



**PROPOSED TRIPLEX**  
**2136 22 AVE S.W. CALGARY, ALBERTA**  
 RE-ISSUED FOR DEVELOPMENT PERMIT  
 DECEMBER 16, 2025

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 CONSULTANT

SEAL

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PROPOSED TRIPLEX

PROJECT NO. R24003

REVISIONS	No.	Description	YY-MM-DD

COVER

SCALE:

A0.0

DATE: 2024-09-09

DRAWN BY: Author

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PROJECT NO. R24003

REVISIONS

No.	Description	YY-MM-DD

3D VIEWS

SCALE:

**A0.1**

DATE: 2023-11-28

DRAWN BY: JH



2 FRONT PERSPECTIVE 1  
 A0.1



1 FRONT PERSPECTIVE 2  
 A0.1



3 REAR PERSEPCTIVE  
 A0.1





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 2136 22 AVE S.W. CALGARY, ALBERTA

PROJECT NO.	R24003
REVISIONS	
No. Description	YY-MM-DD
2 IFBP	15/07/2024

LANDSCAPING PLAN

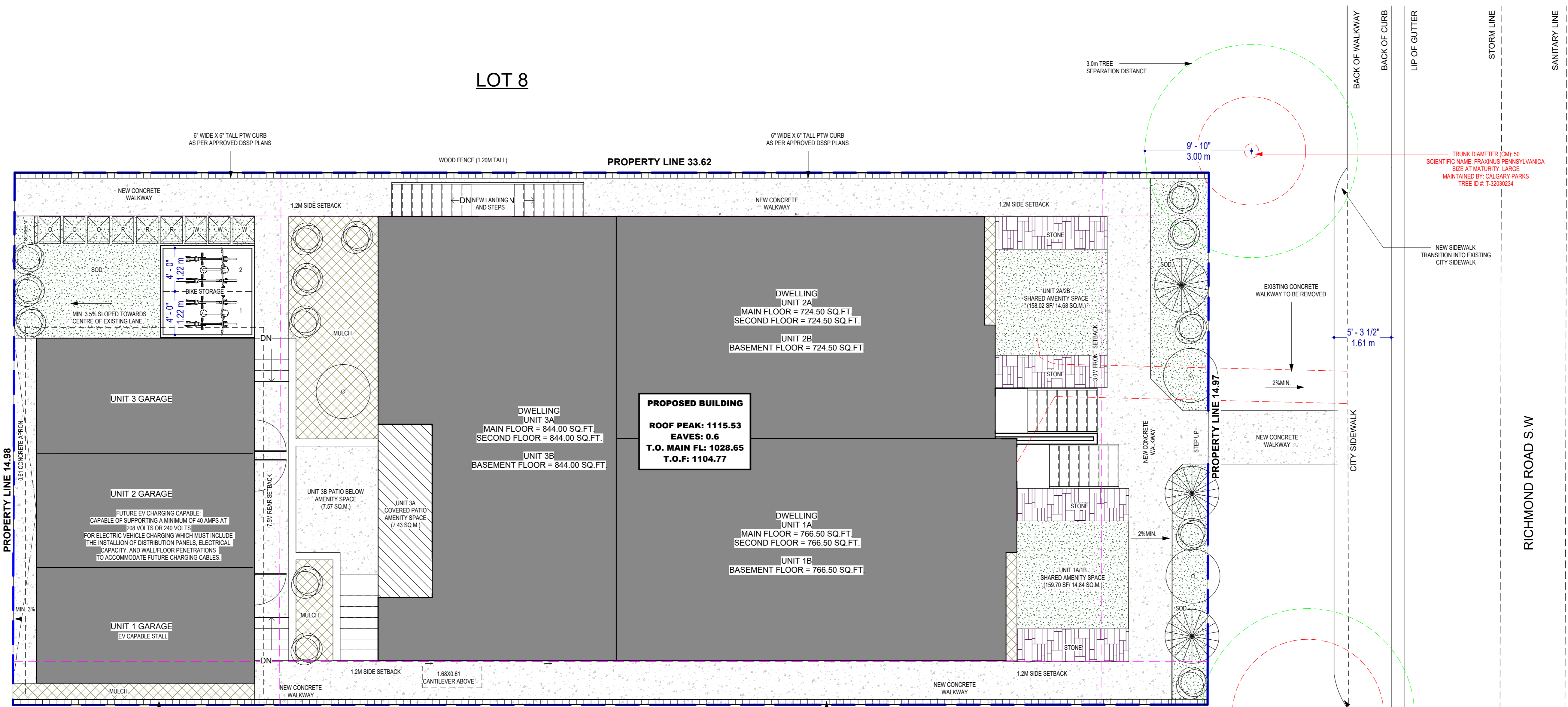
SCALE: As indicated

**A1.2**

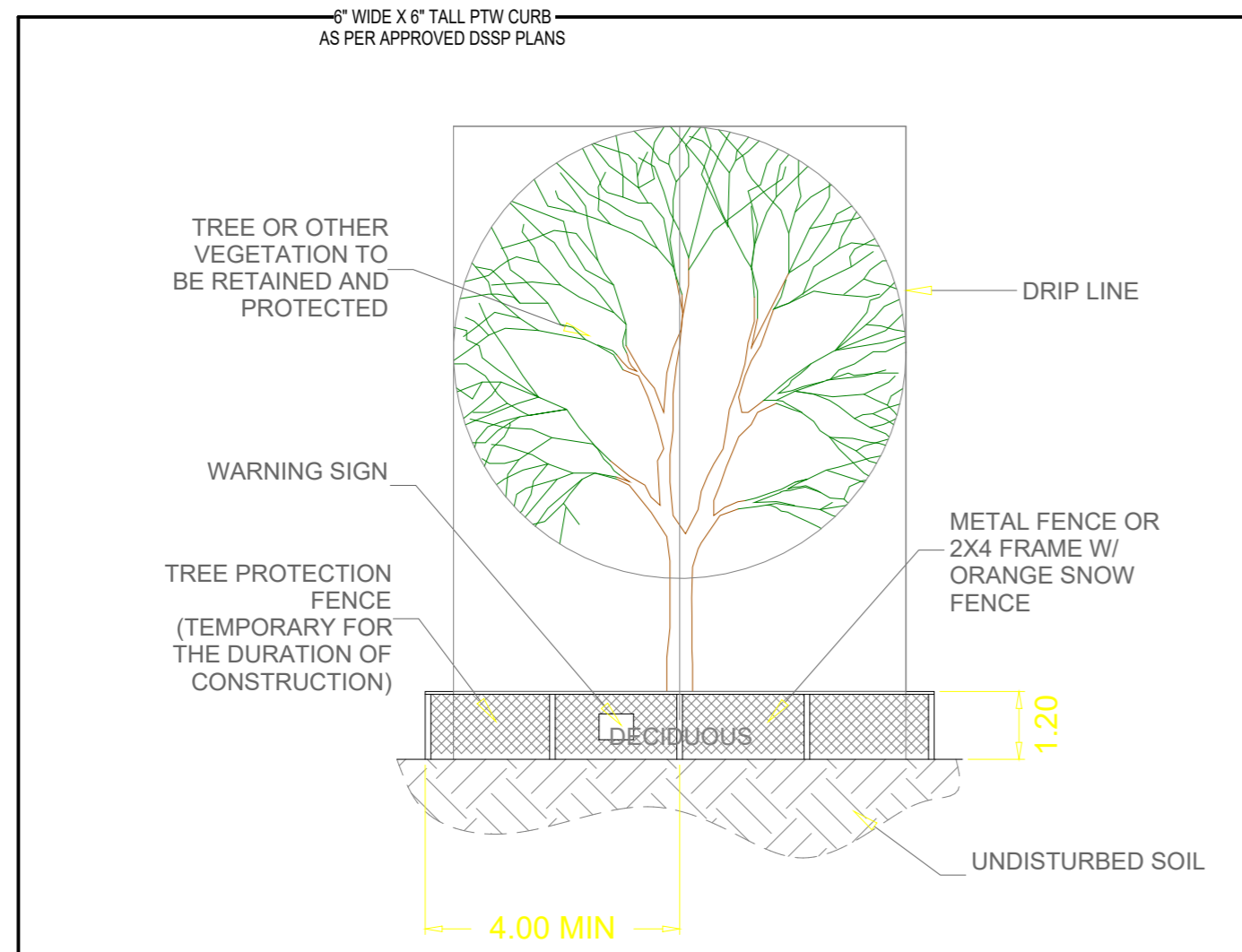
DATE: 2023-11-28

DRAWN BY: JH

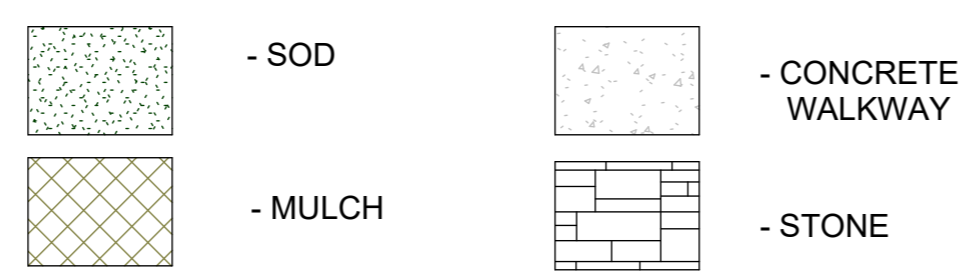
6.1M GRAVEL LANE



**1 LANDSCAPING PLAN**  
 A1.2 3/16" = 1'-0"



**LOT 10**



SITE AREA	5420.18 SF or 503.95 SQ.M or 0.059HA
BUILDING AREA	2278.01 SF (211.83 m²)
GARAGE AREA	642.25 SF (59.65 m²)
BIKE STR.	124.44 SF (11.56 m²)
<b>TOTAL LOT COVERAGE</b>	<b>3,044.5 SF (282.84 m²)</b>
LOT COVERAGE %	56.17% (MAX. 60% PERMITTED)
<b>TOTAL LANDSCAPED AREA</b>	<b>1,890.05 (66.53%)</b>
MULCH	- 248.65 SF
SOD	- 661.23 SF
SOFT LANDSCAPING	= 909.98 SF (15%)
CONCRETE AT GRADE	- 895.92 SF
CONCRETE BELOW GRADE	- 150.25 SF
STONE BRICKS	- 124.10 SF
HARD LANDSCAPING	= 1,170.17 SF (21.60%)
<b>TOTAL LANDSCAPED AREA</b>	<b>1,890.05 (66.53%)</b>
3% REDUCTION FOR LOW WATER IRRIGATION SYSTEM	LOW WATER IRRIGATION SYSTEM IS PROVIDED
IRRIGATION IS CONFINED TO TREES AND SHRUBS	TREES AND SHRUBS ARE LOW WATER
MAXIMUM OF 30% OF LANDSCAPED AREA IS COVERED WITH SOD	AND REST WITH PLANTINGS AND MULCH
3% REDUCTION FOR ENHANCED LANDSCAPING OPTION	TOTAL LANDSCAPED AREA - 138.80 SQ.M
6 TREES AND 14 SHRUBS PROVIDED	

PLANTING LEGEND			
