

OXFORD

GEC

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ISSUED FOR: DEVELOPMENT PERMIT - DR RESPONSE #02

06/18/26

ARCHITECTURAL

ELECTRICAL

DP-01	ZONING MAP, BYLAW REVIEW AND SITE PHOTOGRAPHS
DP-02	PROPOSED SITE PLAN
DP-03	FLOOR PLANS
DP-04	ROOF PLANS
DP-05	NORTH, EAST, AND WEST ELEVATIONS - BUILDING A
DP-06	SOUTH ELEVATIONS - BUILDING A
DP-07	NORTH, EAST, AND WEST ELEVATIONS - BUILDING C
DP-08	SOUTH ELEVATIONS - BUILDING C, SIGNAGE WALL DETAILS

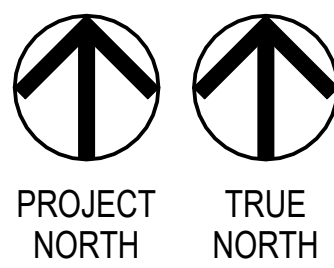
CIVIL

C-1	DEVELOPMENT SITE SERVICING PLAN
C-2	GRADING PLAN
C-3	GRADING DETAILS AND SECTIONS
C-4	TRUCK TURNING TEMPLATE

LANDSCAPE

DP-LA01 LANDSCAPE LAYOUT PLAN
DP-LA02 LANDSCAPE PLANTING PLAN





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Project Team:

Prime Consultant

GEC ARCHITECTURE

Electrical Consultant

HIDI

Civil Consultant

SEDULOUS ENGINEERING INC.

Landscape Consultant

NAK DESIGN STRATEGIES

Client

OXFORD PROPERTIES GROUP



Seal & Permit

PRELIMINARY -
NOT FOR
CONSTRUCTION

3	DR RESPONSE #02	2026-06-18
2	DR RESPONSE #01	2026-04-02
1	DEVELOPMENT PERMIT	2025-09-26
NO.	ISSUED FOR	DATE

Drawing History

Scale

1 : 2000

Checked By

Checker

Project

OXFORD AIRPORT BUSINESS PARK
BUILDING A

Project Address

Drawing Title

ZONING MAP, BYLAW REVIEW AND
SITE PHOTOGRAPHS

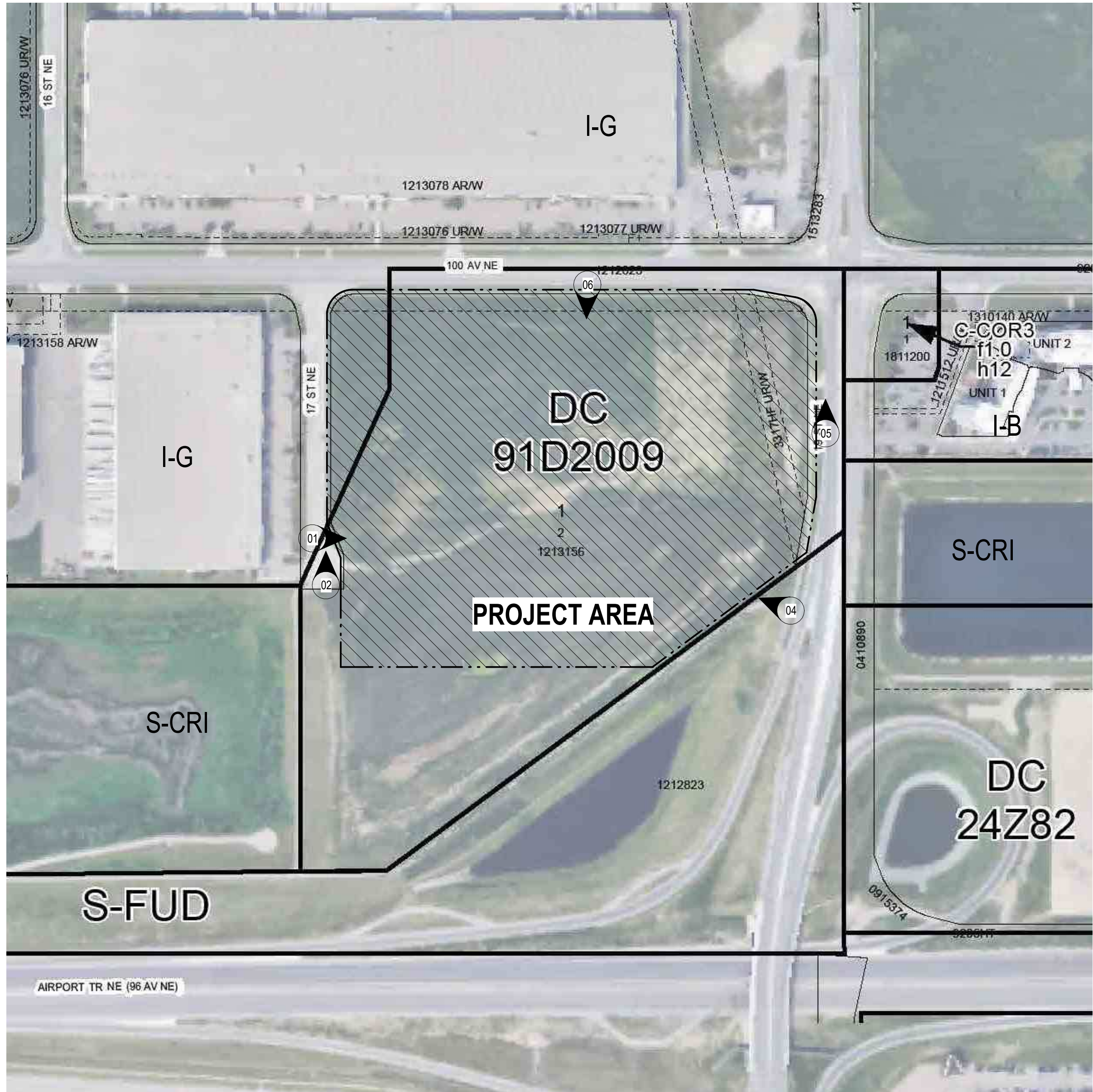
Project Number

6113

Drawing Number

DP-01

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1
DP-01

ZONING MAP

Scale: NTS

PROJECT PROPOSAL

INDUSTRIAL SITE CONSISTS OF TWO (2) NEW LIGHT INDUSTRIAL BUILDINGS. THESE BUILDINGS ARE DESIGNED TO ACCOMMODATE A VARIETY OF USES AND UNIT SIZES, OFFERING FLEXIBILITY FOR A RANGE OF TENANTS. POSITIONED AT THE ENTRANCE OF THE OXFORD AIRPORT BUSINESS PARK (OABP), THE SITE BENEFITS FROM HIGH VISIBILITY FROM MAJOR ROADWAYS INCLUDING AIRPORT TRAIL, 19 STREET NE, AND 100 AVENUE NE. AS SUCH, IT IS INTENDED TO SERVE AS A DISTINCTIVE AND PROMINENT FEATURE OF THE OABP. TO ELEVATE THE ARCHITECTURAL PRESENCE BEYOND THAT OF A TYPICAL WAREHOUSE, THE DESIGN INCORPORATES FEATURE GLAZING AND UNIQUE ARCHITECTURAL ELEMENTS AT THE PRIMARY ENTRANCES, CREATING A VISUALLY STRIKING AND MEMORABLE IDENTITY FOR THE SITE.

ZONING: DIRECT CONTROL (91D2009)
MUNICIPAL ADDRESS: 1901 100 AVE NE
LEGAL DESCRIPTION: BLOCK 1, LOT 2, PLAN 1213156
USE: INDUSTRIAL – BUSINESS DISTRICT
• GENERAL INDUSTRIAL – LIGHT (WAREHOUSE) FOR LEASE
SITE AREA: 58,207 SQM
MAXIMUM PERMITTED F.A.R.: 0.60 AS PER 21D2009

PROPOSED GROSS FLOOR AREA:

- BUILDING A = 11,720 SQM
- BUILDING C = 12,245 SQM
- TOTAL GFA = 23,965 SQM

PROPOSED F.A.R.: 0.41

BUILDING HEIGHT: 12.0 M (MAX 40.0M PERMITTED)

EMPLOYEE AREA

- ALL DEVELOPMENTS MUST HAVE AN OUTDOOR AREA FOR USE OF EMPLOYEES, THAT IS A MIN. OF 10.0 SQM.
- AMENITY AREA PROVIDED: 43 SQM

WASTE, FOOD/YARD WASTE AND RECYCLING

ALL WASTE (INCLUDING FOOD/YARD WASTE) AND RECYCLING BINS FOR EACH TENANT TO BE STORED INSIDE THEIR RESPECTIVE TENANCIES. FUTURE TENANTS ARE RESPONSIBLE FOR MOVING CONTAINERS TO COLLECTION AREAS, WITH COLLECTION OCCURRING TWICE PER WEEK. EXACT LOCATION OF WASTE AND RECYCLING BINS WITHIN EACH TENANCY TO BE DETERMINED BY TENANT AT TIME OF 'CHANGE OF USE' PERMIT APPLICATION.

