



LIST OF DRAWINGS	
A-0.0	Cover Page
A-0.1	Assemblies WITH HRV
A-0.2	Schedule
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front and Rear Elevations
A-2.1	Left Elevation
A-2.2	Right Elevation
A-3.0	Section 1
A-3.1	Section 2
A-4.0	Garage Plan
A-4.1	Garage Elevations
A-4.3	Garage Section
A-5.0 a	Above Ground Wall Detail
A-5.0 b	Above Ground Wall & Rim Joist Detail
A-5.1 a	Foundation Wall Detail 1
A-5.1 b	Foundation Wall Detail 2
A-5.1 c	Heated Slab Detail
A-5.2 a	Tall Wall
A-5.2 b	Tall Wall Detail 1
A-5.2 c	Tall Wall Detail 2
A-5.3	Air Barrier Details
A-5.4	Window Details
A-5.5	Roof & Spray Foam Details
A-5.6	Jamb and HRV Detail
A-5.7	Technical Data Sheet
A-5.8	Brick Details
E-1.0	Basement Electrical
E-1.1	Main Electrical
E-1.2	Upper Electrical
E-1.3	Loft Electrical

PROJECT
NOTES:
FLOOR AREA

BASEMENT = 1000.00 SQ. FT.

MAIN = 990.00 SQ. FT.

UPPER = 1096.99 SQ. FT.

LOFT = 503.63 SQ. FT.

TOTAL = 2600.62 SQ. FT.

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AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	23/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP ARCH	K.R.
03.	31/07/2026	BP PLAN	T.Z.
04.	--	--	--
05.	--	--	--



JTA DESIGN + PERMITS

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PURPOSE WITHOUT THE WRITTEN
PERMISSION

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RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT
:
NEW HOME

STATUS:
:
-

SIGNATURES
:
X _____

PRINTED 2026-08-14 10:15:24 AM
:
PROJECT
NAME:
1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER
:
JT