AMELANCHIER ALNFOLIA SASKATOON BERRY	NEW LOW WATER SHRUB 0.6M CANOPY 0.6M HEIGHT	14	
PRUNUS VIRGINIANA VAR. MELANOCARPA CHOKECHERRY	NEW LOW WATER DECIDUOUS TREE 85MM CALIPER 1M CANOPY 1M HEIGHT	3	
PICEA PUNGENS (BLUE SPRUCE)	NEW LOW WATER CONIFEROUS TREE 85MM CALIPER 1M CANOPY 4M HEIGHT	3	

**NOTE:**  
 AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE, TO MITIGATE POSSIBLE ROOT DAMAGE TO ADJACENT EXISTING PUBLIC TREES, DURING THE EXCAVATION OF AND THE INSTALLATION OF THE PROPOSED CONCRETE WALKWAYS, WITH A CONFIRMED MEETING. PRIOR TO CONSTRUCTION, CONTACT URBAN FORESTRY AT 311 AND ASK TO SPEAK TO AN URBAN FORESTRY TECHNICIAN. URBAN FORESTRY REQUIRES MINIMUM TWO BUSINESS DAYS NOTICE PRIOR TO MEETING ONSITE.

SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.  
 MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS.

3% REDUCTION FOR LOW WATER IRRIGATION SYSTEM  
 LOW WATER IRRIGATION SYSTEM IS PROVIDED  
 IRRIGATION IS CONFINED TO TREES AND SHRUBS  
 TREES AND SHRUBS ARE LOW WATER

**SITE PLAN**

MUNICIPAL ADDRESS:  
 2136 22 AVENUE S.W.  
 CALGARY, ALBERTA

LEGAL DESCRIPTION:  
 LOT 9  
 BLOCK 10  
 PLAN 8997 GC

PREPARED FOR: Ashmore Homes

DATE OF SURVEY: August 29th, 2025

SCALE: 1:200

- LEGEND:**
- Subject Property Line
  - Right of Way Line
  - Eave Line
  - - - - - Fence Line
  - - - - - Sanitary Line
  - - - - - Storm Line
  - - - - - Water Line
  - - - - - Gas Line
  - - - - - Overhead Wire
  - - - - - A.G.T. Line
  - Door
  - Second Floor Window
  - Main Floor Window
  - Basement Floor Window
  - ⊗ Collocation points
  - ⊕ Power Pole
  - ⊖ Power Anchor
  - ⊙ Light Pole
  - ⊕ Manhole
  - ⊕ Catch Basin
  - ⊕ Water Valve
  - ⊕ Gas Valve
  - ⊕ Sign
  - ⊕ Fire Hydrant
  - ⊕ Tree
  - ▭ Main Building Hatch
  - ▭ Detached Garage Hatch
  - ▭ Shed Hatch
  - ▭ Concrete and Asphalt Hatch
  - ▭ Wood Hatch
  - ▭ Roof Hatch

"2F" - Second Floor  
 "3C" - Back of Curb  
 "BW" - Back of Walkway  
 "Cont." - Cont. Level  
 "M.F." - Main Floor  
 "Cont." - Concrete  
 "Elev." - Elevation