PARKING & LOADING

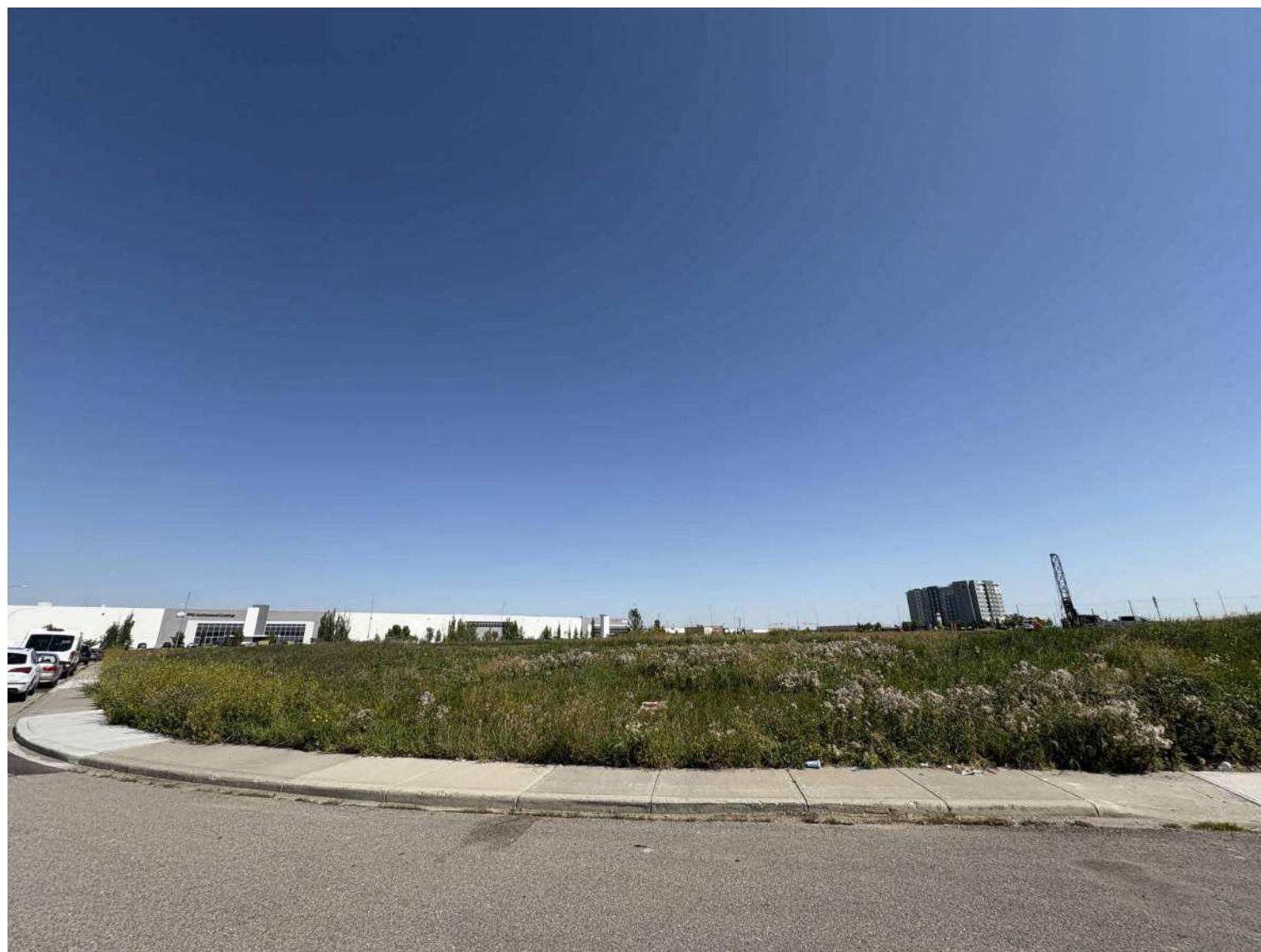
MOTOR VEHICLE PARKING REQUIREMENTS:
1 PARKING STALL PER 100.0 SQUARE METRES OF GROSS USABLE FLOOR AREA AND 1 LOADING STALL PER 9300 SQUARE METRES OF GROSS FLOOR AREA PER CITY OF CALGARY LAND USE BYLAW1P2007. NUMBER OF STALLS FOR PERSONS WITH PHYSICAL DISABILITIES PER NBC-AE2023 - TABLE 3.8.2.5. DESIGNED PER NBC-AE 3.8.3.23.
• BUILDING A: 11,720 SQM
• MIN. REQUIRED STALLS: 118
• MIN. REQUIRED BF STALLS: 5
• MIN. REQUIRED LOADING STALLS: 2
• BUILDING C: 12,245 SQM
• MIN. REQUIRED STALLS: 123
• MIN. REQUIRED BF STALLS: 5
• MIN REQUIRED LOADING STALLS: 2
• TOTAL REQUIRED STALLS: 247
• TOTAL PROVIDED BF STALLS: 6 (BUILDING A) + 6 (BUILDING C) = 12
• TOTAL PROVIDED STALLS: 263 (INCL. BF STALLS)
• TOTAL PROVIDED EV-READY STALLS: 28
• TOTAL PROVIDED LOADING STALLS: 38

BICYCLE PARKING

- CLASS 1 BICYCLE STALLS – NOT REQUIRED
- CLASS 2 BICYCLE STALLS – 1 STALL PER PER 2,000 sqm OF GROSS USABLE FLOOR AREA
- TOTAL GROSS FLOOR AREA: 23,965 SQM / 2000 = 12 BICYCLE STALLS REQUIRED
- TOTAL 20 BICYCLE STALLS PROVIDED



