHOR RODS SHALL BE 18-8 STAINLESS STEEL, WHERE A STANDARD 3.0m LENGTH OF ROD REQUIRES EXTENSION, (AN APPROVED STAINLESS HEXAGON NUT COUPLING SHALL BE INSTALLED AT THE UPPER END OF THE ROD).
 - PROVIDE ADEQUATE PIPE SUPPORT. REFER TO DEVELOPMENT SITE SERVICING PLAN GUIDELINES (2.6.8.3 PIPING SUPPORT).
 - INTERNAL PLUMBING STUB TO TERMINATE A MINIMUM OF 2.0m OUT FROM EXTERNAL WALL OR FOOTING. ENTRANCE OF PIPE THROUGH WALL SHALL BE PERPENDICULAR (90°) TO WALL.
 - ANCHOR RODS TO BE 3/4" FOR 100mm - 200mm SERVICE, 7/8" 250mm - 300mm SERVICE & 1" FOR 350mm 400mm SERVICE.
 - A RESTRAINED FLANGE ADAPTOR MAY BE USED TO CONNECT THE RISER OR WALL ENTRY PIPE TO THE MASTER CONTROL VALVE. RESTRAINED FLANGE ADAPTOR SHALL BE EBAA SERIES 2100 MEGA FLANGE OR APPROVED EQUAL.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-05783 MAY 14 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

ISSUED FOR
DTR2 RESPONSE ☒ 13May26
APPROVAL ☐
BUILDING PERMIT ☐
TENDER ☐
CONSTRUCTION ☐

CITY OF CALGARY
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED

CIRCULATION TO INITIAL DATE

WATER RESOURCES

REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

MUNICIPAL ADDRESS
1804 34 Street SE
Calgary AB
LEGAL DESCRIPTION
LOT 19, BLOCK 2
PLAN 5682 GI, NE 1/4
SEC. 9-24-29-W4M

PERMIT STAMP

- NOTES
- All elevations referenced to 1000m Geodetic Datum.
 - Hydrants, valves, check valves, manholes, sewer lines, water lines etc., to be installed to City of Calgary standards.
 - All manholes to be S.R.C.
 - Match crown minimum at all sewer connections.
 - All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes c/w to 150mm to be SDR 28 PVC. Sewer service pipes > than 150mm to be SDR 35.
 - Sewer lines to minimum slopes as per City of Calgary Standards.
 - Use City of Calgary Type 2 Installation, Class 1A bedding for sewer pipes unless unwise noted.
 - Insulation required for sanitary sewers if cover less than 2.50m on mains.
 - Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
 - All water mains to be DR 18 PVC unless otherwise noted.
 - Use City of Calgary Type 1 Installation, Class 1A bedding for water mains, Type 2 installation, class 'B' bedding for services.
 - Depth of bury for water lines to conform with City of Calgary standards.
 - No trees to be planted over water line(s).
 - Protection of Potable Water Supply From Contamination: All Cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 22M82 and the National Plumbing Code of Canada.
 - For building locations and dimensions refer to latest Architectural drawings. The contractor is responsible for locating all shallow utilities.
 - The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
 - Weeping Tile & Free Flow area drains to be tied to unrestricted free flow storm sewer.
 - All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.

LEGEND	
	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Water meter location
	Existing elevation
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Main floor elevation
	Top of footing elevation
	Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2025-05783

REVISIONS		
No.	DATE	DESCRIPTION
5		
4		
3		
2		
1		

ISSUED FOR		
No.	DATE	DESCRIPTION
4	AS-BUILT	
3	FOR CONSTRUCTION	
2	FOR TENDER	
1	DEVELOPMENT PERMIT	25SEP20 JM
No.	DRAWING STATUS	DATE APP.