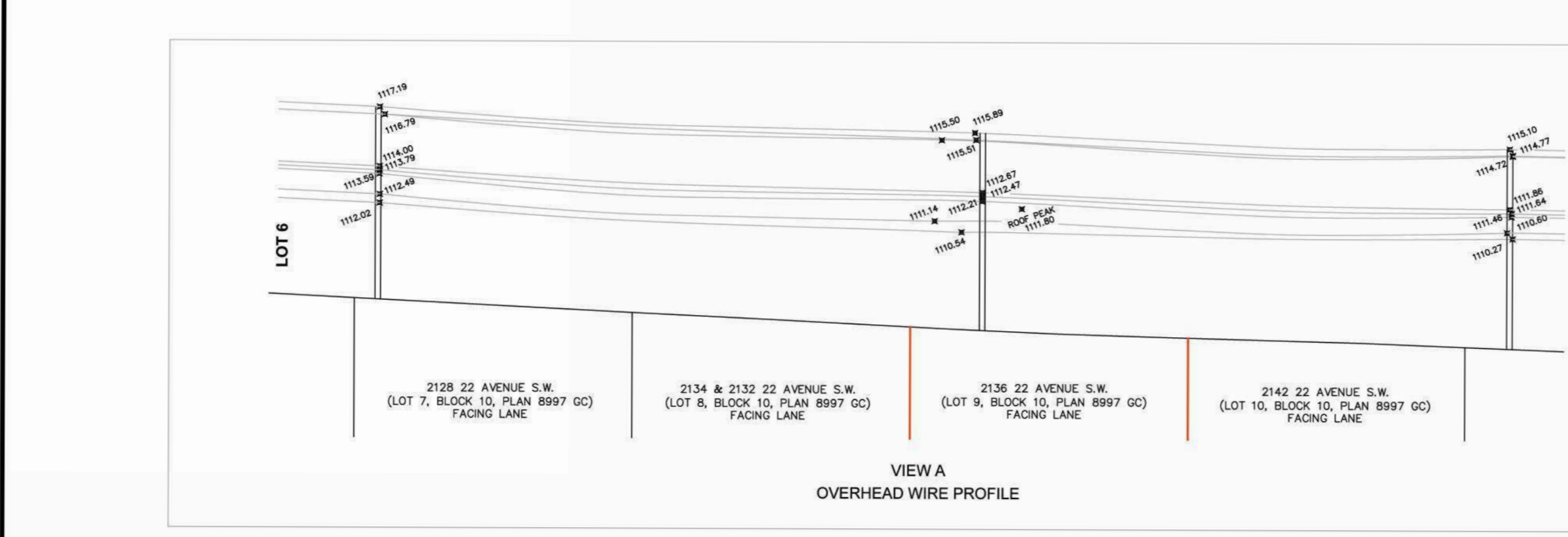
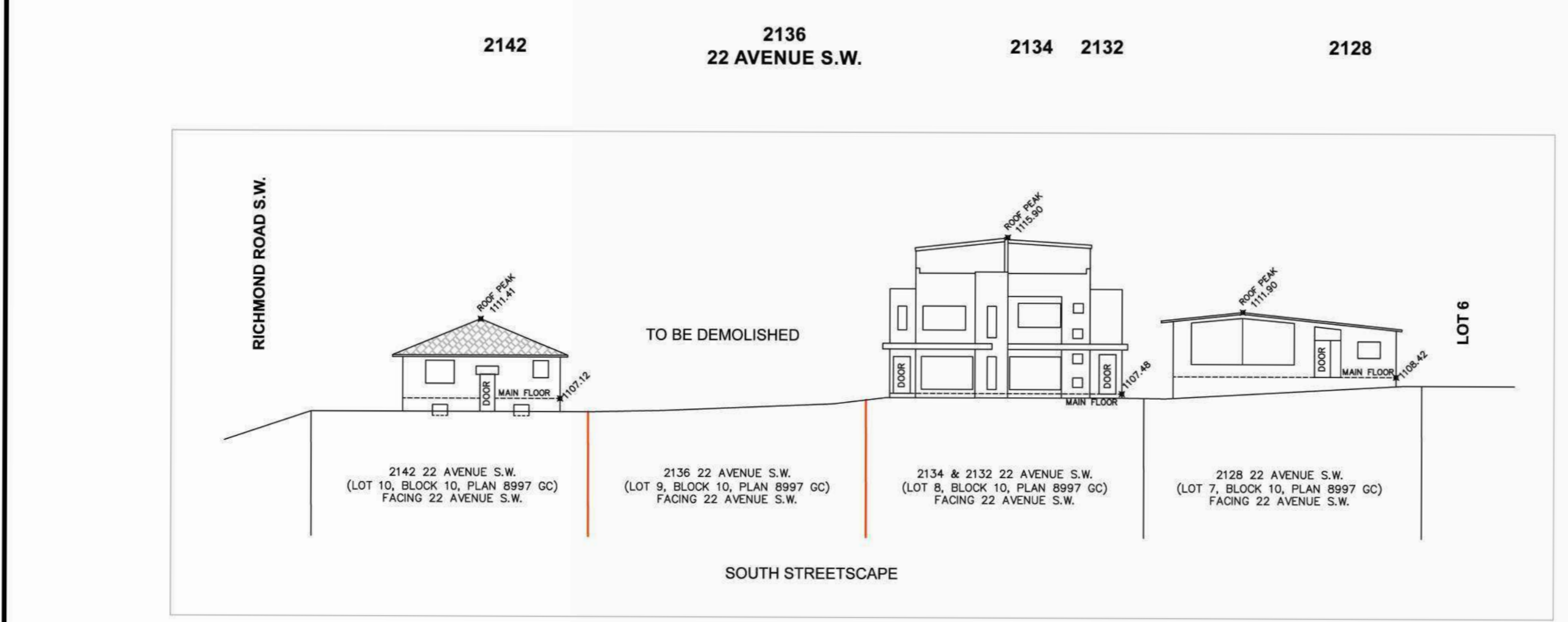
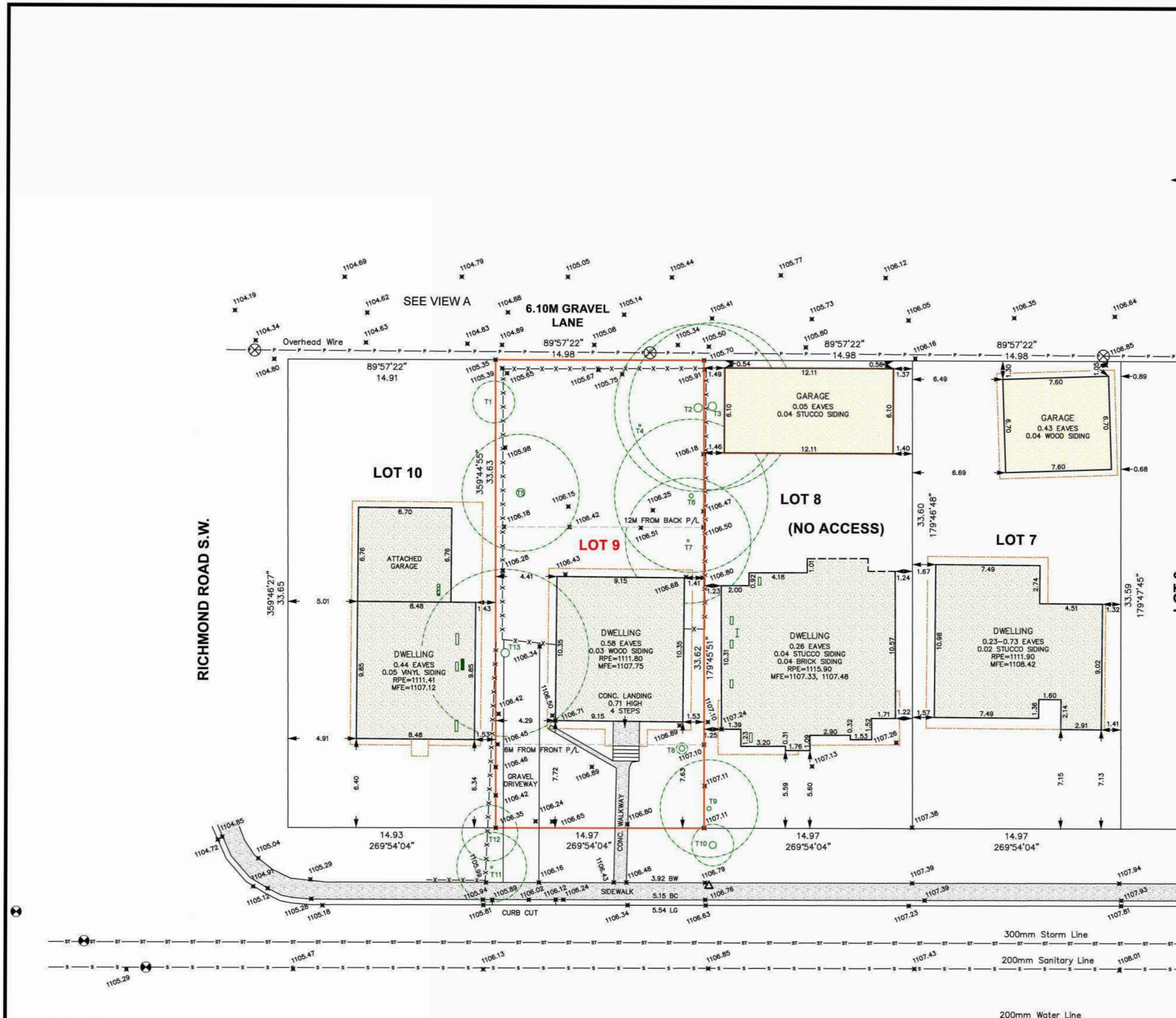
"Enc." - Encroach(es)  
 "L" - Length of Arc  
 "LD" - Lip of Gutter  
 "M.F." - Main Floor  
 "MFE" - Main Floor Elevation  
 "R" - Radius