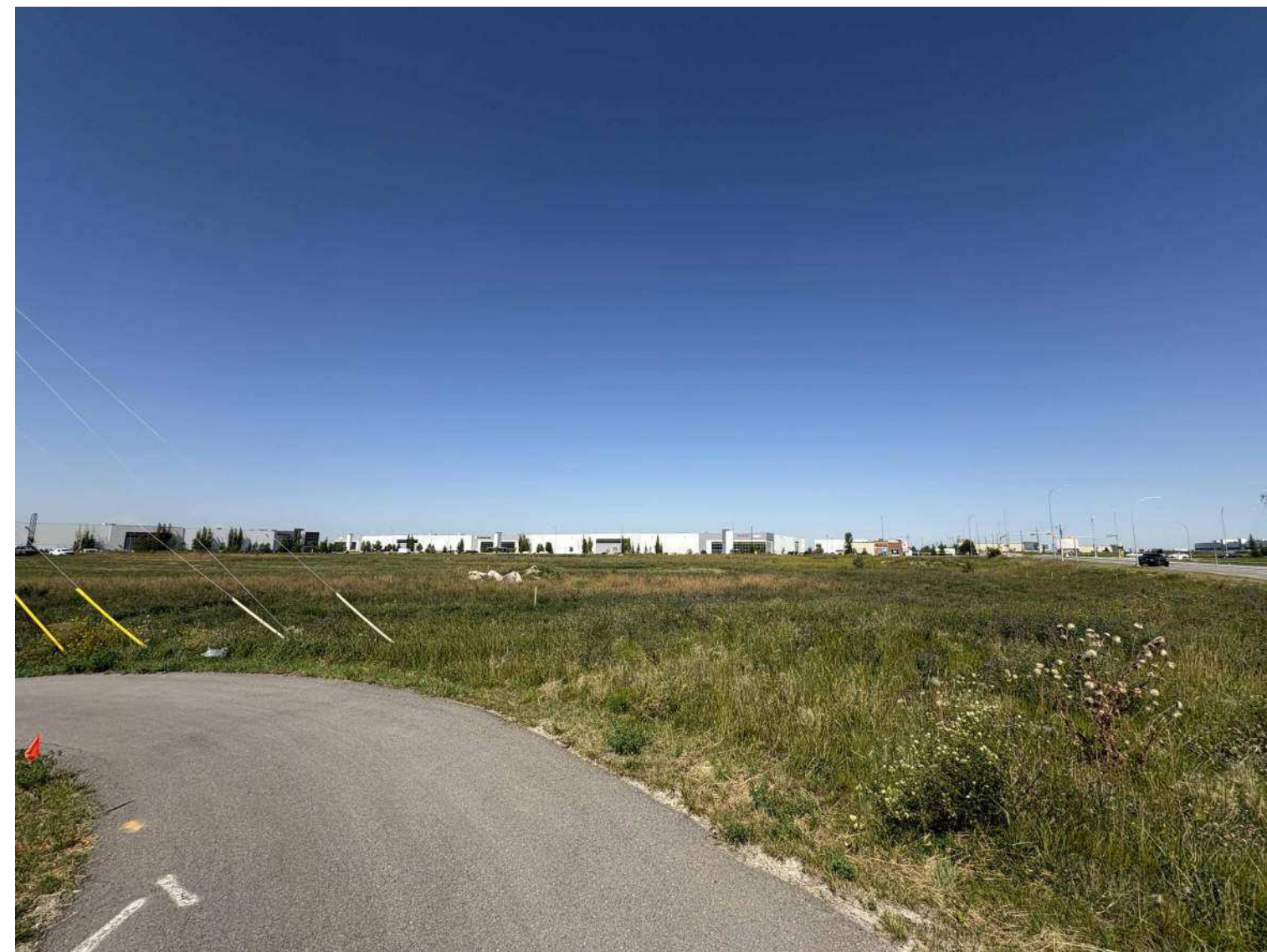
01 OXFORD AIRPORT BUSINESS PARK - LOOKING EAST



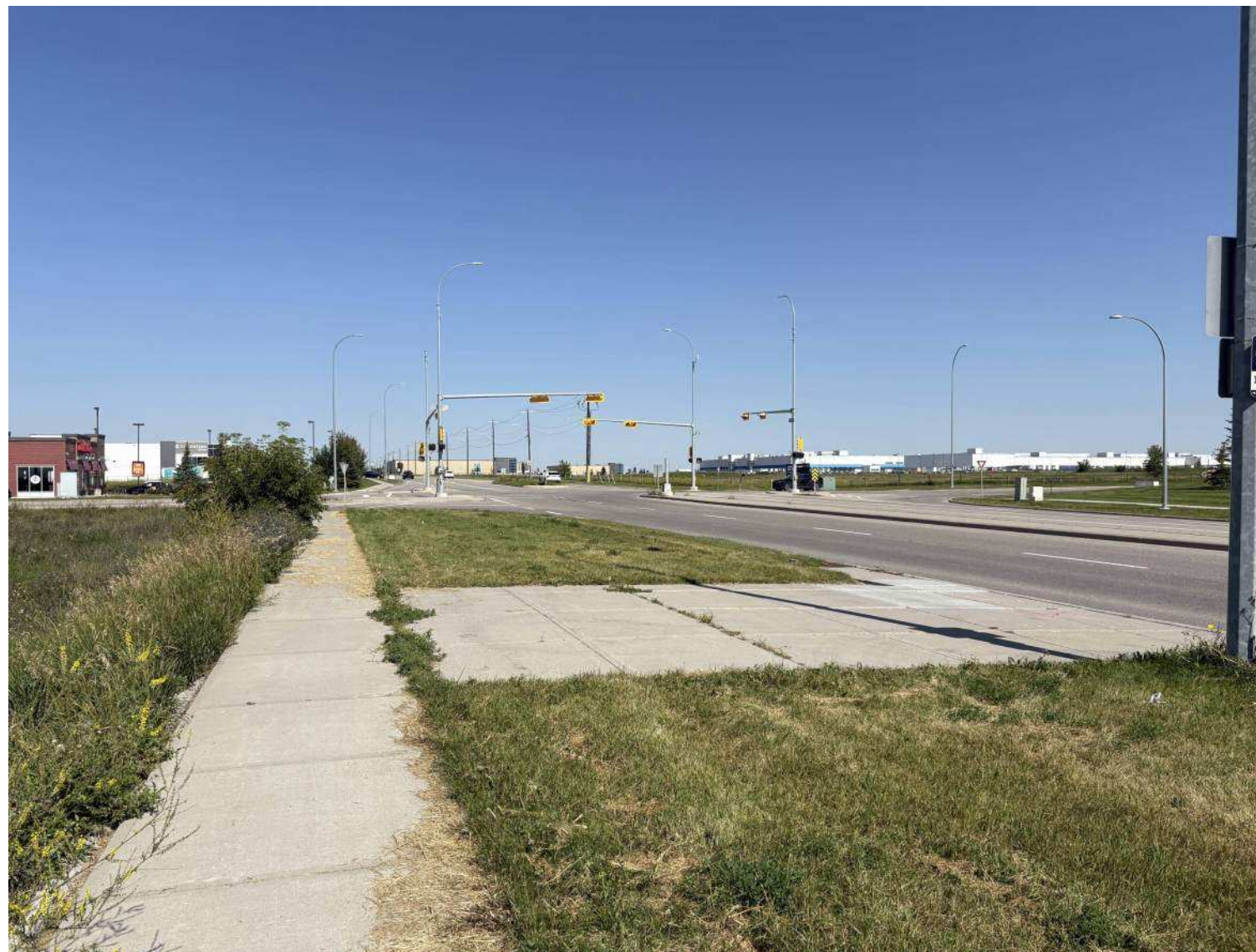
02 OXFORD AIRPORT BUSINESS PARK - LOOKING NORTH



03 OXFORD AIRPORT BUSINESS PARK - LOOKING NORTHEAST



04 OXFORD AIRPORT BUSINESS PARK - LOOKING NORTHWEST



05 OXFORD AIRPORT BUSINESS PARK - LOOKING NORTH



06 OXFORD AIRPORT BUSINESS PARK - LOOKING SOUTH

AMENDED DRAWINGS
DP No Date Received
DP2025-05685 JUN 23 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

Project Team:

Prime Consultant

GEC ARCHITECTURE

Electrical Consultant

HIDI

Civil Consultant

SEDULOUS ENGINEERING INC.

Landscape Consultant

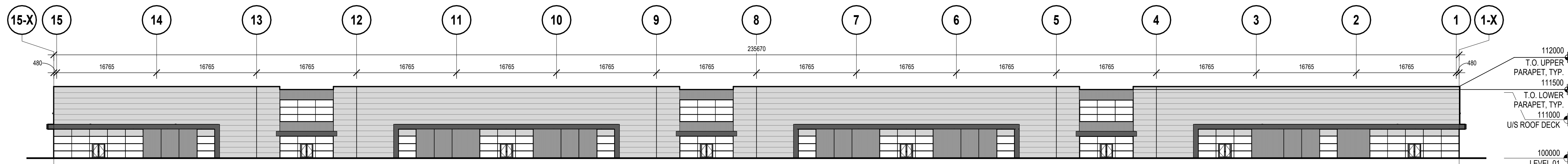
NAK DESIGN STRATEGIES

Client:

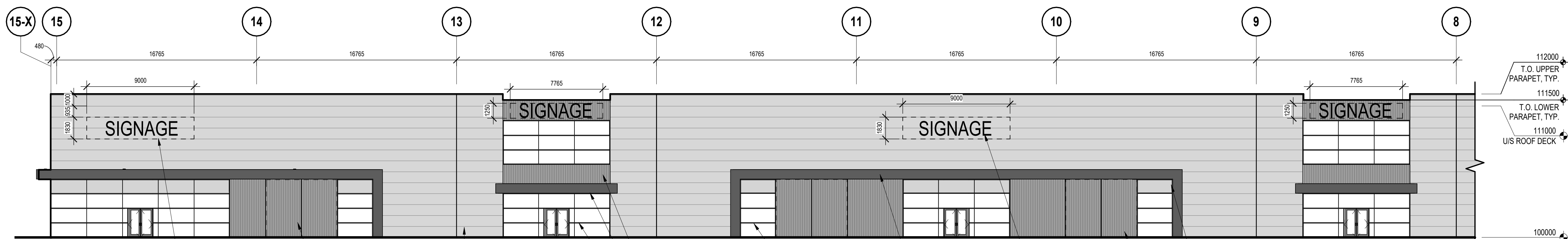
OXFORD PROPERTIES GROUP

OXFORD

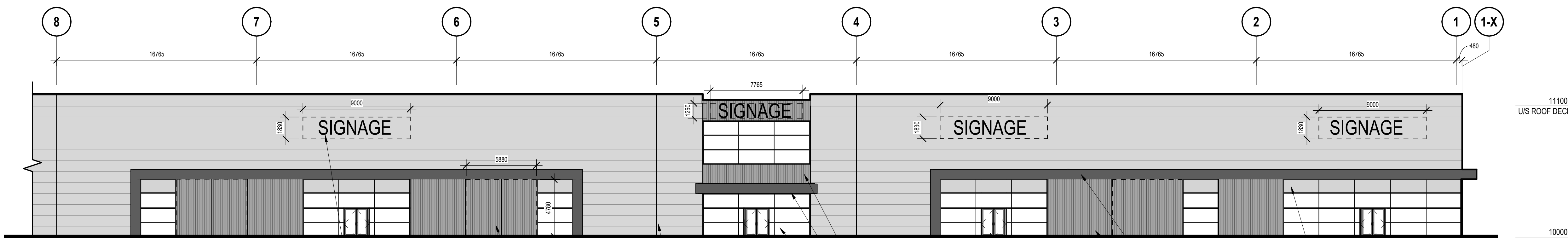
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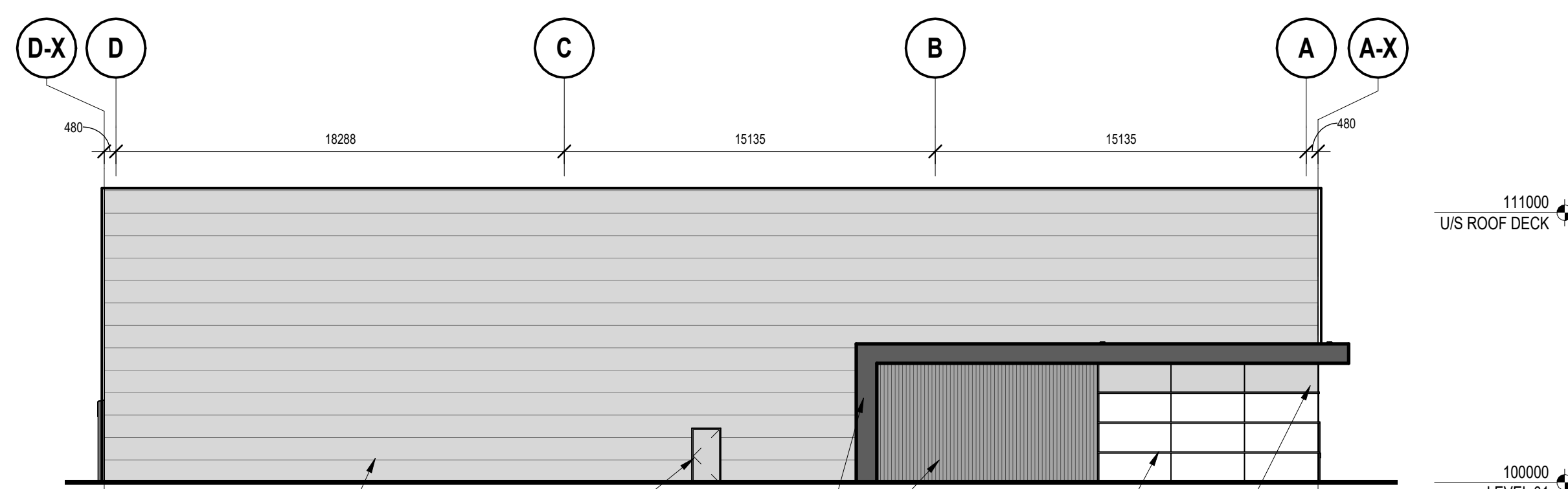
1 BLDG A - COMPOSITE NORTH ELEVATION
Scale: 1 : 400



