



LIST OF DRAWINGS	
A-0.0	Cover Page
A-0.1	Assemblies WITH HRV
A-0.2	Schedule
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front and Rear Elevations
A-2.1	Left Elevation
A-2.2	Right Elevation
A-3.0	Section 1
A-3.1	Section 2
A-4.0	Garage Plan
A-4.1	Garage Elevations
A-4.3	Garage Section
A-5.0 a	Above Ground Wall Detail
A-5.0 b	Above Ground Wall & Rim Joist Detail
A-5.1 a	Foundation Wall Detail 1
A-5.1 b	Foundation Wall Detail 2
A-5.1 c	Heated Slab Detail
A-5.2 a	Tall Wall
A-5.2 b	Tall Wall Detail 1
A-5.2 c	Tall Wall Detail 2
A-5.3	Air Barrier Details
A-5.4	Window Details
A-5.5	Roof & Spray Foam Details
A-5.6	Jamb and HRV Detail
A-5.7	Technical Data Sheet
A-5.8	Brick Details
E-1.0	Basement Electrical
E-1.1	Main Electrical
E-1.2	Upper Electrical
E-1.3	Loft Electrical

PROJECT
NOTES:
FLOOR AREA

BASEMENT = 1000.00 SQ. FT.

MAIN = 990.00 SQ. FT.

UPPER = 1096.99 SQ. FT.

LOFT = 503.63 SQ. FT.

TOTAL = 2600.62 SQ. FT.

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AND HOME OWNER. ANY ISSUE NEEDS TO
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RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	23/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP ARCH	K.R.
03.	31/07/2026	BP PLAN	T.Z.
04.	--	--	--
05.	--	--	--



JTA DESIGN + PERMITS

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GOVERNING AUTHORITIES.

PROJECT
:
NEW HOME

STATUS:
:-

SIGNATURES
:
X _____

PRINTED 2026-08-14 10:15:24 AM
:
PROJECT
NAME:
1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER
:
JT