"R/W" - Right of Way  
 "Ret." - Retaining  
 "RPE" - Roof Peak Elevation  
 "WB" - Bottom of Wall  
 "WT" - Top of Wall

- NOTE:**
- The basis of this plan is as follows:  
 Datum: North American Datum 1983 (original)  
 Projection: 3° Transverse Mercator  
 Reference Meridian: 114° west longitude  
 Combined Scale Factor: 0.999729
  - Distances are in ground and are shown in metres and decimals thereof.
  - Distances along curves are arc distances.
  - Elevations are derived from ASCM 10750B.
  - Existing spot elevations are shown thus:  $\text{Elev.}$
  - The Certificate of Title 181 076 537 which was Searched on the 5th day of September, 2025, and includes the following instruments:  
 Covenant No. 9685 GC
  - The utilities information is acquired from The City of Calgary Engineering Department Drawing No. 21, 119, 129, 185 & 189 in Sec.08-Top.24-Reg.1-W.S.M. (Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

**TREE SCHEDULE:**

Tree No.	Variety	Trunk (Ø)	Canopy (Ø)	Height (H)	Location
T1	Bush	3.00	8.00	8.00	On Property Line
T2	Deciduous	8.00	15.00	15.00	In Subject Property
T3	Deciduous	8.00	12.00	15.00	In Adjacent Property
T4	Deciduous	0.15	8.00	8.00	In Subject Property
T5	Coniferous	0.80	8.40	16.00	In Subject Property
T6	Deciduous	0.30	11.00	14.00	In Subject Property
T7	Deciduous	0.15	9.00	15.00	In Subject Property
T8	Coniferous	0.40	0.80	4.00	In Subject Property
T9	Deciduous	0.30	7.00	15.00	In Adjacent Property
T10	Deciduous	0.50	13.00	10.00	In City Property
T11	Deciduous	0.15	8.00	7.00	In City Property
T12	Deciduous	0.10	4.00	6.00	In City Property
T13	Deciduous	0.80	12.00	8.00	In Subject Property



PROJECT NO. R24003

REVISIONS

No.	Description	YY-MM-DD

**EXISTING BLOCK PLAN**

SCALE: 1 : 250

**A1.3**

DATE: 2023-11-28

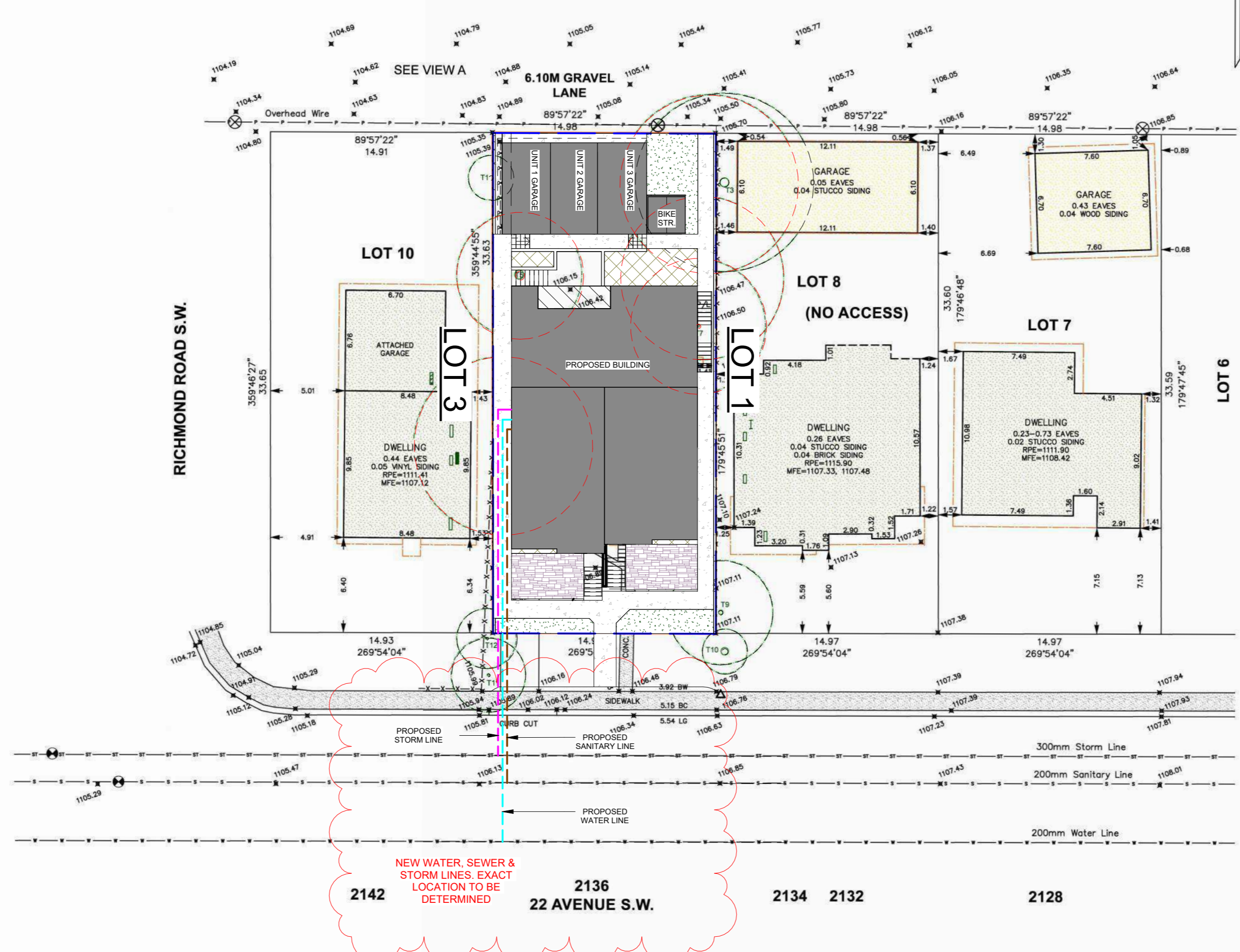
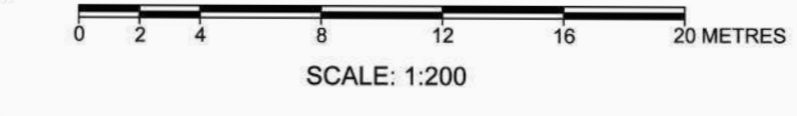
DRAWN BY: JH