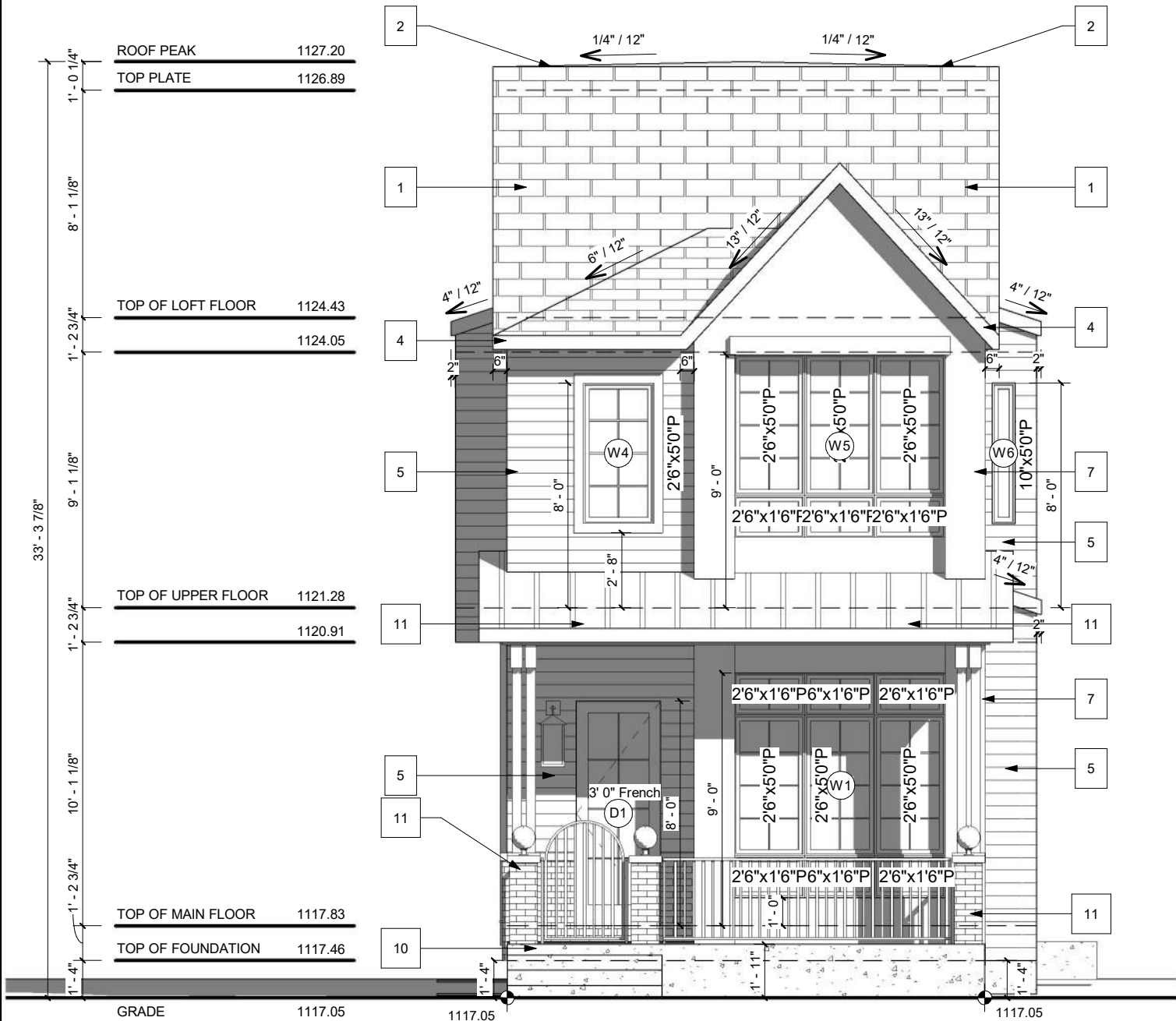
JOB #:
:
#274-25

SCALE
:
AS SHOWN

SHEET
:
A-0.0

EXTERIOR FINISHES:

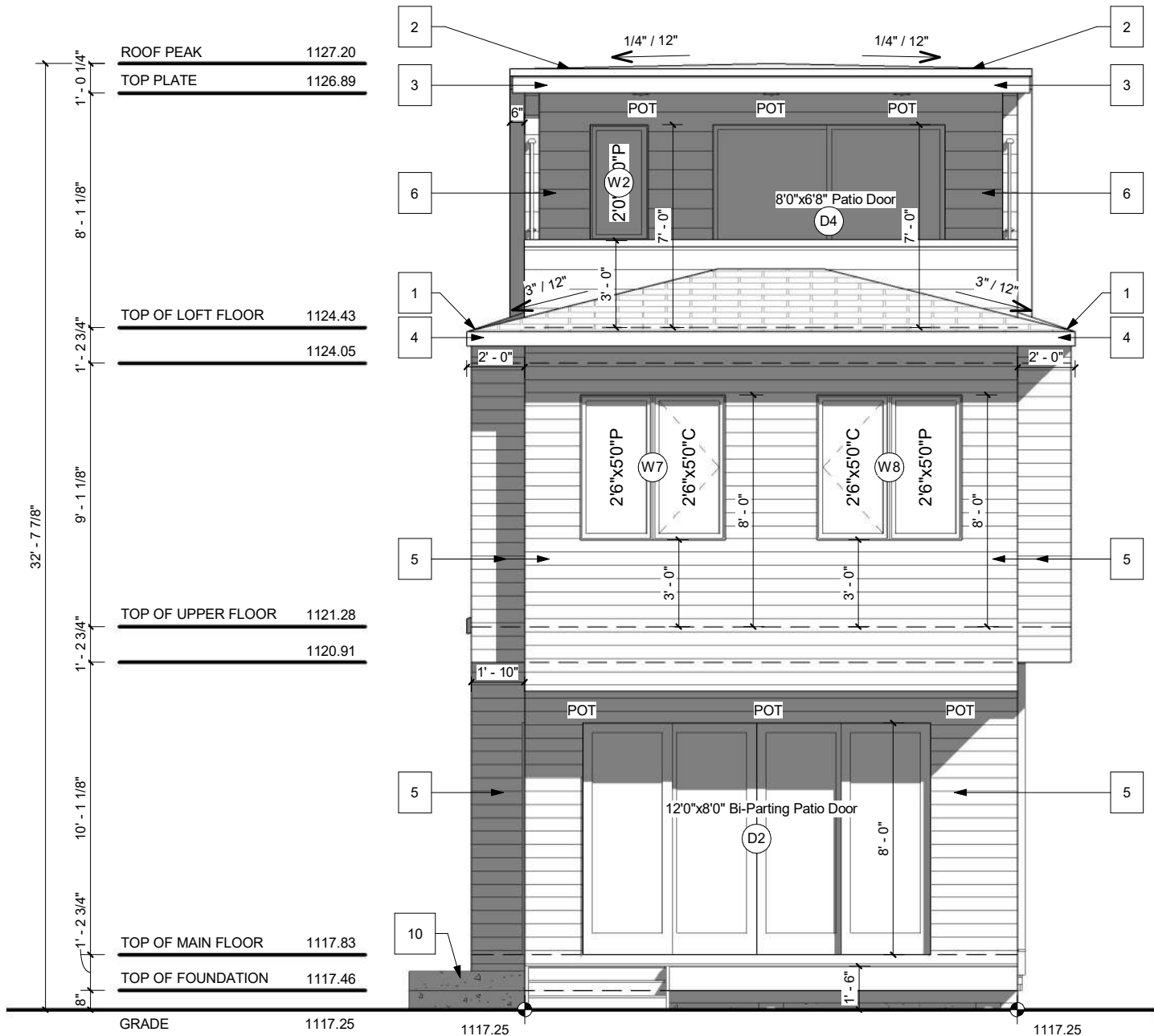
1	ASPHALT SHINGLES	4	6" ALUMINIUM FASCIA	7	SMOOTH STUCCO - LIGHT GREY	10	CAST-IN-PLACE CONCRETE
2	TORCH ON ROOFING	5	HARDIE SIDING FINISH - LIGHT GREY	8	BRICK - GREY	11	METAL ROOF
3	10" ALUMINIUM FASCIA	6	HARDIE SIDING - DARK GREY / BLACK	9	CONCRETE PARGING		