JOB #:
#274-25

SCALE
:
AS SHOWN

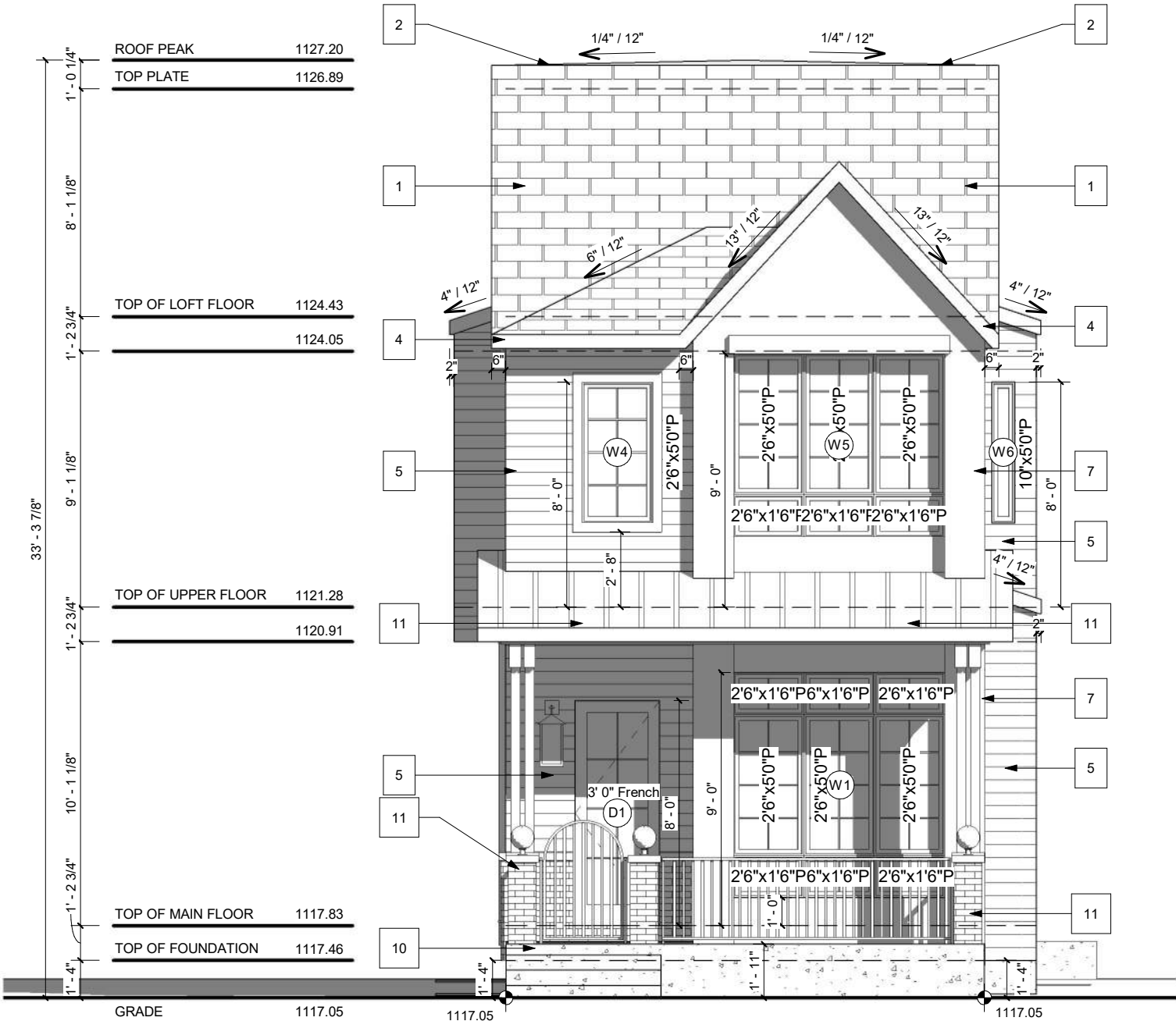
SHEET
:
A-0.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	6" ALUMINIUM FASCIA	7	SMOOTH STUCCO - LIGHT GREY	10	CAST-IN-PLACE CONCRETE
2	TORCH ON ROOFING	5	HARDIE SIDING FINISH - LIGHT GREY	8	BRICK - GREY	11	METAL ROOF
3	10" ALUMINIUM FASCIA	6	HARDIE SIDING - DARK GREY / BLACK	9	CONCRETE PARGING		