REVISIONS	No.	Description	YY-MM-DD
2	IFBP		15/07/2024

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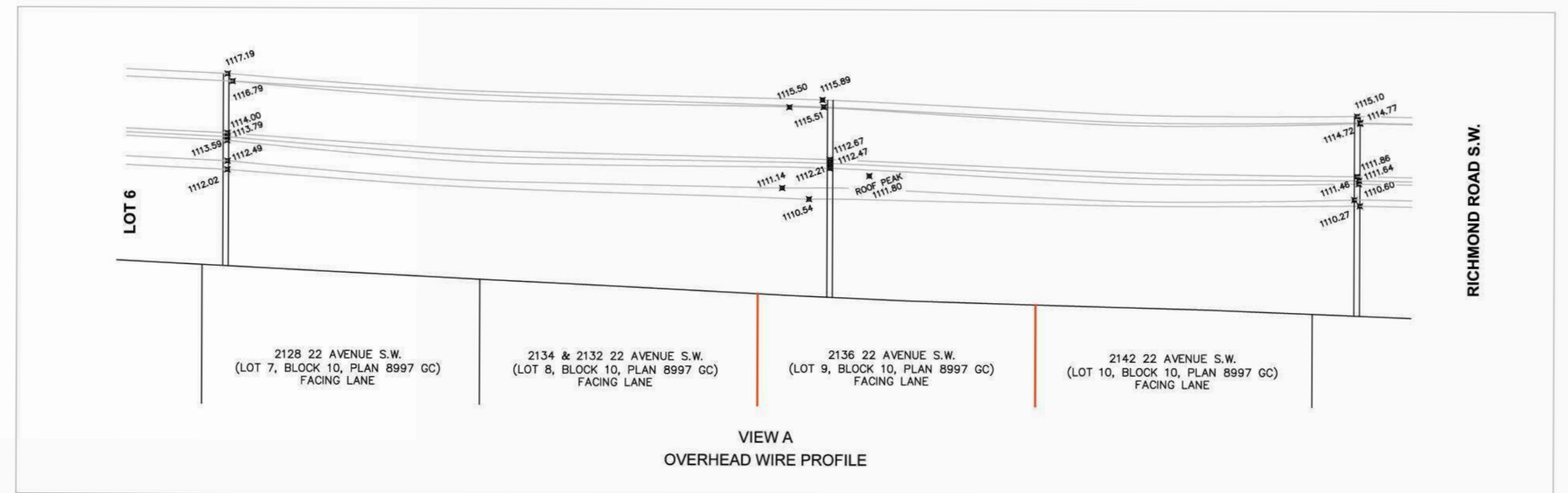
'2F' - Second Floor  
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 'BW' - Back of Walkway  
 'Cont.' - Contiguous  
 'Conc.' - Concrete  
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 'Enc.' - Encroach(es)  
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 'RPE' - Roof Peak Elevation  
 'Bot.' - Bottom of Wall  
 'Top of Wall'

**NOTE:**

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**TREE SCHEDULE:**

Tree No.	Variety	Trunk (Ø)	Canopy (Ø)	Height (H)	Location
TO BE REMOVED 11	Bush	0.30	8.00	8.00	In Property Line
TO BE REMOVED 12	Deciduous	0.60	12.00	14.00	In Subject Property
TO BE REMOVED 13	Deciduous	0.60	12.00	15.00	In Adjacent Property
TO BE REMOVED 14	Deciduous	0.15	8.00	8.00	In Subject Property
TO BE REMOVED 15	Coniferous	0.60	8.40	16.00	In Subject Property
TO BE REMOVED 16	Deciduous	0.30	11.00	14.00	In Subject Property
TO BE REMOVED 17	Deciduous	0.15	8.00	10.00	In Subject Property
TO BE REMOVED 18	Coniferous	0.40	0.60	4.00	In Subject Property
TO BE REMOVED 19	Deciduous	0.30	7.00	10.00	In Adjacent Property
TO BE REMOVED 20	Deciduous	0.50	13.00	10.00	In City Property
TO BE REMOVED 21	Deciduous	0.15	8.00	7.00	In City Property
TO BE REMOVED 22	Deciduous	0.10	4.00	6.00	In City Property
TO BE REMOVED 23	Deciduous	0.60	12.00	8.00	In Subject Property



MATERIAL LEGEND	
NO	DESCRIPTION
1	THIN BRICK VENEER COLOR: BROWN
2	HORIZONTAL HARDIE BOARD COLOR: GREY
3	VERTICAL HARDIE BOARD COLOR: GREY
4	SMART BOARD: GREY
5	ASPHALT SHINGLE: BLACK
6	CONCRETE



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**PROPOSED TRIPLEX**  
 2136 22 AVE S.W. CALGARY, ALBERTA

NOTE: ALL WINDOWS TO BE VERIFIED WITH SUPPLIER'S SPECS

1 SOUTH ELEVATION  
 A3.1 3/8" = 1'-0"

NOTE: DOWN SPOUTS TO BE LOCATED ON SITE BY INSTALLING CONTRACTOR AND LOCATIONS TO BE CONFIRMED BY HOME OWNER.

NOTE: FINISHED GRADES MAY VARY. BUILDER TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION & ADJUST DEPTH OF FOUNDATION, NUMBER OF STEPS ETC. AS REQUIRED.

NOTE: ALL GRADE GEODETICS SHOWN TO BE READ IN CONJUNCTION WITH THE APPROVED DSSP PLANS.

**WINDOW, DOOR, AND SKYLIGHT REQUIREMENTS:**

PERFORMANCE CLASS:	LC
TERRAIN:	ROUGH
MINIMUM PERFORMANCE GRADE(PG):	25
MINIMUM POSITIVE DESIGN PRESSURE:	1200PA
MINIMUM NEGATIVE DESIGN PRESSURE:	1200PA
MINIMUM WATER PENETRATION:	
TEST PRESSURE:	260PA
MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION:	A2
MAXIMUM 'U' VALUES W/(M2 x k)	1.6
WINDOWS AND DOORS	2.7
SKYLIGHTS	2.7