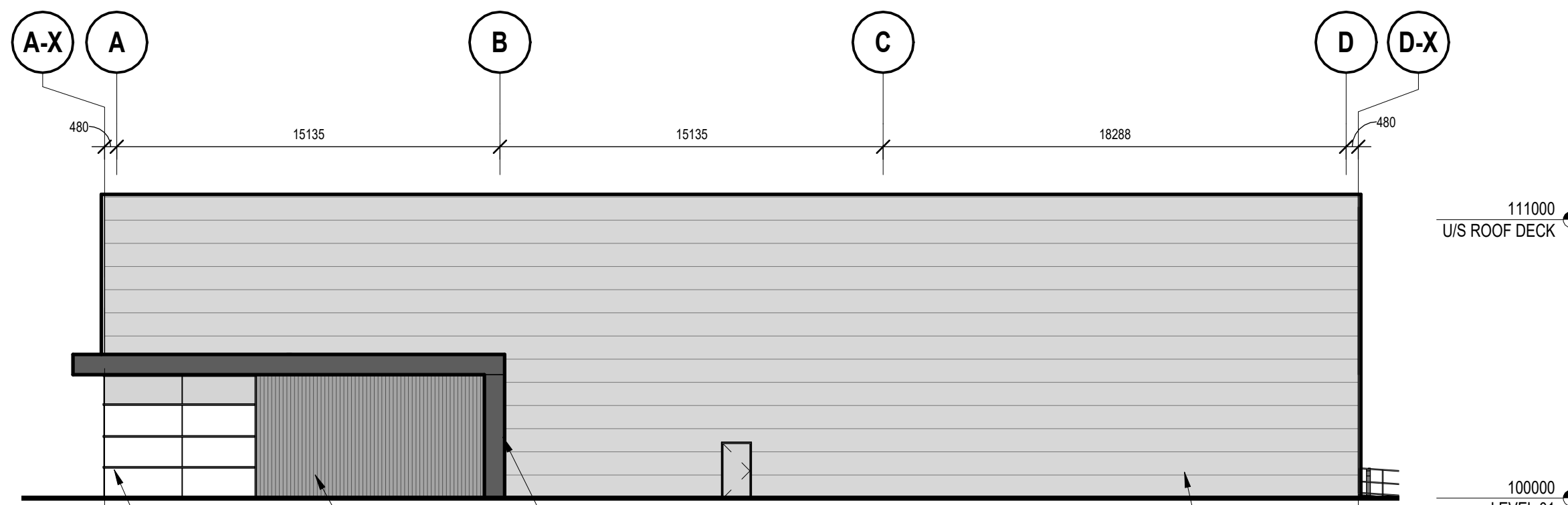
5 BLDG A - NORTH ELEVATION - EAST
Scale: 1 : 200



2 BLDG A - NORTH ELEVATION - WEST
Scale: 1 : 200



6 BLDG A - EAST ELEVATION
Scale: 1 : 200



4 BLDG A - WEST ELEVATION
Scale: 1 : 200

DEVELOPMENT
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1	DEVELOPMENT PERMIT	2025-09-26

NO.	ISSUED FOR	DATE
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Drawing History

Scale	As indicated	Checked By	Checker
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Project

OXFORD AIRPORT BUSINESS PARK
BUILDING A

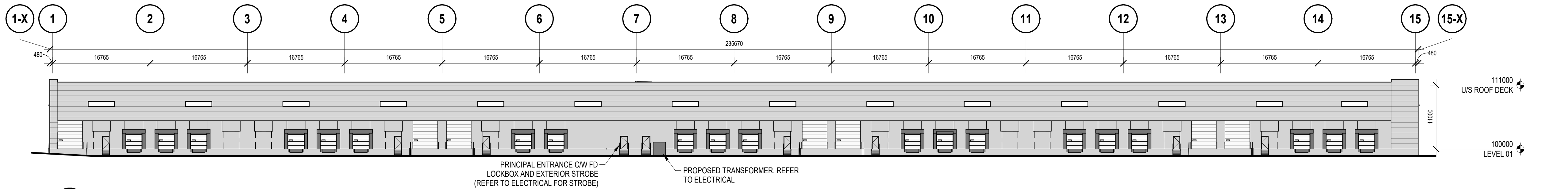
Project Address

Drawing Title

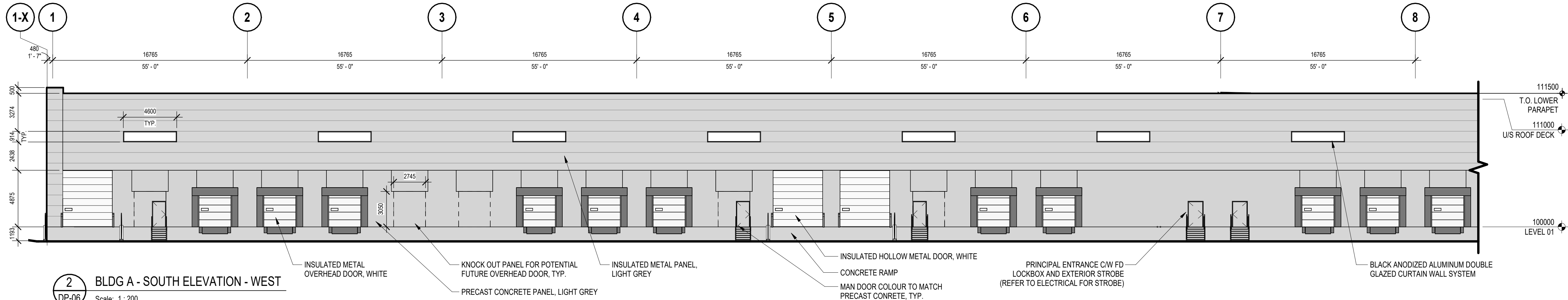
NORTH, EAST, AND WEST
ELEVATIONS - BUILDING A

Project Number Drawing Number

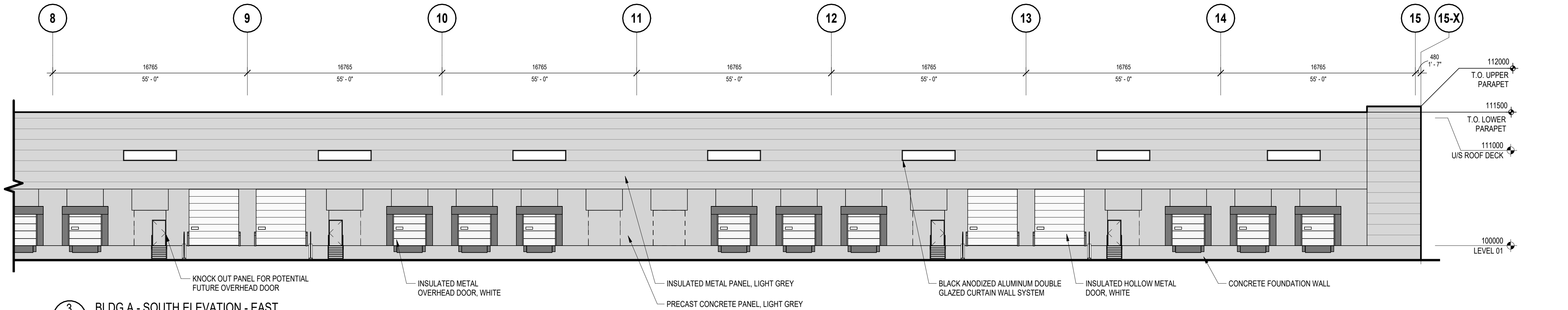
6113 DP-05



1 BLDG A - COMPOSITE SOUTH ELEVATION
DP-06 Scale: 1 : 400



2 BLDG A - SOUTH ELEVATION - WEST
DP-06 Scale: 1 : 200



3 BLDG A - SOUTH ELEVATION - EAST
DP-06 Scale: 1 : 200

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Project Team:

Prime Consultant
GEC ARCHITECTURE

Electrical Consultant
HIDI

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SEDULOUS ENGINEERING INC.

Landscape Consultant
NAK DESIGN STRATEGIES

Client:

OXFORD PROPERTIES GROUP

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DP2025-05685 JUN 23 2026
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2	DR RESPONSE #01	2026-04-02
1	DEVELOPMENT PERMIT	2025-09-26

NO.	ISSUED FOR	DATE

Drawing History

Scale As indicated Checked By Checker

Project

OXFORD AIRPORT BUSINESS PARK
BUILDING A

Project Address

Drawing Title

SOUTH ELEVATIONS - BUILDING A

Project Number Drawing Number

6113 DP-06

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OXFORD AIRPORT BUSINESS PARK
BUILDING A

Project Address _____
 Drawing Title _____

NORTH, EAST, AND WEST
ELEVATIONS - BUILDING C

Project Number	Drawing Number
6113	DP-07

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Project Team:

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HIDICivil Consultant
SEDULOUS ENGINEERING INC.Landscape Consultant
NAK DESIGN STRATEGIES

Client:

OXFORD PROPERTIES GROUP

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Project

OXFORD AIRPORT BUSINESS PARK
BUILDING A

Project Address

Drawing Title

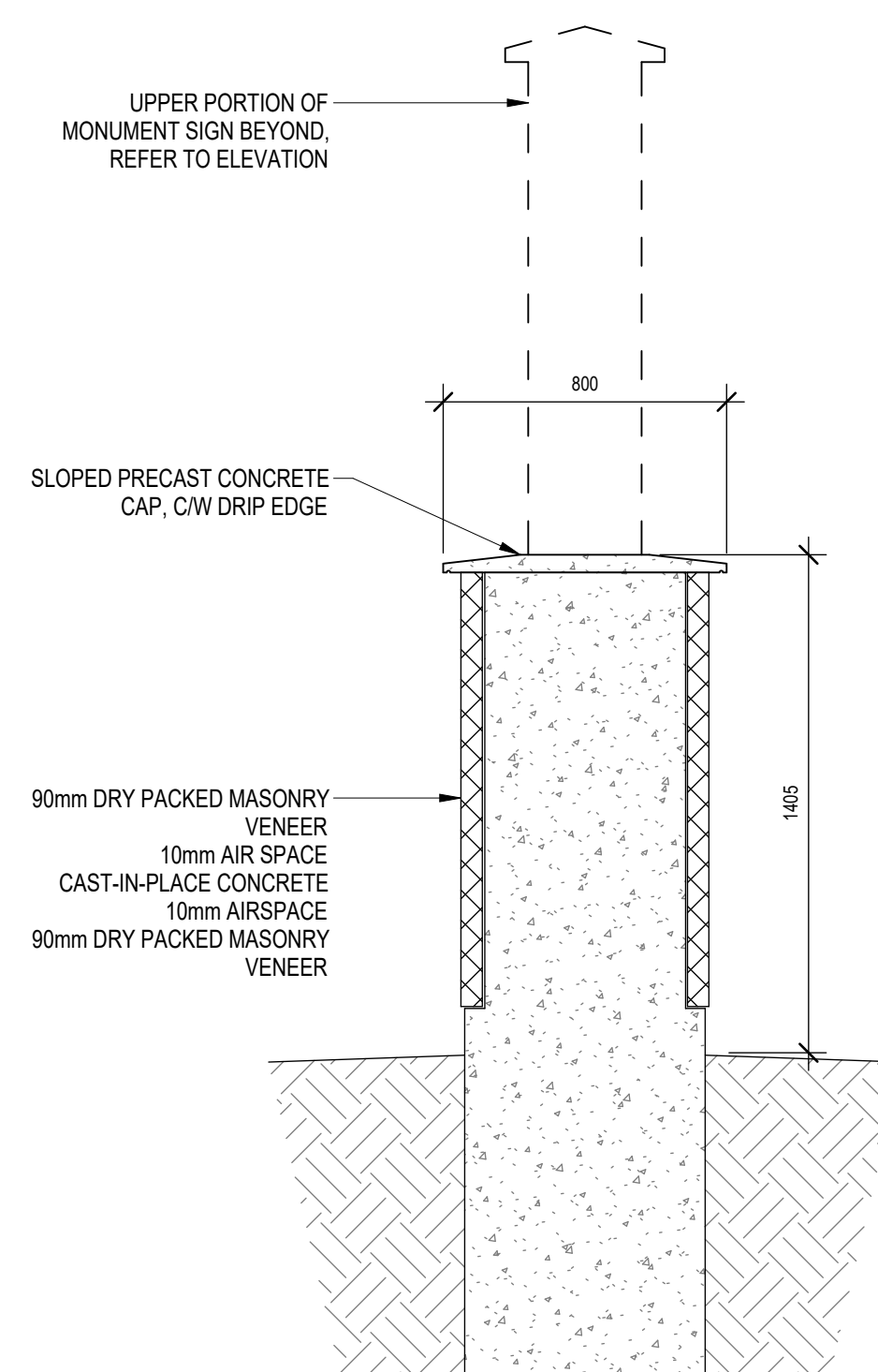
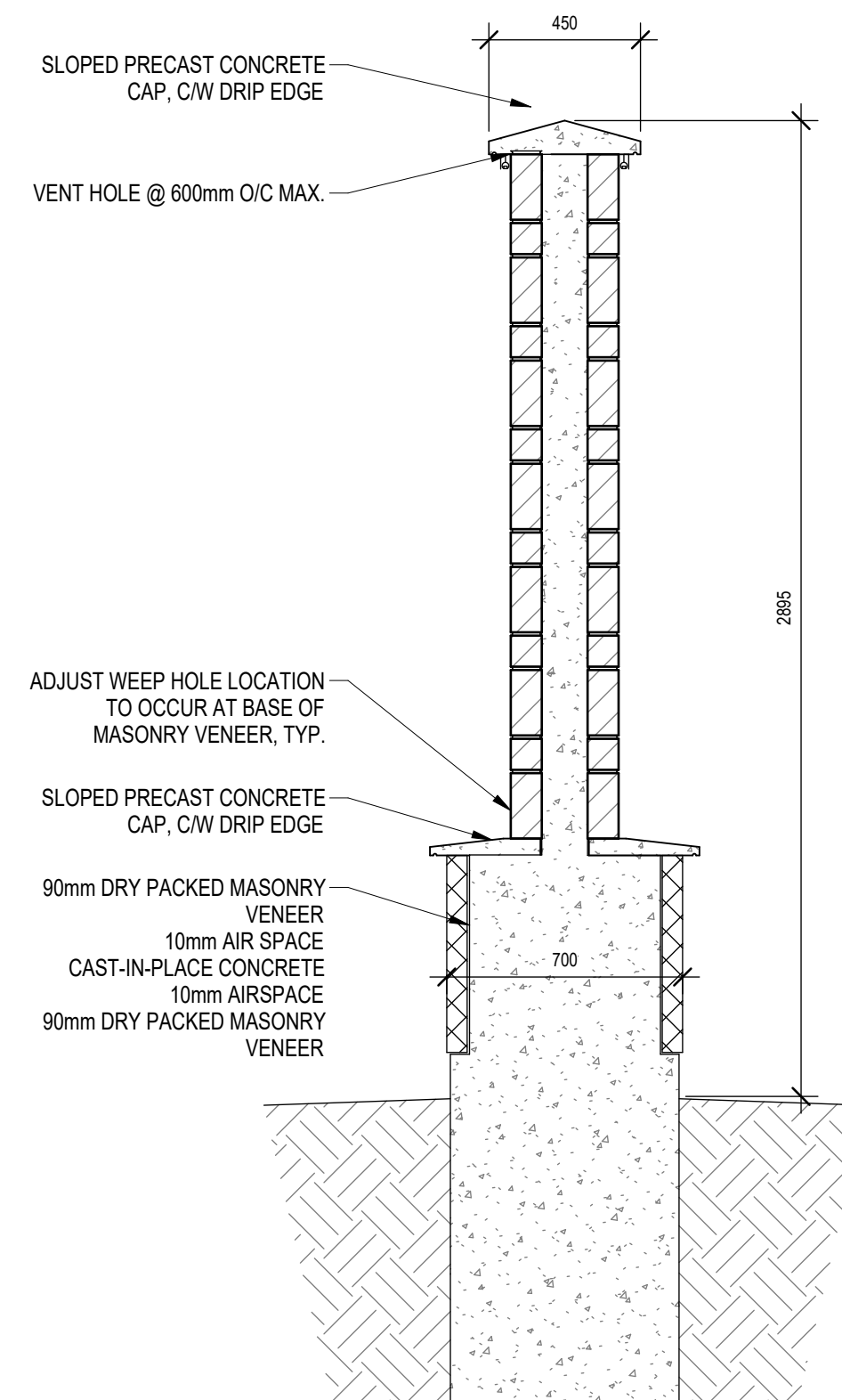
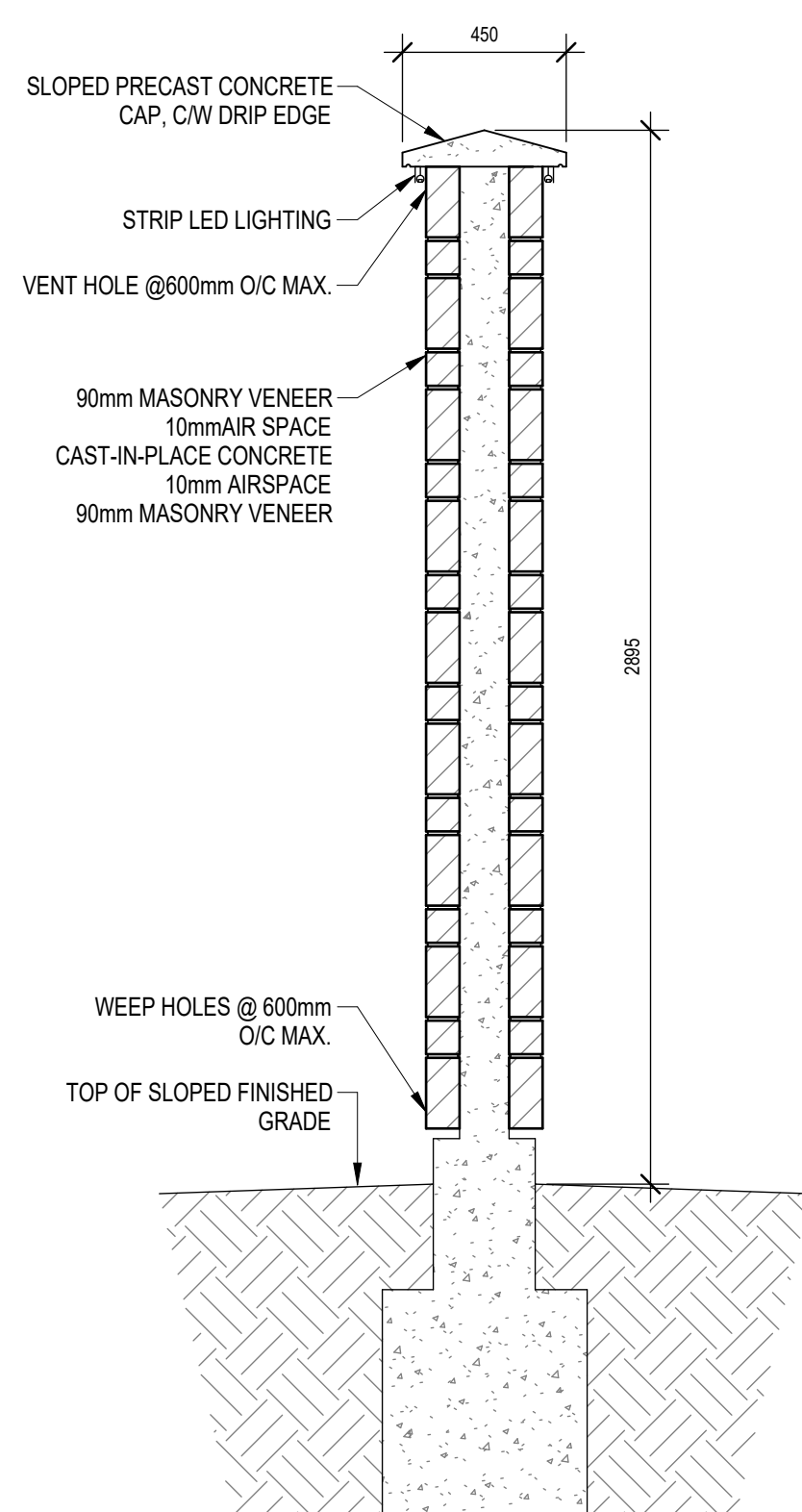
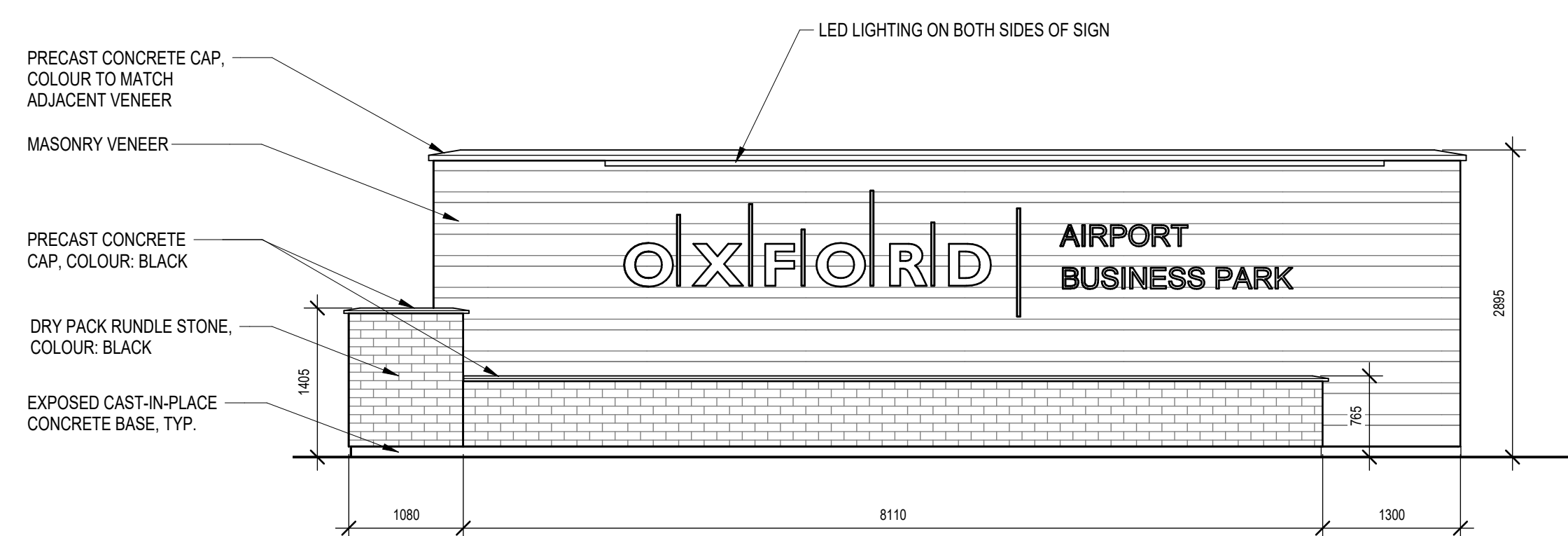
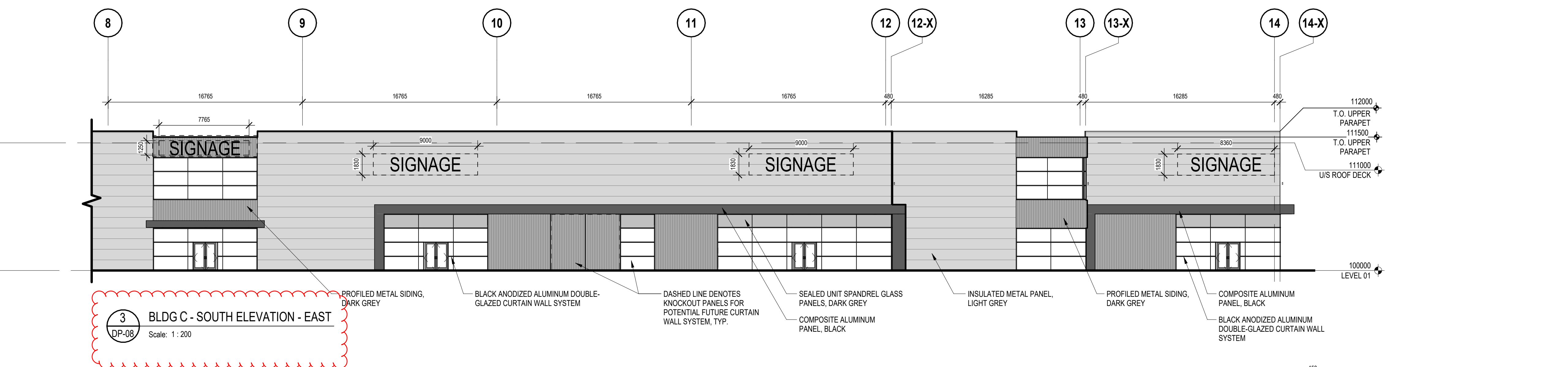
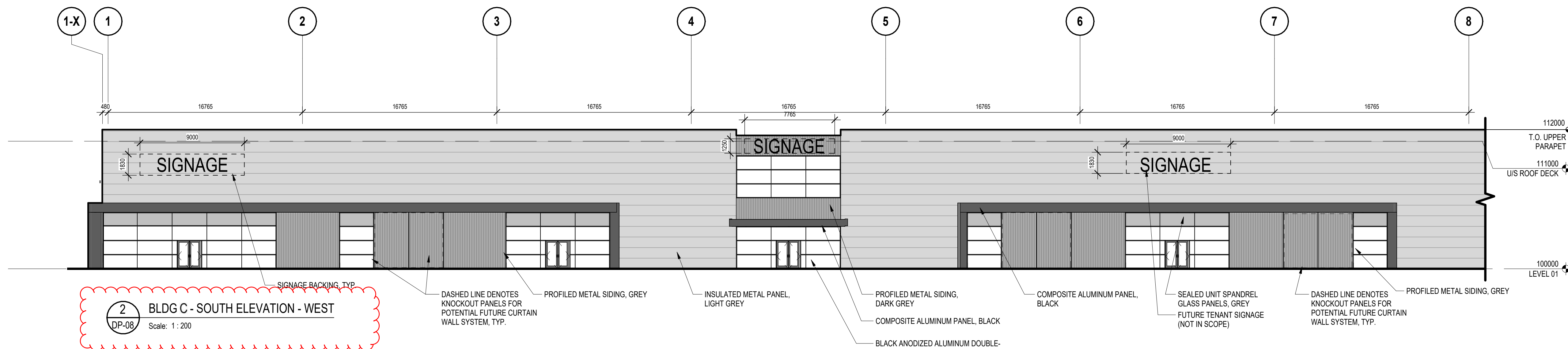
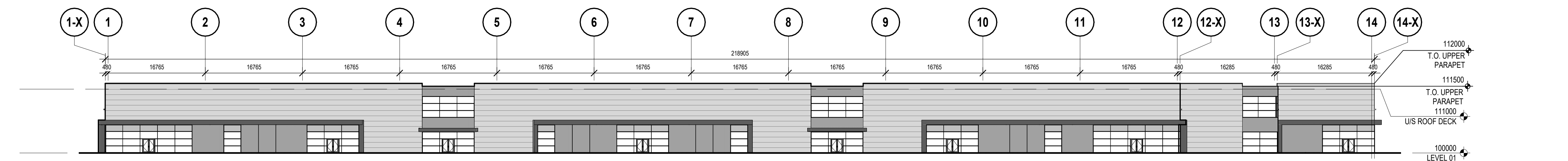
SOUTH ELEVATIONS - BUILDING C,
SIGNAGE WALL DETAILS