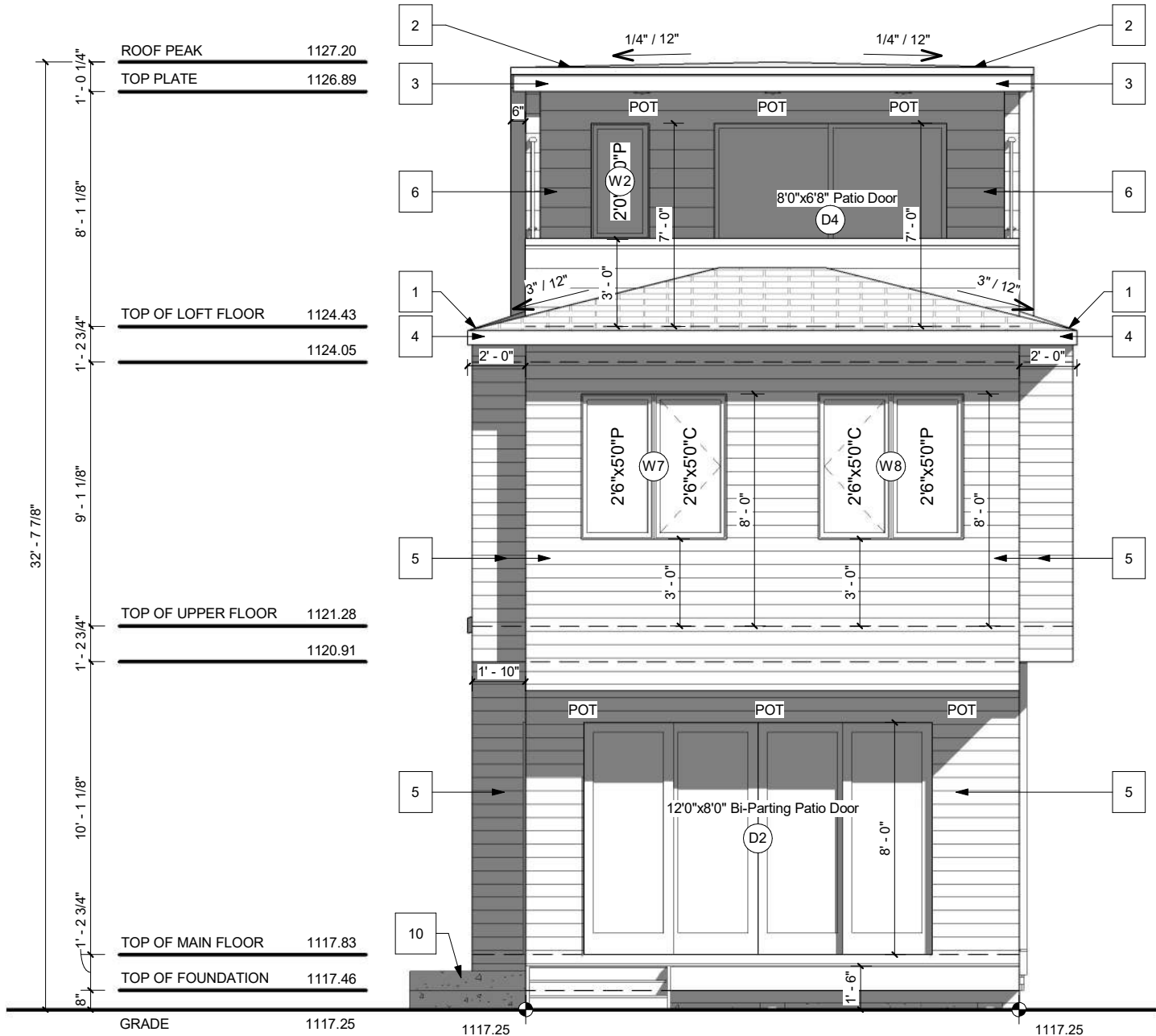
VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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02.	25/08/2025	DP ARCH	K.R.
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04.	--	--	--
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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-08-14 10:15:30 AM



PROJECT NAME:

1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

#274-25

SCALE:

AS SHOWN

SHEET:

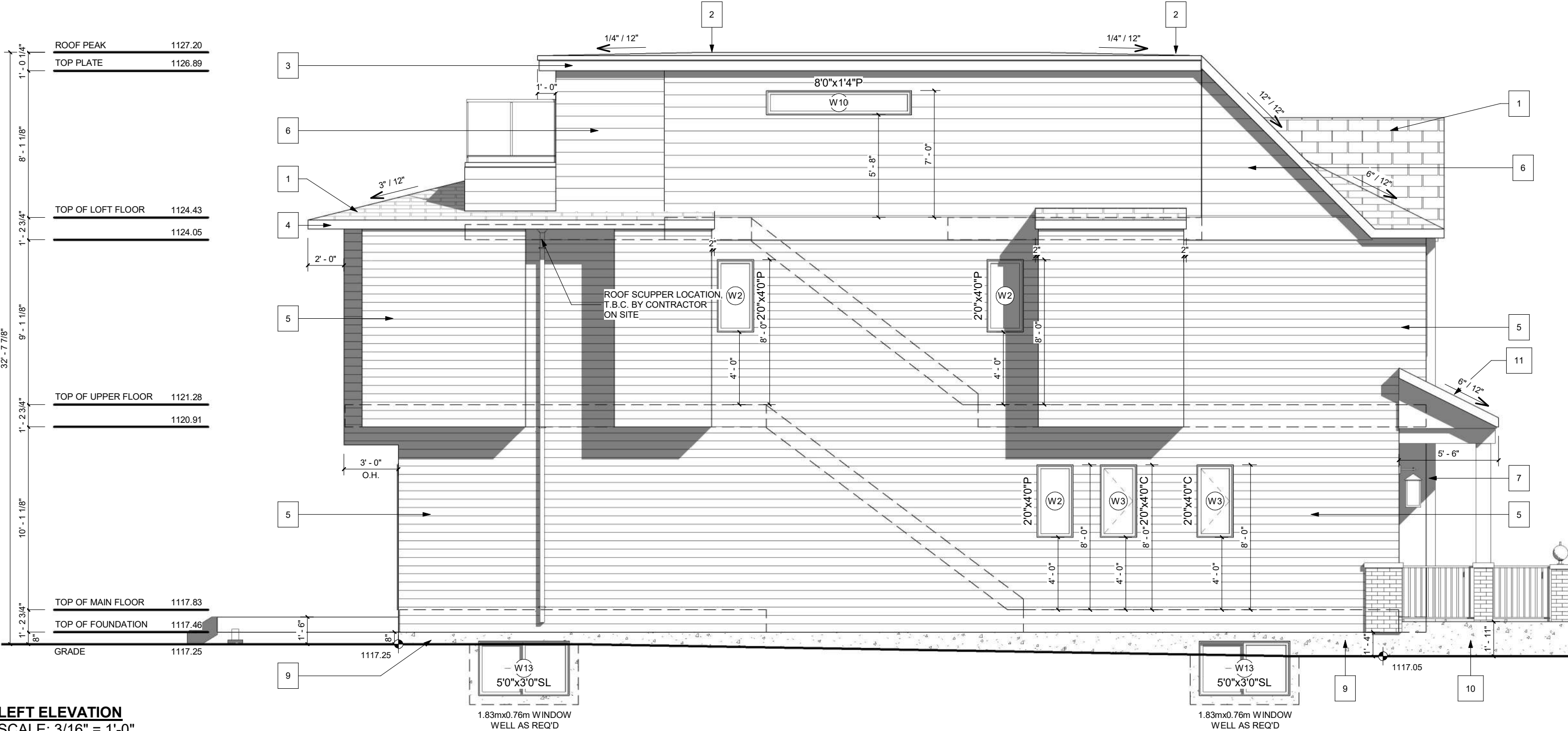
A-2.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	6" ALUMINIUM FASCIA	7	SMOOTH STUCCO - LIGHT GREY	10	CAST-IN-PLACE CONCRETE
2	TORCH ON ROOFING	5	HARDIE SIDING FINISH - LIGHT GREY	8	BRICK - GREY	11	METAL ROOF
3	10" ALUMINIUM FASCIA	6	HARDIE SIDING - DARK GREY / BLACK	9	CONCRETE PARGING		

WINDOW CALCULATION
WALL AREA = 1697.67 SQ. FT.
WINDOW AREA = 56.10 SQ. FT.
TOTAL: 56.10 / 1697.67 = 3.30%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-08-14 10:15:31 AM



PROJECT NAME:

1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

#274-25

SCALE:

AS SHOWN

SHEET:

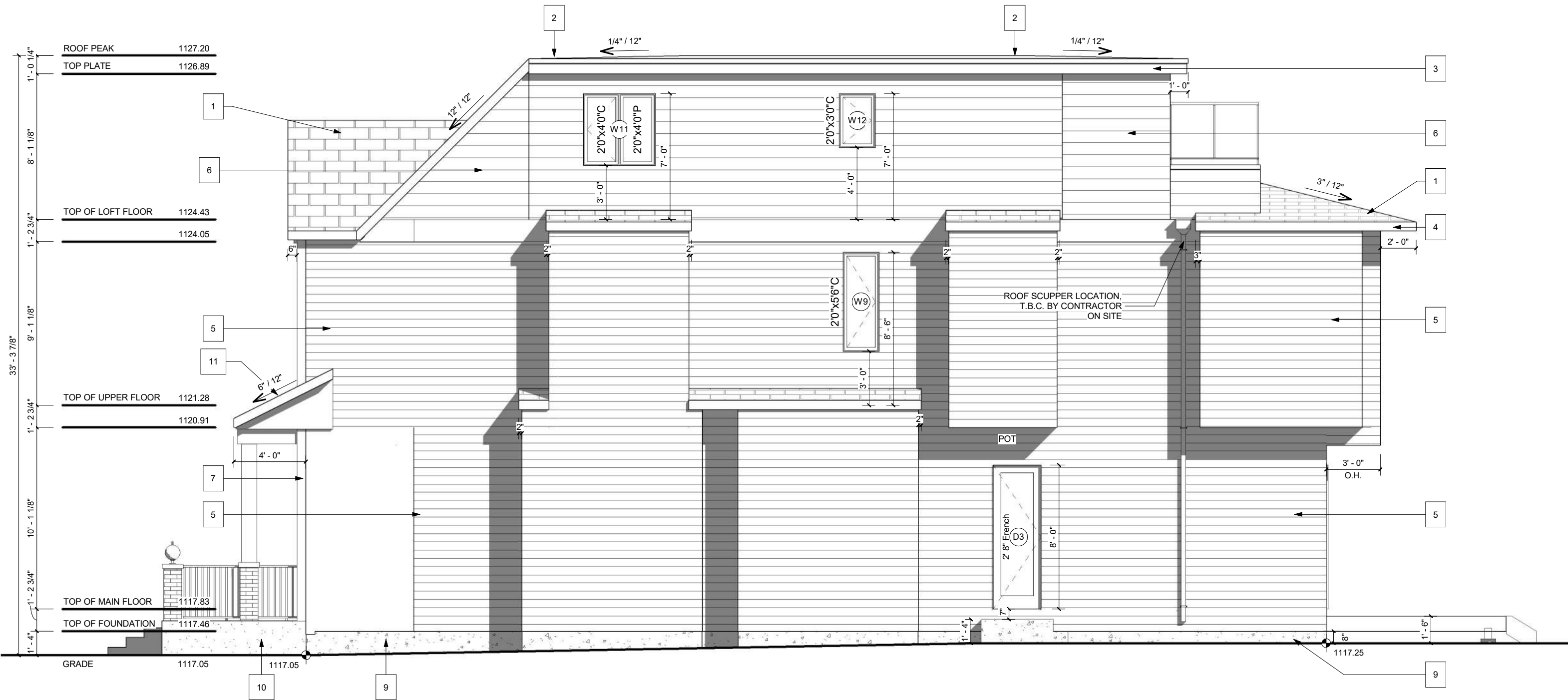
A-2.1

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	6" ALUMINIUM FASCIA	7	SMOOTH STUCCO - LIGHT GREY	10	CAST-IN-PLACE CONCRETE
2	TORCH ON ROOFING	5	HARDIE SIDING FINISH - LIGHT GREY	8	BRICK - GREY	11	METAL ROOF
3	10" ALUMINIUM FASCIA	6	HARDIE SIDING - DARK GREY / BLACK	9	CONCRETE PARGING		

WINDOW CALCULATION
WALL AREA = 1644.45 SQ. FT.
WINDOW AREA = 55.92 SQ. FT.
TOTAL: 55.92 / 1644.45 = 3.40%

VENTED SOFFIT NOTES:
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(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

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PROJECT NAME:

1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

#274-25

SCALE:

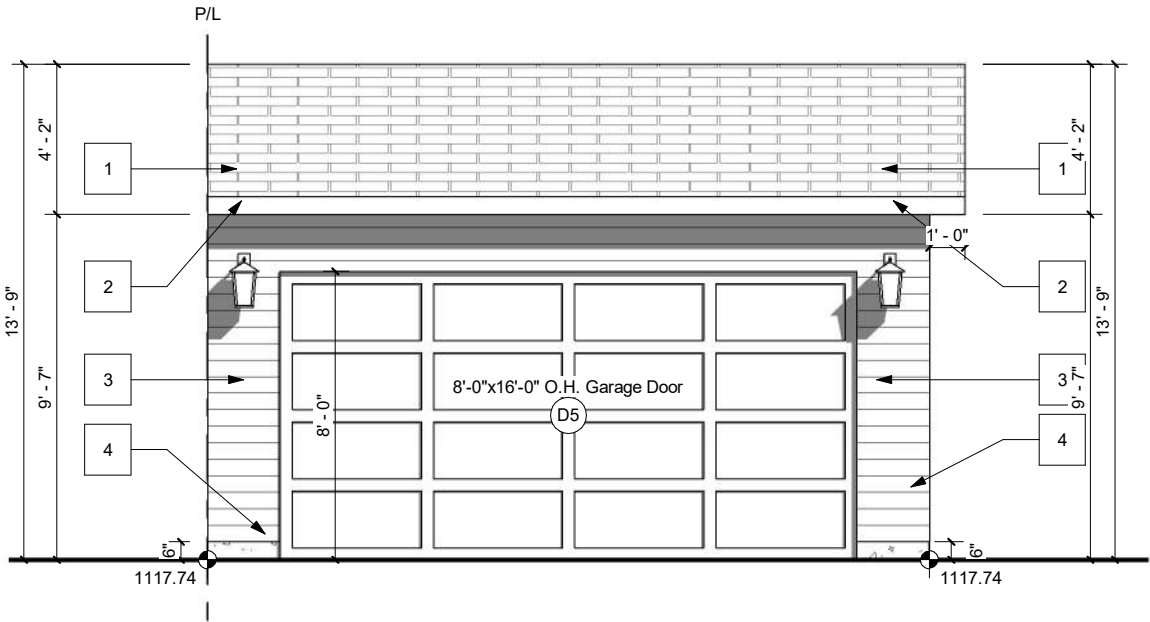
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SHEET:

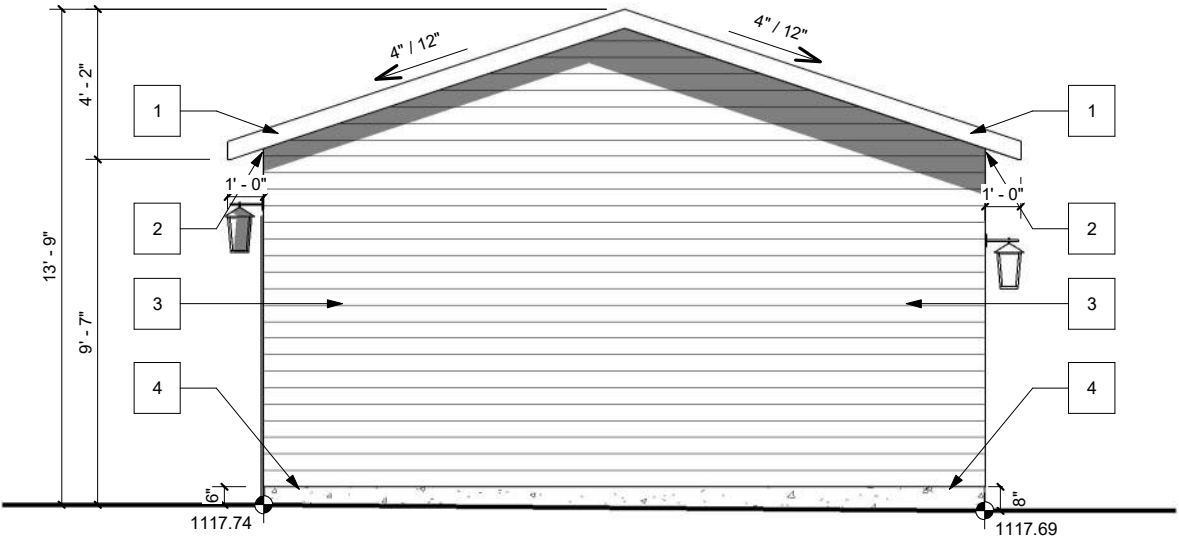
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EXTERIOR FINISHES:

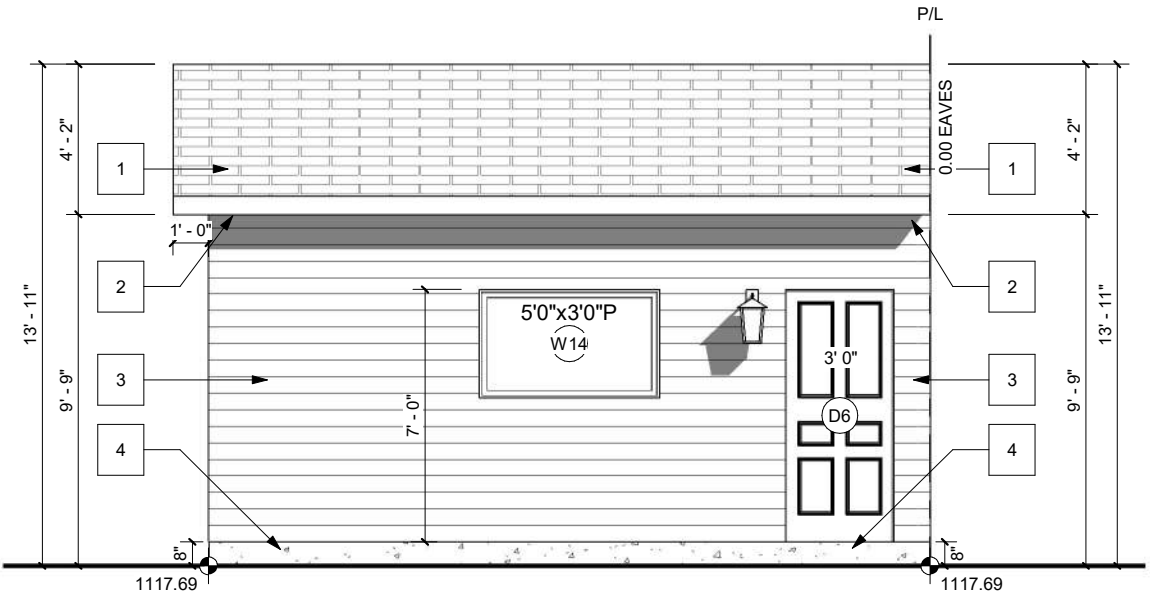
- 1ASPHALT SHINGLES
- 28" ALUMNIMUM FASCIA
- 3HARDIE FINISH
- 4CONC. PARGING



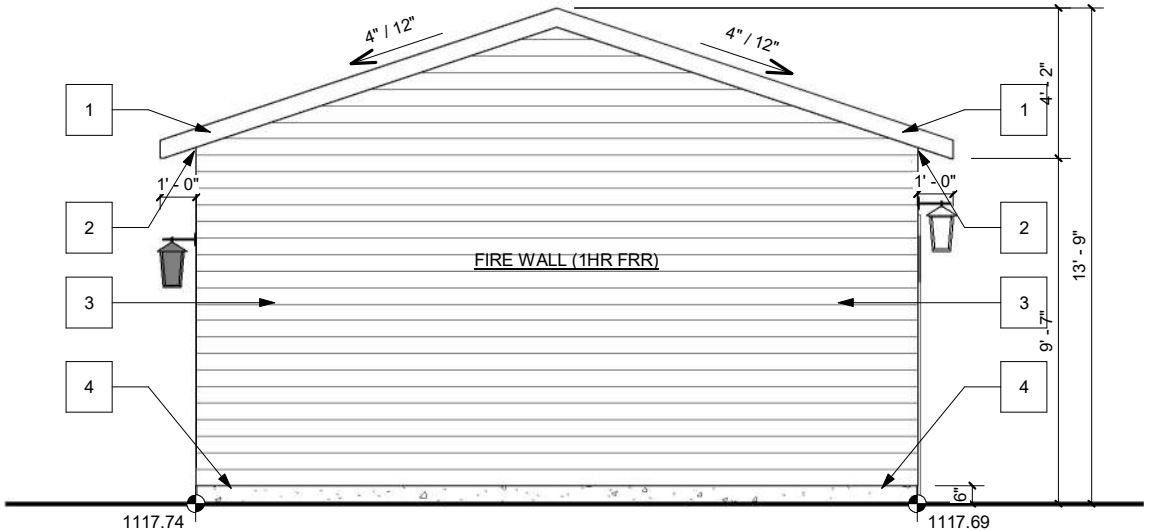
GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

PROJECT
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PROJECT
:
NEW HOME

STATUS:
-

SIGNATURES
:
X

PRINTED
:
2026-08-14 10:15:34 AM

PROJECT
NAME:
1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER
:
JT

JOB #:
#274-25

SCALE
:
AS SHOWN

SHEET
:
A-4.1