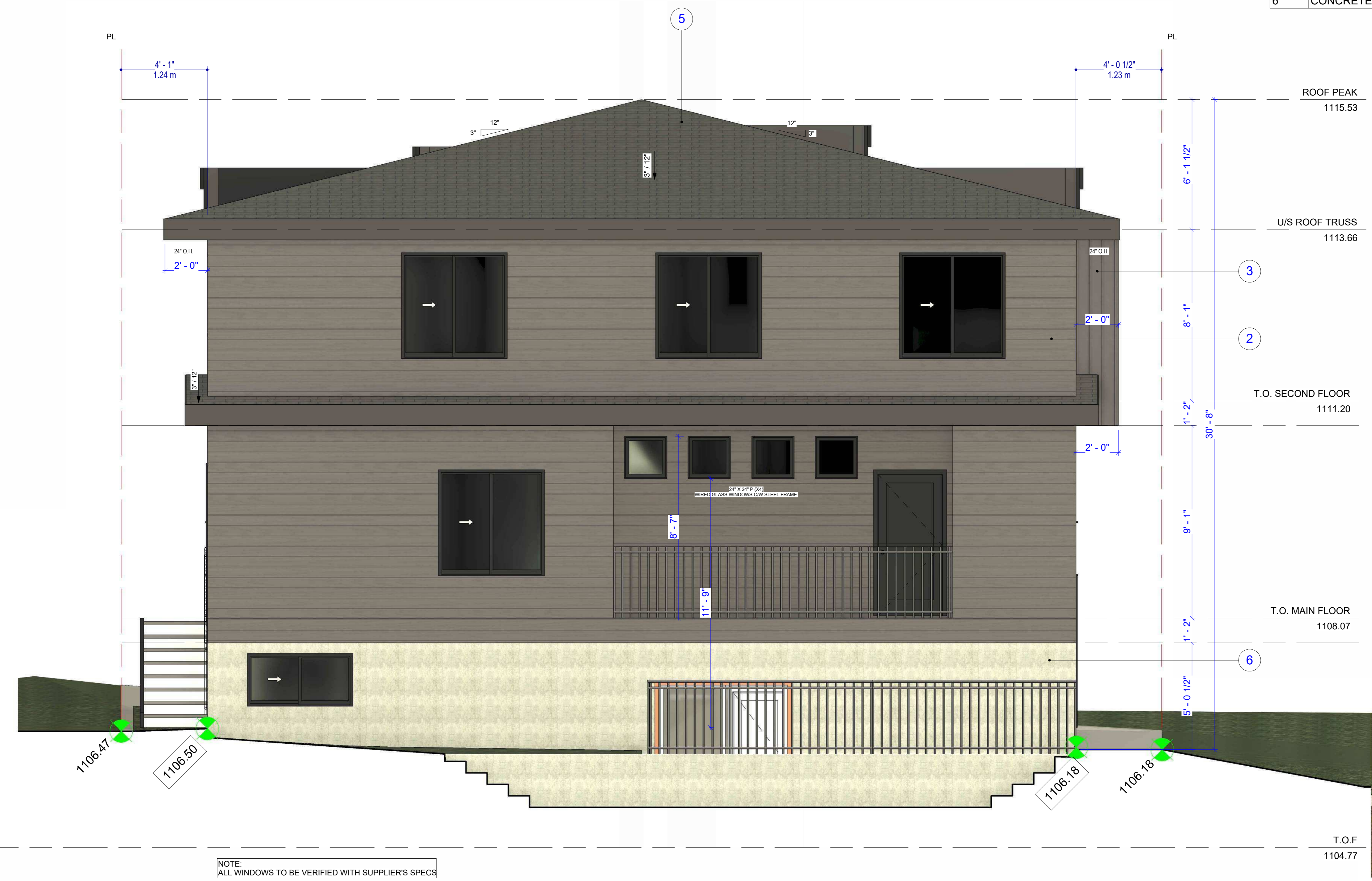
PROJECT NO.		R24003
REVISIONS		
No.	Description	YY-MM-DD
2	IFBP	15/07/2024

SOUTH ELEVATION  
 SCALE: 3/8" = 1'-0"

**A3.1**

DATE: 2023-11-28  
 DRAWN BY: JH

MATERIAL LEGEND	
NO	DESCRIPTION
1	THIN BRICK VENEER COLOR: BROWN
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4	SMART BOARD: GREY
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6	CONCRETE



1 NORTH ELEVATION  
 3/8" = 1'-0"

NOTE:  
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MAXIMUM 'U' VALUES W/(M2 x k)	
WINDOWS AND DOORS	1.6
SKYLIGHTS	2.7

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PROJECT NO. R24003

REVISIONS	No.	Description	YY-MM-DD

NORTH ELEVATION

SCALE: 3/8" = 1'-0"

A3.2

DATE: 2023-11-28

DRAWN BY: JH

MATERIAL LEGEND	
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6	CONCRETE



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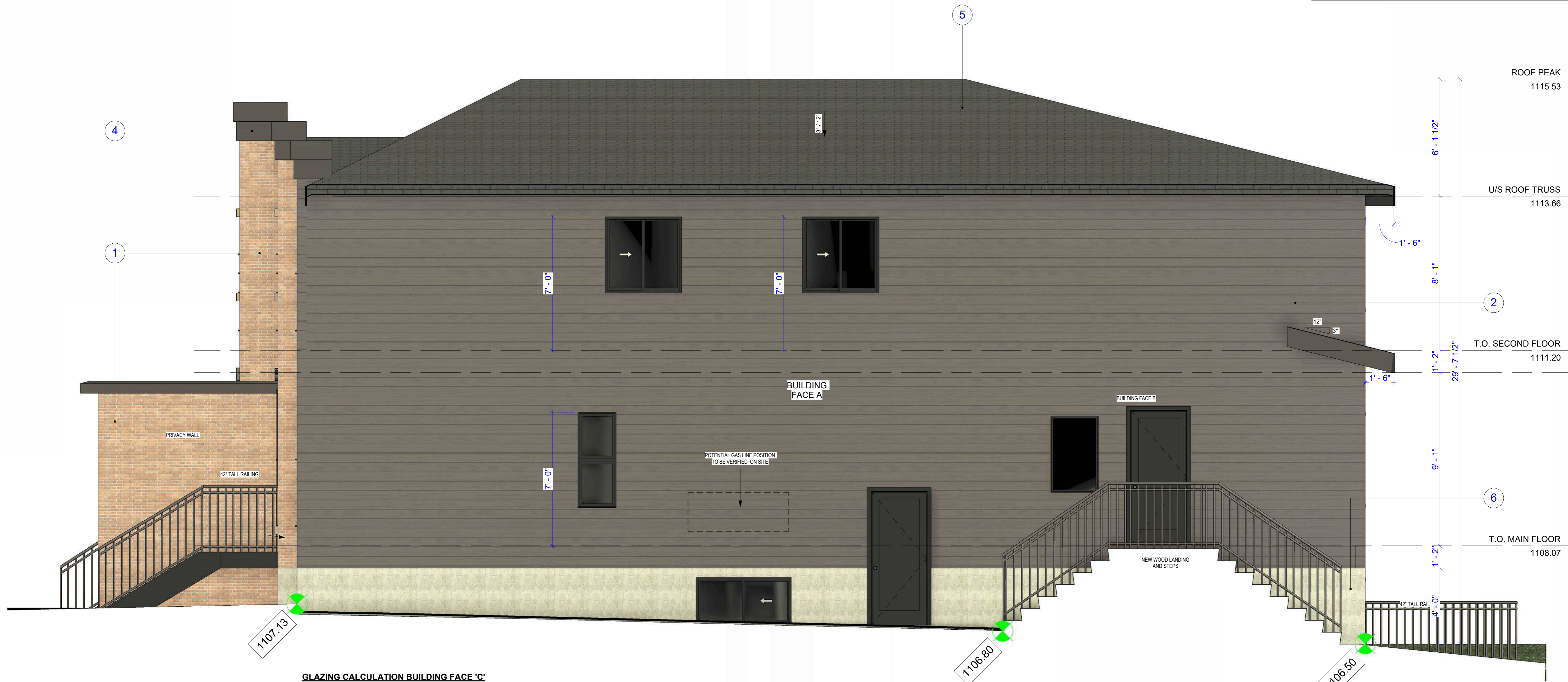
EAST ELEVATION

SCALE: 3/8" = 1'-0"

A3.3

DATE: 2023-11-28

DRAWN BY: JH



**GLAZING CALCULATION BUILDING FACE 'C'**  
 LIMITING DISTANCE CALCULATION (TABLE 9.10.15.4)  
 LIMITING DISTANCE = 1.24m  
 AREA OF EXPOSED BUILDING FACE 'C' = 112.37 sq.m  
 MAX. ALLOWED AREA OF EXPOSED OPENINGS = 7%  
 PROPOSED AREA OF EXPOSED OPENINGS = 6.0 sq.m (5.34%)

NOTE:  
 ALL WINDOWS TO BE VERIFIED WITH SUPPLIER'S SPECS

1 EAST ELEVATION  
 A3.3 3/8" = 1'-0"

NOTE: DOWN SPOUTS TO BE LOCATED ON SITE BY INSTALLING CONTRACTOR AND LOCATIONS TO BE CONFIRMED BY HOME OWNER.