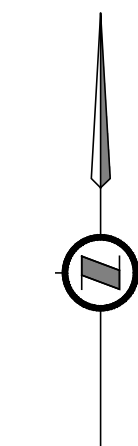
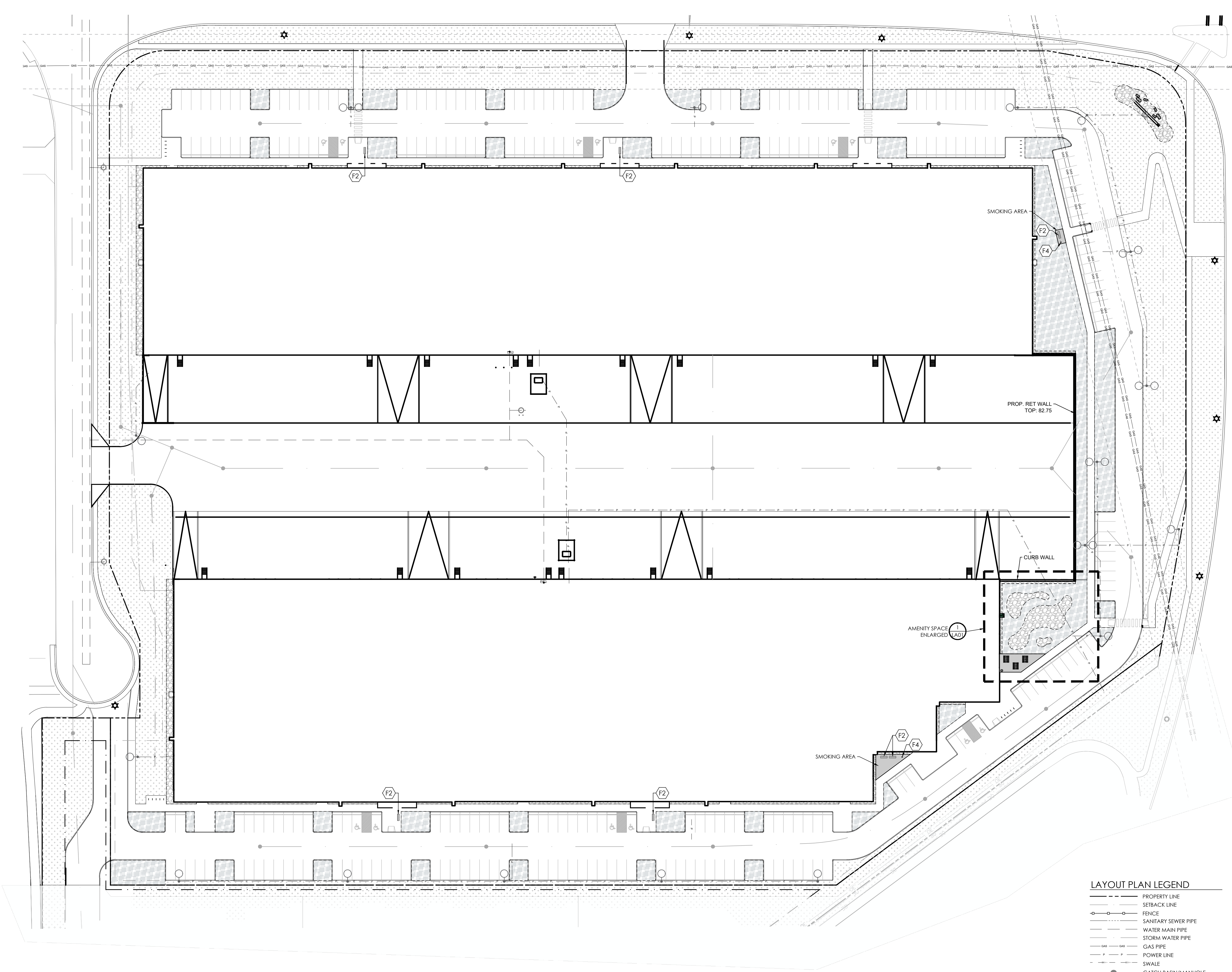
Project Number

6113

Drawing Number

DP-08

DEVELOPMENT
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DECISION
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ON THIS PLANAMENDED DRAWINGS
DP No Date Received
DP2025-05685 JUN 23 2026
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ABOVE DEVELOPMENT PERMIT NO.