CLIENT
EAGLE ROCK BUILDERS

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
MIXED USED - 25 UNITS (1 BUILDING)
1804 - 34th STREET SE

TITLE
SITE SERVICING PLAN

DESIGN BY: DV	SCALE: 1:150	JOB NUMBER: 25-098
DRAWN BY: RDC	REV NO.: -	DRAWING NUMBER: SP1
CHECKED BY: -		
DATE: 13-May-26		

PERMIT

STAMP

NOTES

1. All elevations referenced to 1000m Geodetic Datum.

LEGEND

	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Proposed design elevation
	Proposed building grades
	Existing elevation
	Proposed road grade
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
	Main floor elevation
	Top of footing elevation
	Sanitary sewer invert at bldg

REVISIONS

5			
4			
3			
2			
1			
No.	DATE	DESCRIPTION	BY

ISSUED FOR

4	AS-BUILT		
3	FOR CONSTRUCTION		
2	FOR TENDER		
1	DEVELOPMENT PERMIT	25SEPT30	JM
No.	DRAWING STATUS	DATE	APP.

CLIENT

EAGLE ROCK BUILDERS

PROJECT
6 STOREY APARTMENT BUILDING
25 UNITS
1804 34 ST SE

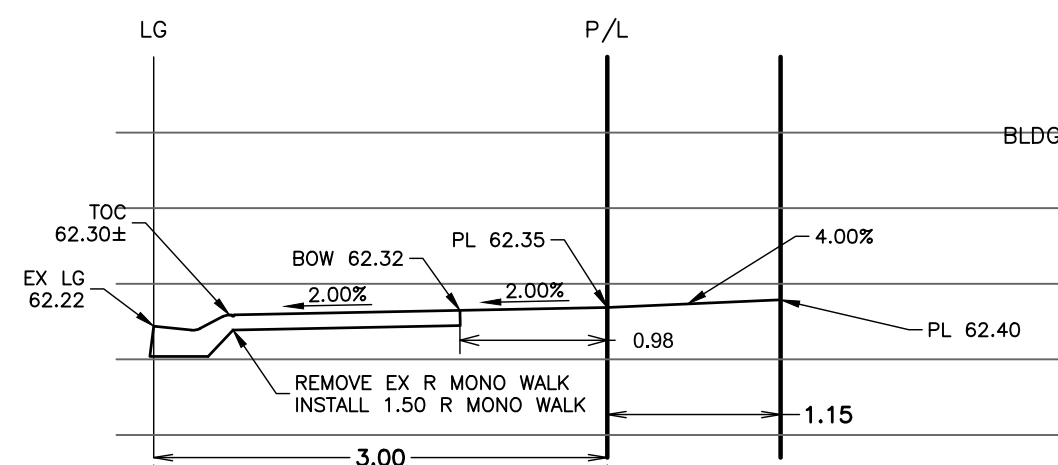
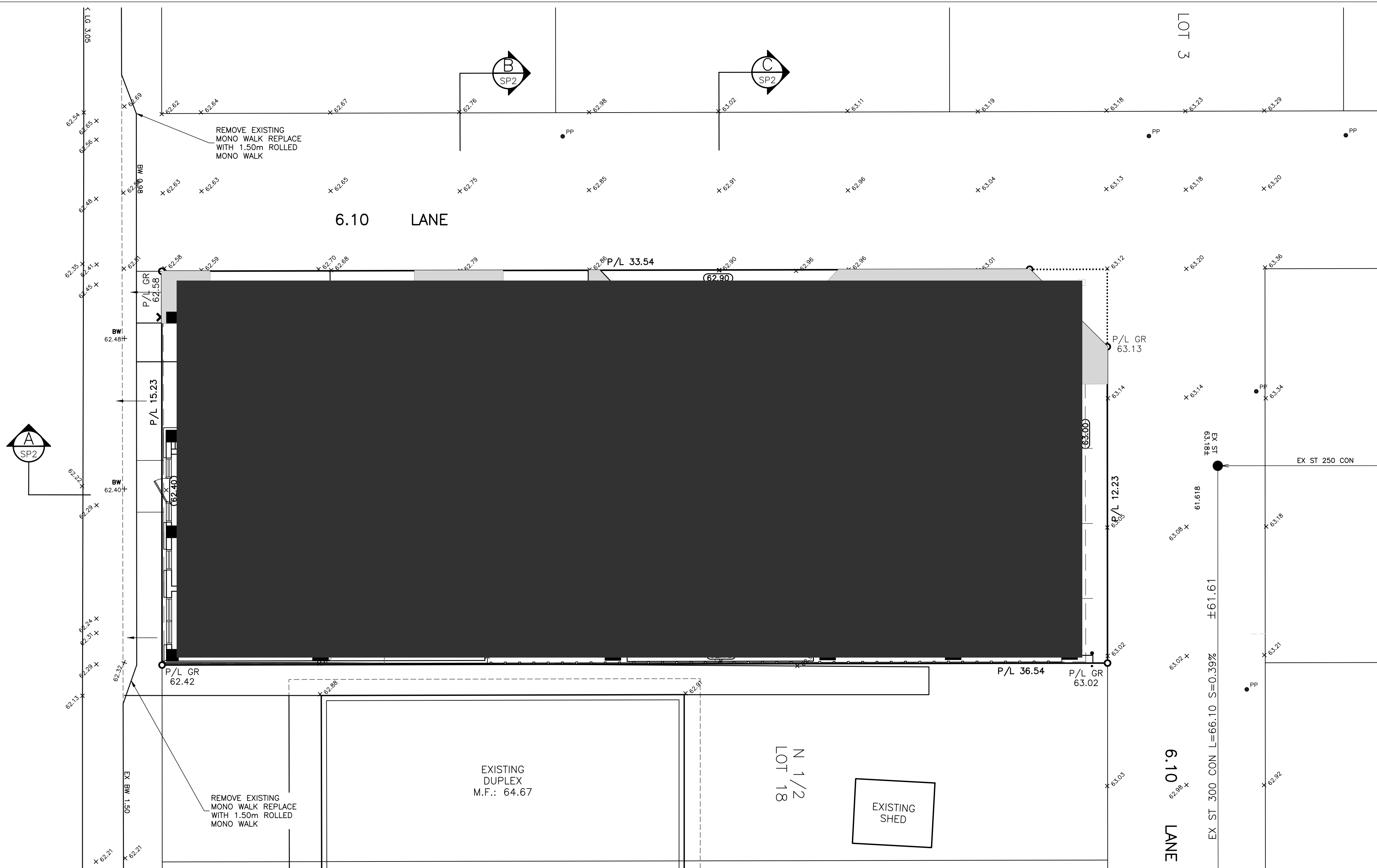
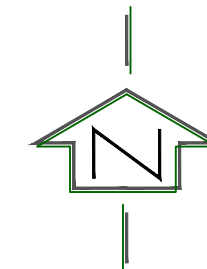
TITLE