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 MINIMUM PERFORMANCE GRADE(PG): 25  
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 MINIMUM NEGATIVE DESIGN PRESSURE: 1200PA  
 MINIMUM WATER PENETRATION:  
 TEST PRESSURE: 260PA  
 MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION: A2  
 MAXIMUM 'U' VALUES W/(M2 x k)  
 WINDOWS AND DOORS 1.6  
 SKYLIGHTS 2.7

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1	THIN BRICK VENEER COLOR: BROWN
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**GLAZING CALCULATION BUILDING FACE 'A'**  
 LIMITING DISTANCE CALCULATION (TABLE 9.10.15.4)  
 LIMITING DISTANCE = 1.23m  
 AREA OF EXPOSED BUILDING FACE 'A' = 120.03 sq.m  
 MAX. ALLOWED AREA OF EXPOSED OPENINGS = 7%  
 PROPOSED AREA OF EXPOSED OPENINGS = 8.33 sq.m (6.94%)

**GLAZING CALCULATION BUILDING FACE 'B'**  
 LIMITING DISTANCE CALCULATION (TABLE 9.10.15.4)  
 LIMITING DISTANCE = 0.62m  
 AREA OF EXPOSED BUILDING FACE 'B' = 6.52 sq.m  
 MAX. ALLOWED AREA OF EXPOSED OPENINGS = 0%  
 PROPOSED AREA OF EXPOSED OPENINGS = 0 sq.m

1 WEST ELEVATION  
 3/8" = 1'-0"

NOTE:  
 ALL WINDOWS TO BE VERIFIED WITH SUPPLIER'S SPECS

NOTE: DOWN SPOUTS TO BE LOCATED ON SITE BY INSTALLING CONTRACTOR AND LOCATIONS TO BE CONFIRMED BY HOME OWNER.

NOTE: FINISHED GRADES MAY VARY. BUILDER TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION & ADJUST DEPTH OF FOUNDATION, NUMBER OF STEPS ETC. AS REQUIRED.

NOTE: ALL GRADE GEODETICS SHOWN TO BE READ IN CONJUNCTION WITH THE APPROVED DSSP PLANS.

**WINDOW, DOOR, AND SKYLIGHT REQUIREMENTS:**  
 PERFORMANCE CLASS: LC  
 TERRAIN: ROUGH  
 MINIMUM PERFORMANCE GRADE(PG): 25  
 MINIMUM POSITIVE DESIGN PRESSURE: 1200PA  
 MINIMUM NEGATIVE DESIGN PRESSURE: 1200PA  
 MINIMUM WATER PENETRATION:  
 TEST PRESSURE: 260PA  
 MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION: A2  
 MAXIMUM 'U' VALUES W/(M2 x k)  
 WINDOWS AND DOORS 1.6  
 SKYLIGHTS 2.7

SEAL

TRUE NORTH

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PROPOSED TRIPLEX  
 2136 22 AVE S.W. CALGARY, ALBERTA

REVISIONS		
No.	Description	YY-MM-DD

WEST ELEVATION

SCALE: 3/8" = 1'-0"

A3.4

DATE: 2023-11-28

DRAWN BY: JH

MATERIAL LEGEND	
NO	DESCRIPTION
1	THIN BRICK VENEER COLOR: BROWN
2	HORIZONTAL HARDIE BOARD COLOR: GREY
3	VERTICAL HARDIE BOARD COLOR: GREY
4	SMART BOARD: GREY
5	ASPHALT SHINGLE: BLACK
6	CONCRETE



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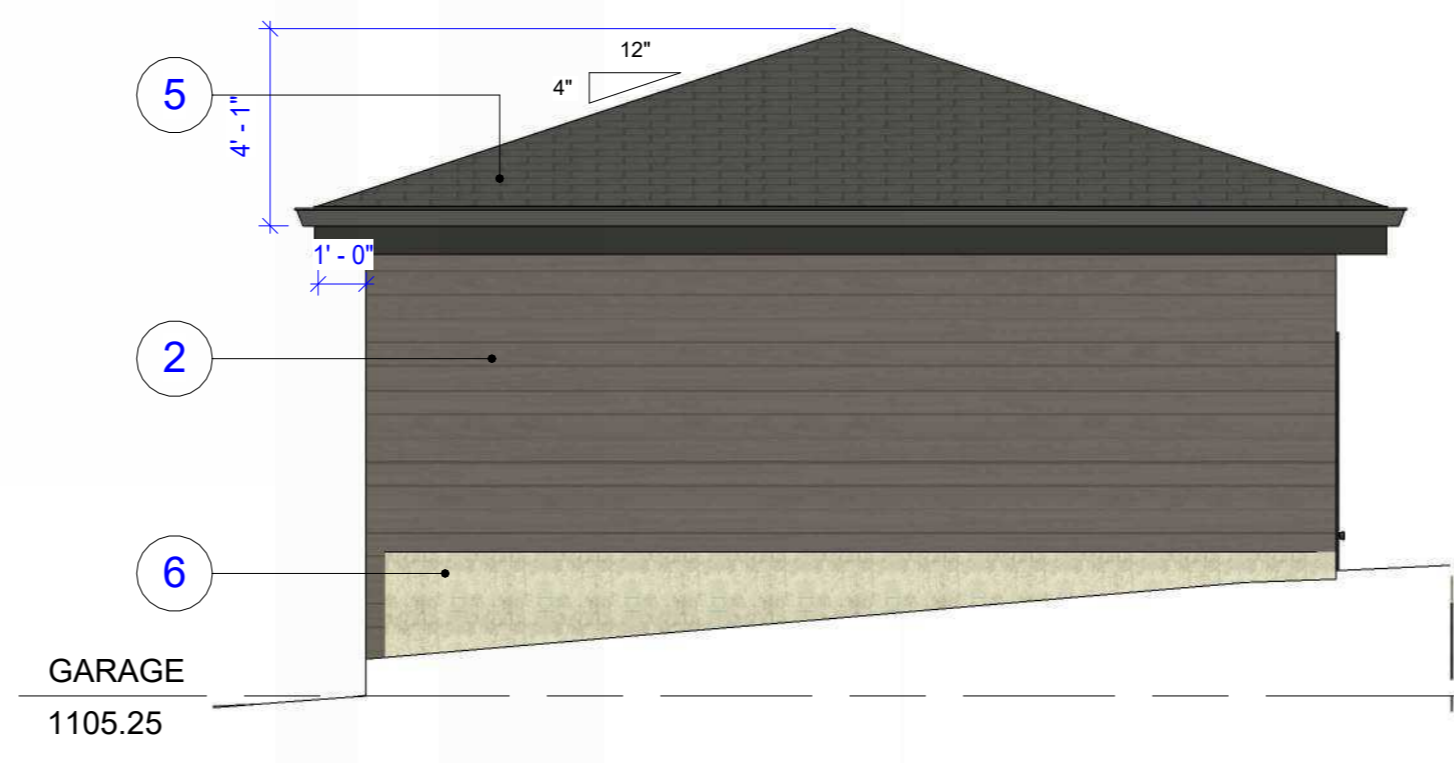
**2 GARAGE FRONT ELEVATION**  
 A3.5 1/4" = 1'-0"