GENERAL NOTES

- THE STANDARDS AND GUIDELINES APPLICABLE FOR THE WORK ARE INCLUDE ALL NECESSARY CONSTRUCTION STANDARDS AND GUIDELINES OF LANDSCAPE, ENGINEERING AND ENVIRONMENTAL REGULATION
- WORK SHALL CONFORM TO CURRENT MUNICIPAL LAND USE BYLAW, AND STANDARD LANDSCAPE GUIDELINES & SPECIFICATIONS, CURRENT EDITION.
- EQUIPMENT AND MATERIALS TO BE AS SPECIFIED. ANY REQUEST FOR ALTERNATES MUST CONFORM TO MUNICIPAL EQUIVALENCY SPECIFICATIONS AND BE APPROVED BY NAK AND THE MUNICIPALITY PRIOR TO BID SUBMISSION.
- UTILITY LOCATIONS SHALL BE LOCATED IN THE FIELD AND VERIFIED ON SITE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. CONTACT ALBERTA 1 CALL (1-800-242-3447) FOR LOCATES PRIOR TO ANY EXCAVATION.
- CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE PRIOR TO COMMENCEMENT OF WORK.
- LAYOUT INCLUDING PLANTING, PATHS, WALLS, FORM, WORK, FURNITURE AND EQUIPMENT SHALL BE APPROVED ON SITE BY NAK PRIOR TO CONSTRUCTION AND INSTALLATION. NAK REQUIRES 24 HOURS NOTIFICATION/ REQUEST PRIOR TO LAYOUT INSPECTION.
- PATH AND HARD SURFACE AREAS SHALL BE SLOPED AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE. PATH GRADIENTS SHALL NOT EXCEED 8% UNLESS APPROVED IN WRITING BY NAK.
- DEEP AND SHALLOW UTILITIES LOCATIONS SHALL BE VERIFIED ON SITE PRIOR TO PLANTING/INSTALLATION. RECORD DRAWINGS WILL BE SUBMITTED TO PARKS AND UTILITY LINE ASSIGNMENT WITHIN 30 DAYS OF ISSUANCE OF CCC IF THERE ARE ANY FIELD CHANGES TO THE TREE PLANTING LOCATIONS.
- ALL LANDSCAPED AREAS SHALL BE SLOPED AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE. MINIMUM GRADIENT SHALL BE NO LESS THAN 2.0% AND MAXIMUM GRADIENT SHALL BE NO MORE THAN 35%.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- ENVIRONMENTAL RESERVE (ER) PROTECTION FENCING TO BE INSTALLED ALONG THE BOUNDARY OF THE ER. THIS FENCING MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY, INCLUDING STRIPPING & GRADING. FENCING IS TO BE INSPECTED & APPROVED BY PARKS DEVELOPMENT INSPECTOR ANNIE RODRIGUES (403-924-9297)

LAYOUT PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- FENCE
- SANITARY SEWER PIPE
- WATER MAIN PIPE
- STORM WATER PIPE
- GAS PIPE
- POWER LINE
- SWALE
- CATCH BASIN/MANHOLE
- WATER VALVE BY ENG.
- WATER HYDRANT BY ENG.

AMENITIES

- BENCH
- PICNIC TABLE
- WASTE RECEPTACLE
- BOULDER

HARD SURFACING

- CONCRETE PAVING
- ROCK MULCH

SOFT SURFACING

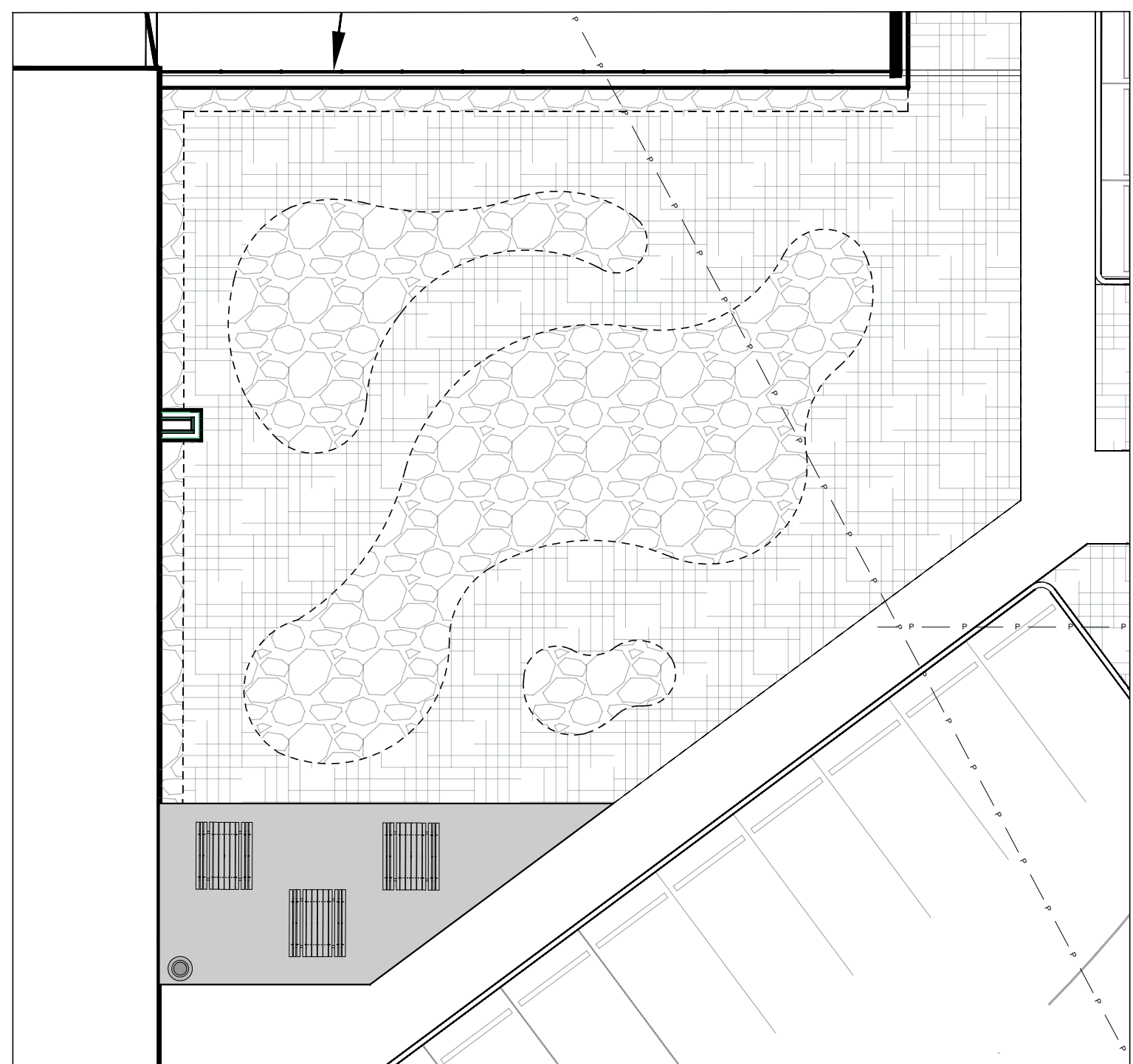
- NATIVE RESCUE SOD
- CONIFEROUS BARK MULCH
- PLANTING BED EDGE

DETAIL KEY

- DETAIL NO.
- SHEET NO.

SITE FURNITURE SCHEDULE

ITEM	F#	BRAND	MODEL/SPEC	NOTE	DETAIL REF.	QTY.
Picnic Table	1	Equipac	EP 2856-BN			3
Bench	2	Equipac	EP 1323-BN			7
Trash Receptacle	3	Equipac	EP 3350			1
Standing Ashtray	4	Equipac	EP 9500			2



1 AMENITY SPACE ENLARGED
1:150

DEVELOPMENT
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Project Team:

Coordinating Consultant
GEC Architecture

Structural Consultant
Entuitive

Mechanical Consultant
The HIDI Group

Electrical Consultant
The HIDI Group

Civil Consultant
Sedulous Engineering Inc.