SITE GRADING AND
SITE SECTIONS PLAN

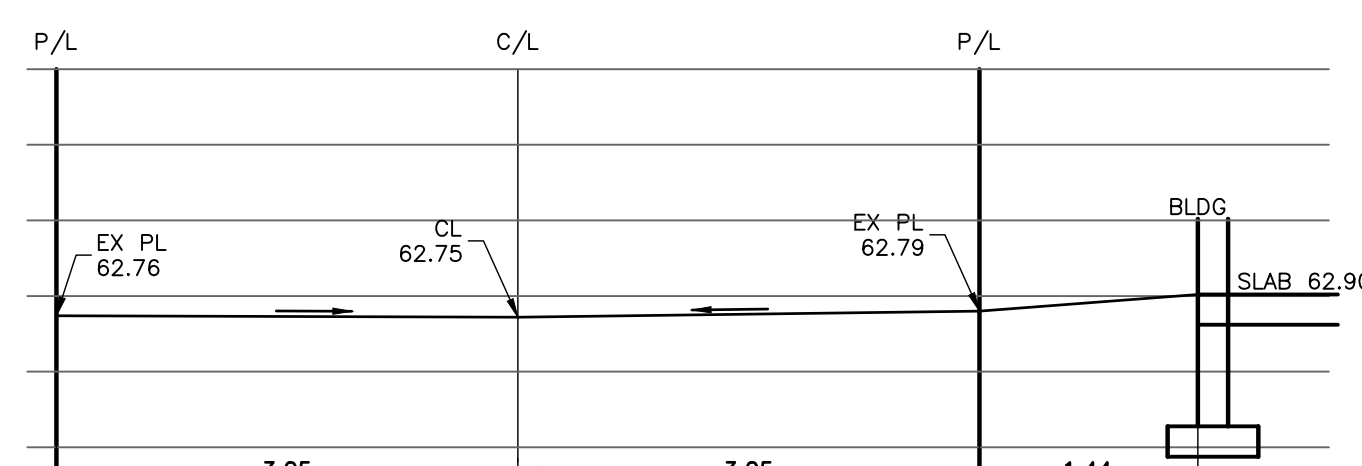
DESIGN BY: DV	SCALE: 1:100	JOB NUMBER: 25-098
DRAWN BY: RDC	REV NO.: -	DRAWING NUMBER: SP2
CHECKED BY: -		
DATE: 13-May-26		

THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR
BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST
ARCHITECTURAL DRAWINGS

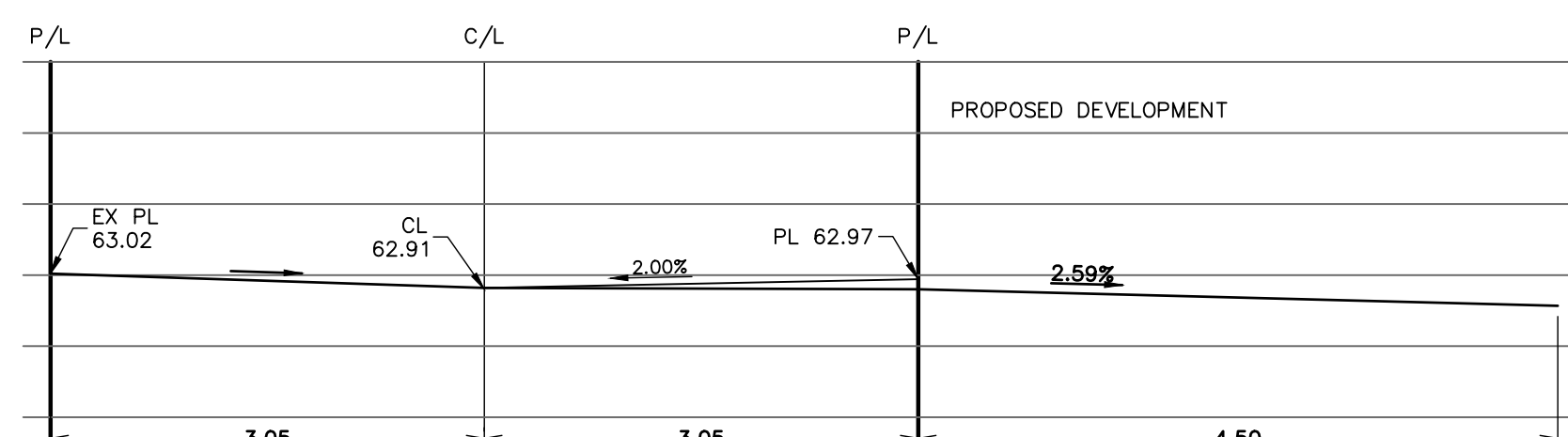
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PLANS WHEN ALL IS COMPLETE