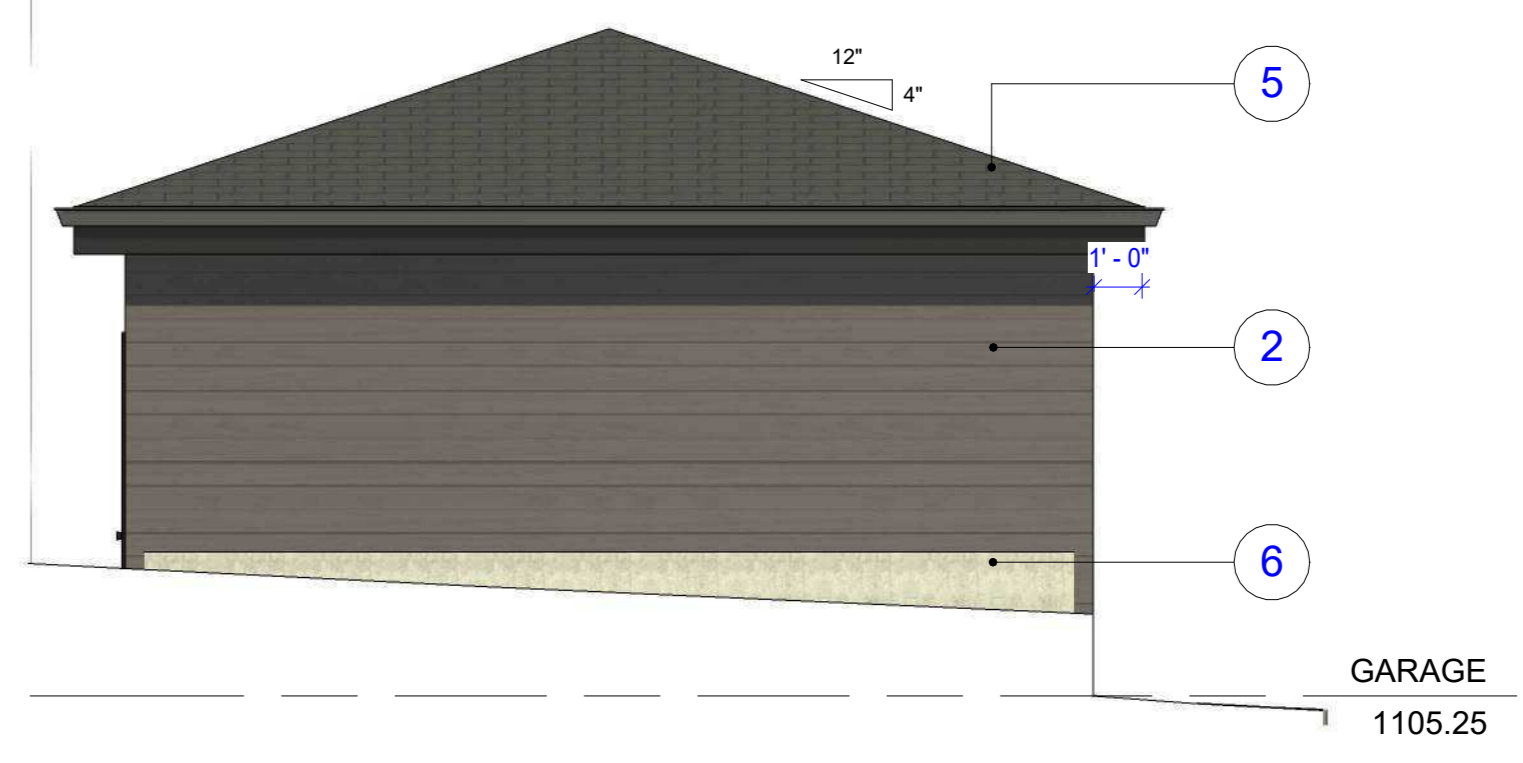
**3 GARAGE REAR ELEVATION**  
 A3.5 1/4" = 1'-0"

LIMITING DISTANCE CALCULATION (TABLE 9.10.15.4)

LIMITING DISTANCE:	0.0M
ACTUAL DISTANCE:	0.0M
TOTAL FACADE AREA:	24.78 SQ.M.
TOTAL GLAZING AREA:	0.0 SQ.M.
GLAZING % (MAX 0%)	0%



**4 GARAGE LEFT ELEVATION**  
 A3.5 1/4" = 1'-0"



**5 GARAGE RIGHT ELEVATION**  
 A3.5 1/4" = 1'-0"

**GW1 EXTERIOR WALL (GARAGE) -1 HOUR F.R.R**  
 - ACRYLIC STUCCO FINISH (WHITE)  
 - 1 LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD  
 - VAPOUR PERMEABLE AIR BARRIER  
 - 2X4 WOOD STUDS MAX 400mm(16") O.C.  
 - MINERAL FIBER THERMAL INSULATION PER FRR & PERFORMANCE REPORT REQ.  
 - 6 MIL POLY VAPOUR BARRIER  
 - 1 LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD

**GW2 INTERIOR WALL (GARAGE) -1 HOUR F.R.R**  
 - 1 LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD  
 - 2X4 WOOD STUDS MAX 400mm(16") O.C.  
 - 1 LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD

**F3 GARAGE SLAB CONSTRUCTION**  
 - 4" CONCRETE SLAB SLOPED 4: TO OVERHEAD DOOR (REFER TO STRUCTURAL)  
 - 6 MIL POLYETHYLENE DAMPPROOFING AND AIR/SOIL GAS BARRIER, FLEXIBLE SEALANT AROUND PERIMETER AND ALL PENETRATIONS  
 - LAP ALL JOIST MINIMUM 300mm AS PER 2023 NBC-AE  
 - 6" GRANULAR FILL (REFER TO SOIL REPORT)  
 - SLAB SUPPORT BY 10" DIAMETER CONCRETE FILLED SONO TUBS C/W MINIMUM 1-10M REBAR TO MINIMUM 4'-0" BELOW (REFER TO STRUCTURAL)  
 - COMPACTED EARTH PER GEOTECH/SOIL REPORT

**GR1 ROOF CONSTRUCTION**  
 - ARCHITECTURAL ASPHALT SHINGLES FOR ALL ROOF SLOPES OVER 3 IN 12 AND/OR MINIMUM 60 MIL  
 - WEATHERPROOF ROOFING MEMBRANE FOR ALL ROOF SLOPES LESS THAN 3 IN 12  
 - UNDERLAYMENTS ( 15lbs. FELT PAPER )  
 - ICE AND WATER SHIELD 36" FROM EAVE MINIMUM VALLEYS TO HAVE 18" OF ICE AND WATER COVERAGE  
 - 3/8" EXTERIOR GRADE OSB OR PLYWOOD SHEATHING C/W 'H' CLIPS  
 - ENGINEER APPROVED ROOF TRUSSES (SPACING AS PER ENGINEERS LAYOUT)  
 - LOOSE FILL / BATT INSULATION AS PER PERFORMANCE REPORT  
 - 6 MIL POLY VAPOUR BARRIER  
 - 1 LAYER 5/8" TYPE 'X' GYPSUM BOARD  
 - VENTED ATTIC SPACE TO MINIMUM 1/300 OF ROOF AREA TO CONFORM TO N.B.C.  
 - ATTIC ACCESS WEATHER STRIPPED AND INSULATED

SEAL

TRUE NORTH

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PROPOSED TRIPLEX  
 2136 22 AVE S.W. CALGARY, ALBERTA

PROJECT NO.	R24003
REVISIONS	
No. Description	YY-MM-DD

GARAGE PLAN & ELEVATIONS

SCALE: 1/4" = 1'-0"

A3.5

DATE: 2023-11-28

DRAWN BY: JH