Landscape Consultant
NAK Design Strategies

Client

OXFORD PROPERTIES GROUP

OXFORD

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**PRELIMINARY -
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CONSTRUCTION**

3	DR RESPONSE #02	2026-06-17
2	DR RESPONSE #01	2026-04-02
1	DP SUBMISSION	2025-09-26

NO.	ISSUED FOR	DATE
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Drawing History

Scale	Checked By
1:500	CR

Project

OXFORD AIRPORT BUSINESS PARK
SOUTH SITE - INDUSTRIAL

Project Address

Drawing Title

LANDSCAPE LAYOUT PLAN

Project Number

6113

Drawing Number

DP-LA01

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Coordinating Consultant
GEC Architecture

Structural Consultant
Entuitive

Mechanical Consultant
The HIDI Group

Electrical Consultant
The HIDI Group

Civil Consultant
Sedulous Engineering Inc

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NAK Design Strategies

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**PRELIMINARY -
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1. MINIMUM SETBACKS FOR TREES (CURRENT DEVELOPMENT GUIDELINE AND STANDARD SPECIFICATIONS: LANDSCAPE CONSTRUCTION 4.1.3)

Data Utilities	Decisions							
	Prior			Confensus				
Servicos	Mains Parallel to face line	Servicos Medians	Mains Parallel to face line	Servicos Medians	Bvds	Mains Parallel to face line		
Sanitary	30 m	40 m	0 m ^a	2.5 m	30 m	0 m ^a	40 m	
Sloin (+4.5m deep)	30 m	40 m	0 m ^a	2.5 m	30 m	0 m ^a	40 m	
Water	30 m	40 m	0 m ^a	2.5 m	30 m	0 m ^a	40 m	
Hydron	30 m	40 m	N/A	2.5 m	2.5 m	N/A	30 m	40 m
Shadow Utilities	Prior			Decisions			Confensus	
	Servicos	Mains Parallel to face line	Servicos Medians	Bvds	Mains Parallel to face line	Servicos Medians	Bvds	Mains Parallel to face line
AICD	2.0 m ^a	2.0 m ^a	2.0 m	2.0 m	2.0 m	2.0 m ^a	2.0 m ^a	
TULUS	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m	2.0 m ^a	2.0 m ^a	
CIVT	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m	2.0 m ^a	2.0 m ^a	
ENMAX	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m	2.0 m ^a	2.0 m ^a	
Envelop	Prior			Decisions			Confensus	
Overhead to Utility Junction (also Right-of-Way) (line planting not permitted within Utility Right-of-Way)	9.0 m	7.0 m - 9.0 m			7.0 m - 9.0 m			
Street Light Poles	Prior	Prior	Decisions	Confensus				
	5.0 m		4.0 m - 5.0 m				Min. 4.0 m	

- A) A 3.0m section MAY BE REQUIRED AT THE DISCRETION OF THE UTILITIES.
- B) PIPE JOINTS ARE NOT PERMITTED ON WATER OR SEWER SERVICES LOCATED UNDER MEDANS.
- C) TREES ON RESIDENTIAL (15m ROW) BOULEVARDS, WITH NO SIDEWALKS, CAN BE PLANTED 10m FROM DRIVEWAYS, DRIVEWAY CROSSINGS ARE TO BE MAINTAINED TO THE FULL WIDTH OF THE DRIVEWAY.
- D) THE EXACT LOCATION OF TREES SHALL BE DETERMINED ON SITE AND SHALL BE SUBJECT TO DRIVEWAY LOCATIONS, SERVICING, AND SIDEWALK LOCATIONS. RECORD DRAWINGS ARE REQUIRED IF THERE ARE MAJOR CHANGES
- E) TREES PLANTED 25m OR LESS FROM FENCE LINES WILL BE BEDDED.
- F) BEDS AND TREE WELLS TO RECEIVE A MINIMUM OF 75mm depth of MULCH. LEAKY TREE WELLS SHALL BE REPAIRED IMMEDIATELY TO PREVENT MOISTURE MAINTAINED IN THE ROOT ZONE TO FACILITATE EARLY ROOT DEVELOPMENT, AND PROVIDE THE TREES WITH THE BEST ESTABLISHMENT OPPORTUNITY.
- G) THE CONTRACTOR SHALL PROVIDE A DETAILED TREE SCHEDULE (ON THE LATEST GUIDE SPECIFICATIONS FOR NURSERY STOCK PREPARED BY THE CALTRANS AND SDA.
- H) THE TYPE OF ACCEPTANCE, ALL MATERIAL, SHALL BE A HEALTHY, WELLSPECIFICATIONS AND DETAILS.
- I) PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR AS PER THE LANDSCAPE GUIDELINES, SPECIFICATIONS AND DETAILS UNTIL THE DATE OF MAINTENANCE ACCEPTANCE.
- J) APPLY TOPSOIL TO THE FOLLOWING MINIMUM DEPTHS, MEASURED AT RIGHT ANGLES TO THE SURGRADE AFTER LEVELING WITH A TOLERANCE OF 2.0mm over a 25mm over a 25mm over a 2.0m:
 - 300mm FOR SEEDBED AREAS
 - 300mm FOR DISTANCED AREAS
 - 600mm FOR FLOWER BEDS
 - 600mm FOR SHRUB AREAS
- K) FOR WATER IRRIGATION, IRRIGATION TO BE CONFINED TO PLANT BEDS

----- PROPERTY LINE

	PROPERTY LINE
	SETBACK LINE
	FENCE
	SANITARY SEWER PIPE
	WATER MAIN PIPE
	STORM WATER PIPE
	GAS PIPE
	POWER LINE
	SWALE
	CATCH BASIN/MANHOLE
	WATER VALVE BY ENGINEER
	WATER HYDRANT BY ENGINEER

BENCH

 PICNIC TABLE
 WASTE RECEPTACLE
 BOULDER

CONCRETE PAVING

ROCK MULCH

NATIVE FESCUE SOD

NATIVE FESCUE SOD

CONIFEROUS BARK MULCH

PLANTING KEY

XX	TREE SPECIES	XX	SHRUB SPECIES
00	QUANTITY	00	QUANTITY

ABSORPTION	KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QTY
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SPECIFICATION	KEY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	QTY
DECIDUOUS TREES	AG	<i>Acer ginnala</i>	AMUR MAPLE	75mm cal.	28
	BN	<i>Behula negra</i>	RIVER BIRCH	60mm cal.	10
	MJ	<i>Morus 'Jefspire'</i>	COLUMNAR GRAB	60mm cal.	25
	PT	<i>Populus tremuloides</i>	TREMBLING ASPEN	60mm cal.	3
	PM	<i>Prunus moackii</i>	AMUR CHOKECHERRY	75mm cal.	26
	QM	<i>Quercus macrocarpa</i>	BUR OAK	75mm cal.	6
	LS	<i>Larix sibirica</i>	SIBERIAN LARCH	3.0m ht.	14
CONIFEROUS TREES	PCL	<i>Picea corftata 'Latifolia'</i>	LODGEPOLE PINE	3.0m ht.	12
	PG	<i>Picea glauca</i>	WHITE SPRUCE	2.5m ht.	8
	PP	<i>Picea pungens</i>	COLORADO BLUE SPRUCE	3.0m ht.	13
	PPF	<i>Picea purpurea Fastigiata</i>	COLUMNAR COLORADO SPRUCE	2.5m ht.	21
DECIDUOUS SHRUBS	sa	<i>amelanchier alnifolia</i>	SASKATON	#5 pot, 1.6m OC	55
	cs	<i>corrus sericea</i>	RED OSIER DOGWOOD	#5 pot, 1.4m OC	81
	ec	<i>Elaeagnus commutata</i>	WOLF WILLOW	#5 pot, 1.4m OC	16
	nal	<i>Ribes alpinum</i>	ALPINE CURRANT	#5 pot, 1.0m OC	20
	rus	<i>Ribes oxibea</i>	GOLDEN CURRANT	#5 pot, 1.0m OC	64
	ms	<i>juniperus sibirica 'Calgary Carpet'</i>	CALGARY CARPET JUNIPER	#5 pot, 1.0m OC	192
	csk	<i>Callamagrostis acutiflora Karl Foerster</i>	KARL FOERSTER FEATHER REED GRASS	#2 pot, 0.6m OC	59
GRASSES & PERENNIALS	ss	<i>Schizocymus scoulloni</i>	LITTLE BLUESTEM	#2 pot, 0.6m OC	46

PROJECT NAME: OXFORD AIRPORT BUSINESS PARK				
CIVIC ADDRESS: 1901 100TH AVE NE, CALGARY, AB				
ZONE: RVC - IG - CD (INDUSTRIAL GENERAL - DIRECT CONTROL)				
INDUSTRIAL SITE TOTAL AREA = 59,344 m²				
<u>SITE LANDSCAPE AREA REQUIREMENTS</u>		REQUIRED IN SETBACK	PROVIDED	
LANDSCAPE AREA	4,065 m ²	SETBACK	ON-SITE	TOTAL
		4,065 m²	5,829 m ²	9,894 m ²
<u>SITE PLANTING REQUIREMENTS</u>		REQUIRED	PROVIDED	
		SETBACK	ON-SITE (EXTRAS)	TOTAL
TREES (18 PER 50.0 m ² OF LANDSCAPE AREA WHEN LOW-WATER IRRIGATION IS USED)	81	44	122	168
DECIDUOUS TREES (MIN. 30% IN LOW-WATER DECIDUOUS TREE LIST)	MAX. 70%	25	73	98
CONIFEROUS TREES (MAX. 30% IN LOW-WATER CONIFEROUS TREE LIST)	MIN. 30%	19	49	68
SHRUBS (2 PER 50.0 m ² OF LANDSCAPE AREA WHEN LOW-WATER IRRIGATION IS USED) (MAX. 30% IN LOW-WATER SHRUB LIST)	163	40	388	428
<u>ADDITIONAL PLANTING REQUIREMENTS</u>				
DECIDUOUS TREES SHALL BE A MINIMUM 50mm [2"] CALIPER.				
CONIFEROUS TREES SHALL BE (2.5m) 10' IN HEIGHT FOR SMALL SIZED TREES, AND 2.5m (8') IN HEIGHT FOR LARGE SIZED TREES.				
SHRUBS SHALL BE A MINIMUM 400mm SPREAD.				

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-05685 JUN 23 2026
**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**

1 AMENITY SPACE ENLARGED
1:150

3	DR RESPONSE #02	2026-06-1
2	DR RESPONSE #01	2026-04-0
1	DP SUBMISSION	2025-09-2
NO	ISSUED FOR	DATE

NO.	ISSUED FOR	DATE
Drawing History		

Scale	Checked By
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1:500	CR
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Project	
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OXFORD AIRPORT BUSINESS PARK

SOUTH SITE - INDUSTRIAL

CONCLUSIONS AND RECOMMENDATIONS

Project Address

Project Address _____
Fund # _____

Drawing Title

10. *Journal of the American Medical Association*, 2000; 284: 1039-1044.

LANDSCAPE PLANTING PLAN

LANDSCAPE PLANTING PLAN

[illegible]

Project Number Drawing Number
DD-100

6113 DP-LA02

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