SECTION-A
SCALE 1:50



SECTION-B
SCALE 1:50



SECTION-C
SCALE 1:50

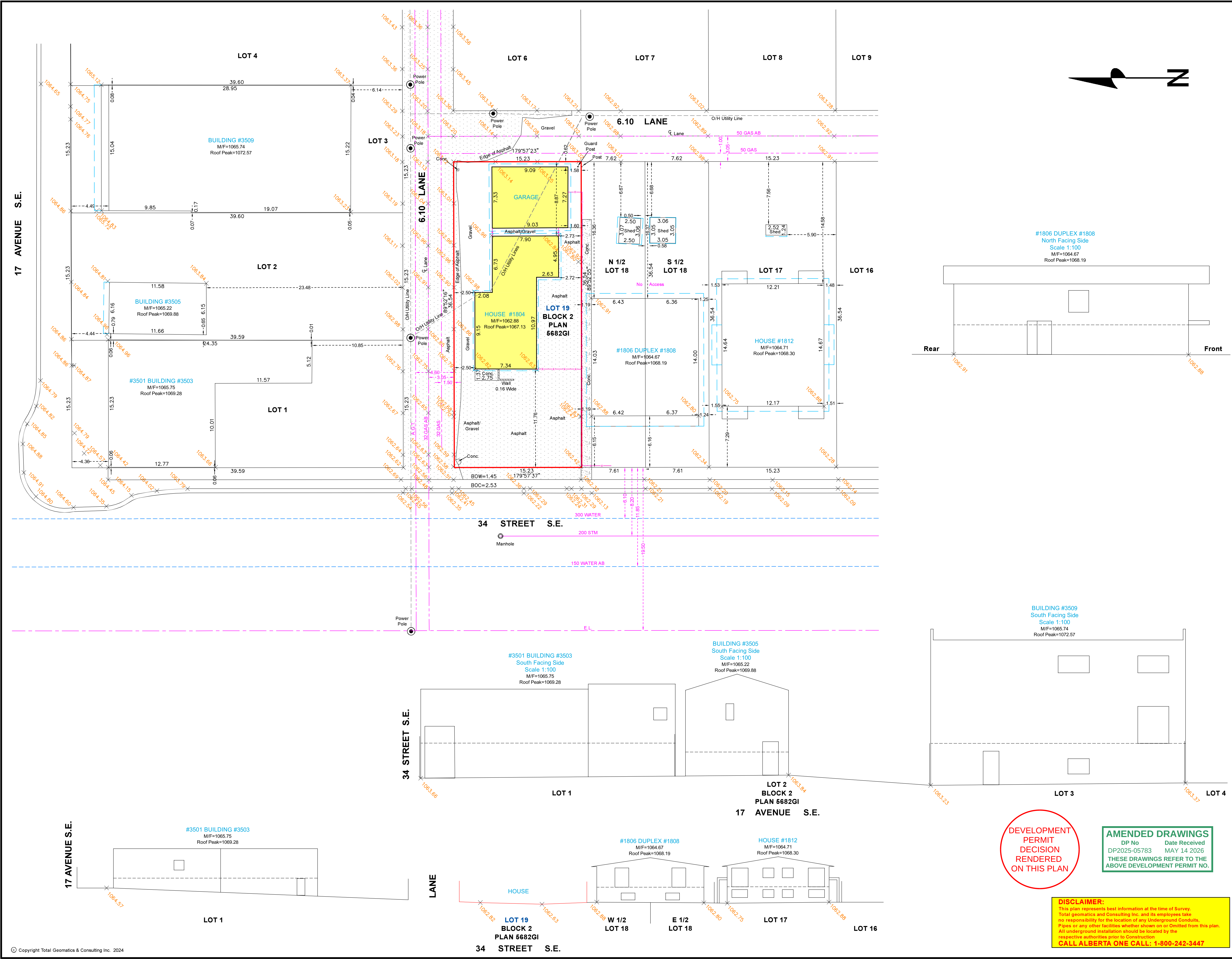
DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No DP2025-05783 Date Received MAY 14 2026
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MUNICIPAL ADDRESS
1804 34 Street SE
Calgary AB

LEGAL DESCRIPTION
LOT 19, BLOCK 2
PLAN 5682 GI, NE 1/4
SEC. 9-24-29-W4M

FOR DEVELOPMENT PERMIT SUBMISSION ONLY.
NOT FOR TENDER OR CONSTRUCTION.



CITY OF CALGARY
ALBERTA

PLAN SHOWING
SITE SURVEY
AFFECTING

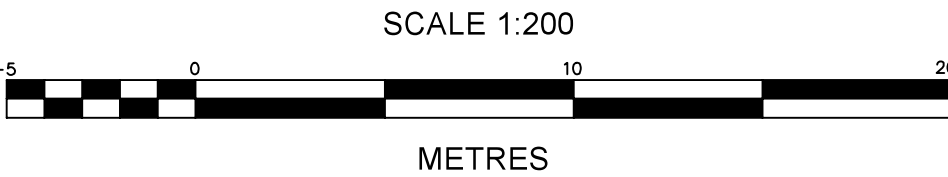
LOT 19, BLOCK 2, PLAN 5682GI
WITHIN
N.E. 1/4 SEC.9-24-29-W4M

NOTES:
Distances shown are in metres and decimals thereof.
Location of underground utilities are copied from City of Calgary Block Profile sheets.
All elevations are geodetic elevations and are referred to ASCM124966, Elevation=1067.029

PROPERTY DESCRIPTION:
CLIENT:

MUNICIPAL ADDRESS:
1804 - 34 STREET S.E.
CALGARY, ALBERTA

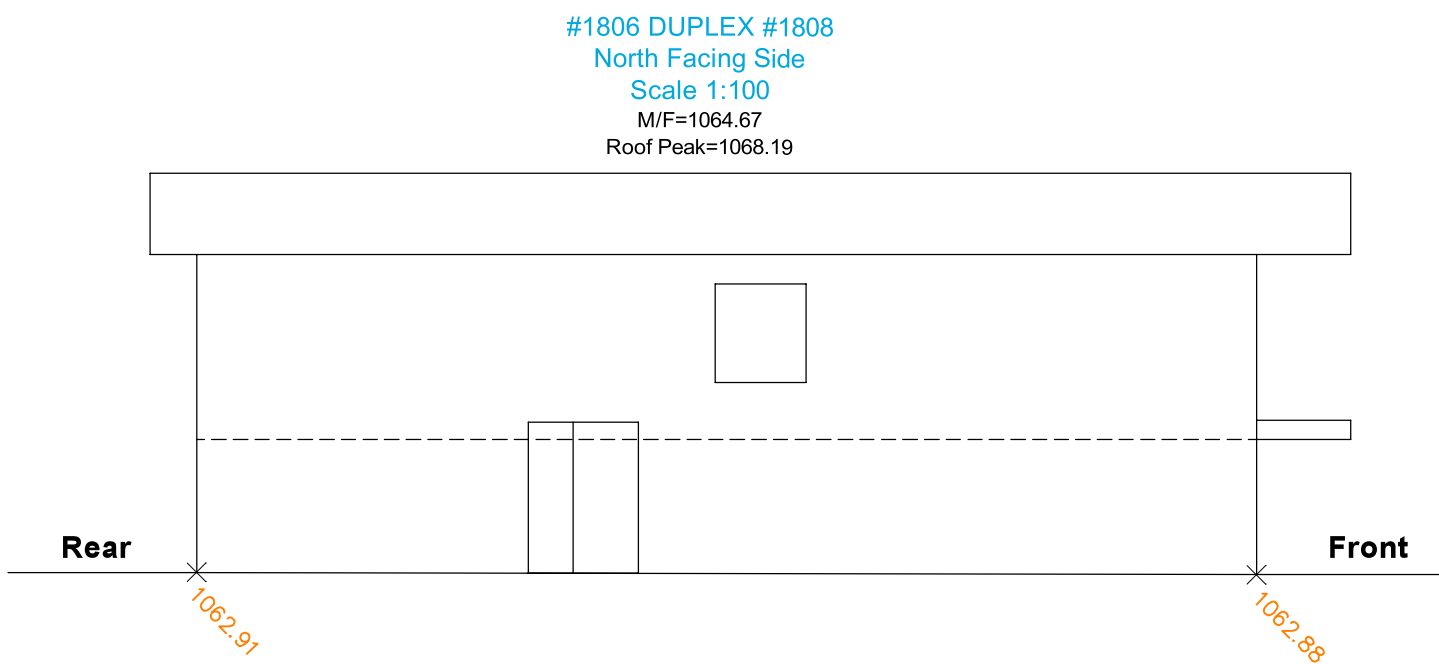
DATE OF SURVEY:
APRIL 23, 2024



- LEGEND
- Spot elevations are shown thus
 - Subject Property is shown thus
 - Eave Fascia are shown thus
 - Fences are shown thus
 - Building foundation shown thus
 - Overhead Utilities shown thus
 - Gas line shown thus
 - Sanitary Lines shown thus
 - Storm lines shown thus
 - Water lines shown thus
 - AGT Lines shown thus
 - E.L. Lines shown thus
 - Coniferous trees are shown thus
 - Deciduous trees are shown thus
 - Shrubs are shown thus
 - Tree Canopy shown thus
 - Catch Basins shown thus
 - Manhole shown thus
 - Power Poles shown thus
 - Fire Hydrant shown thus
 - Light Standards shown thus
 - Sign shown thus

TOTAL
Total Geomatics & Consulting Inc

NITIN BANSAL A.L.S.	TOTAL GEOMATICS & CONSULTING INC	DATE: APRIL 29, 2024
DWN BY: CD	93 ROYAL CREST VIEW N.W., CALGARY	JOB NO: TG24-0143
CK'D BY: NB	T3G SW5, ALBERTA, PH: (403) 478 3635	ACAD FILE NO: TG24-0143DP



DEVELOPMENT
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ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-05783 MAY 14 2026
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DISCLAIMER:
This plan represents best information at the time of Survey.
Total Geomatics and Consulting Inc. and its employees take
no responsibility for the location of any Underground Conduits,
Pipes or any other facilities whether shown on or Omitted from this plan.
All underground installation should be located by the
respective authorities prior to Construction
CALL ALBERTA ONE CALL: 1-800-242-3447