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)



REAR ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	23/07/2025	CONCEPT	S.W.
02.	25/08/2025	DP ARCH	K.R.
03.	--	--	--
04.	--	--	--
05.	--	--	--

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-08-14 10:15:30 AM



PROJECT NAME:

1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

#274-25

SCALE:

AS SHOWN

SHEET:

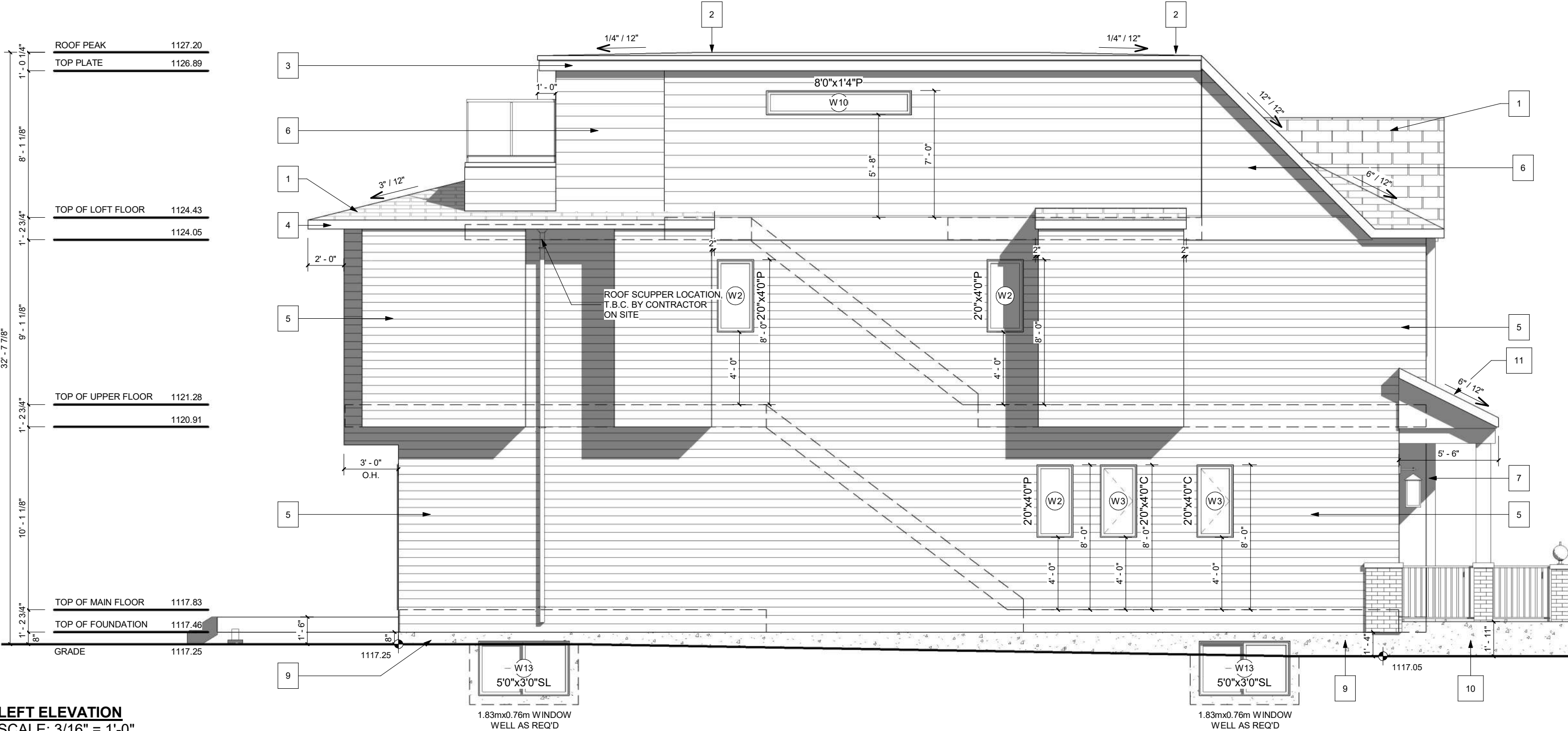
A-2.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	6" ALUMINIUM FASCIA	7	SMOOTH STUCCO - LIGHT GREY	10	CAST-IN-PLACE CONCRETE
2	TORCH ON ROOFING	5	HARDIE SIDING FINISH - LIGHT GREY	8	BRICK - GREY	11	METAL ROOF
3	10" ALUMINIUM FASCIA	6	HARDIE SIDING - DARK GREY / BLACK	9	CONCRETE PARGING		

WINDOW CALCULATION
WALL AREA = 1697.67 SQ. FT.
WINDOW AREA = 56.10 SQ. FT.
TOTAL: 56.10 / 1697.67 = 3.30%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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01.	23/07/2025	CONCEPT	S.W.
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03.	--	--	--
04.	--	--	--
05.	--	--	--

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-08-14 10:15:31 AM



PROJECT NAME:

1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

#274-25

SCALE:

AS SHOWN

SHEET:

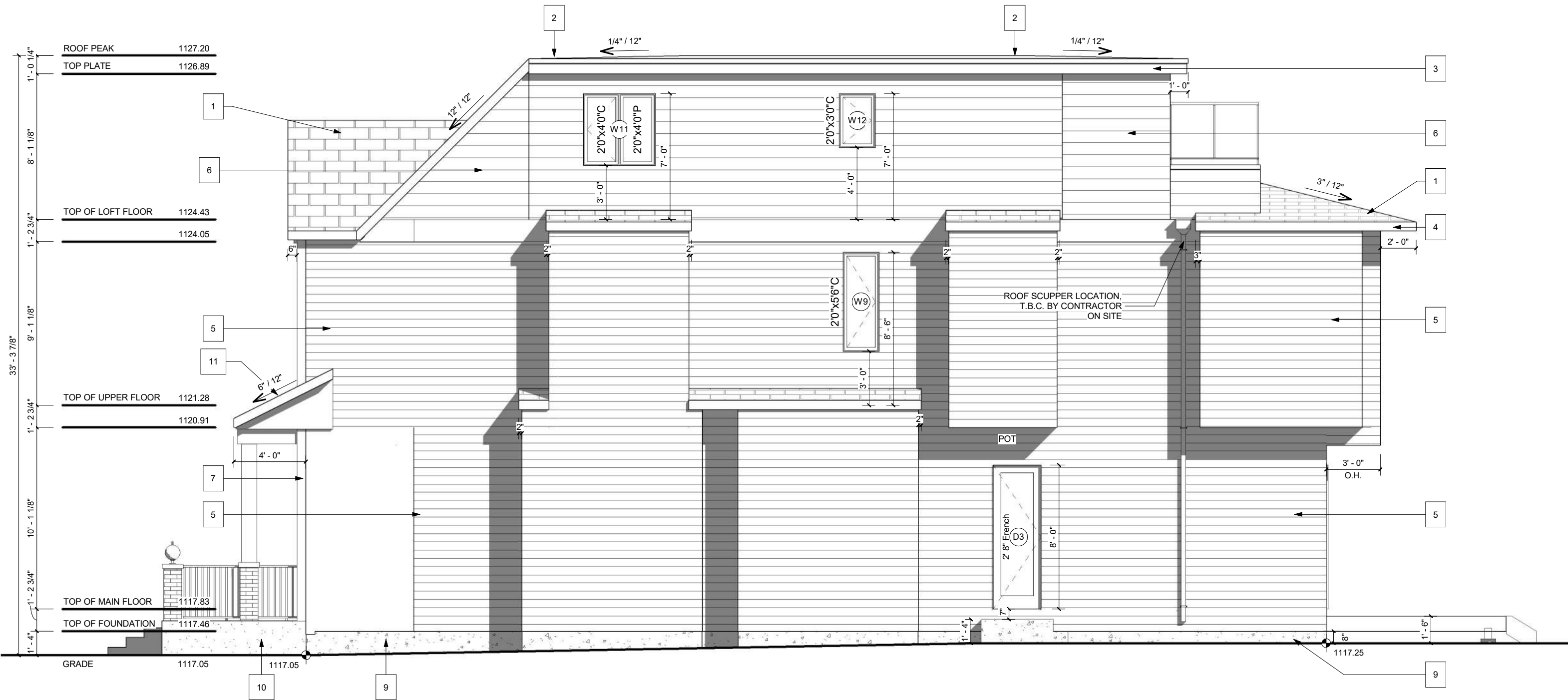
A-2.1

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	6" ALUMINIUM FASCIA	7	SMOOTH STUCCO - LIGHT GREY	10	CAST-IN-PLACE CONCRETE
2	TORCH ON ROOFING	5	HARDIE SIDING FINISH - LIGHT GREY	8	BRICK - GREY	11	METAL ROOF
3	10" ALUMINIUM FASCIA	6	HARDIE SIDING - DARK GREY / BLACK	9	CONCRETE PARGING		

WINDOW CALCULATION
WALL AREA = 1644.45 SQ. FT.
WINDOW AREA = 55.92 SQ. FT.
TOTAL: 55.92 / 1644.45 = 3.40%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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ISSUES:

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01.	23/07/2025	CONCEPT	S.W.
02.	25/08/2025	DP ARCH	K.R.
03.	--	--	--
04.	--	--	--
05.	--	--	--

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-08-14 10:15:33 AM



PROJECT NAME:

1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

#274-25

SCALE:

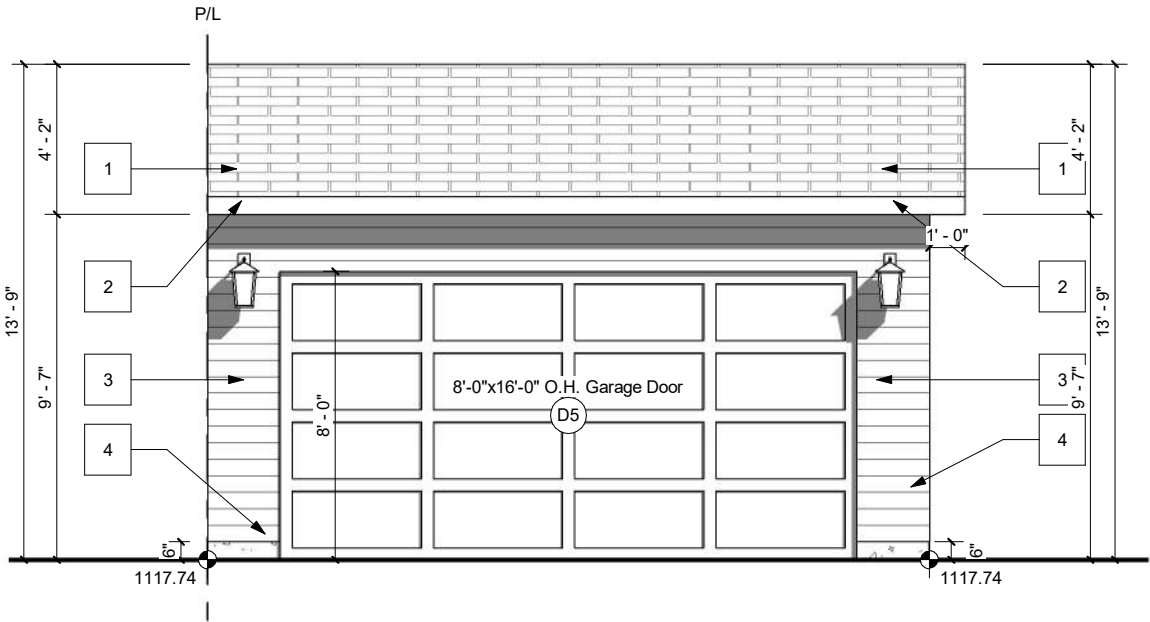
AS SHOWN

SHEET:

A-2.2

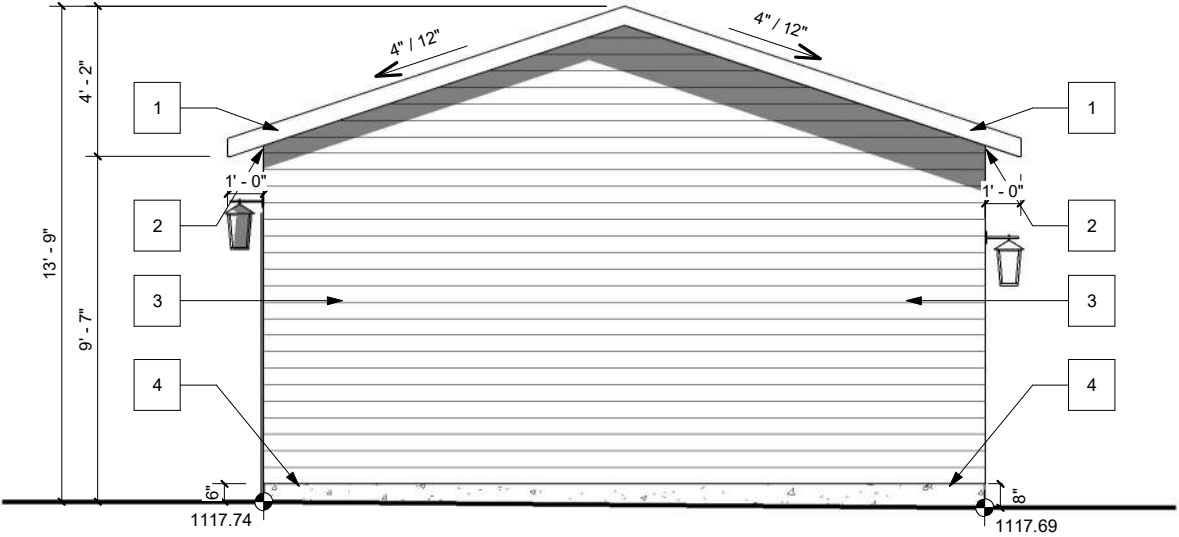
EXTERIOR FINISHES:

- 1ASPHALT SHINGLES
- 28" ALUMNMIMUM FASCIA
- 3HARDIE FINISH
- 4CONC. PARGING



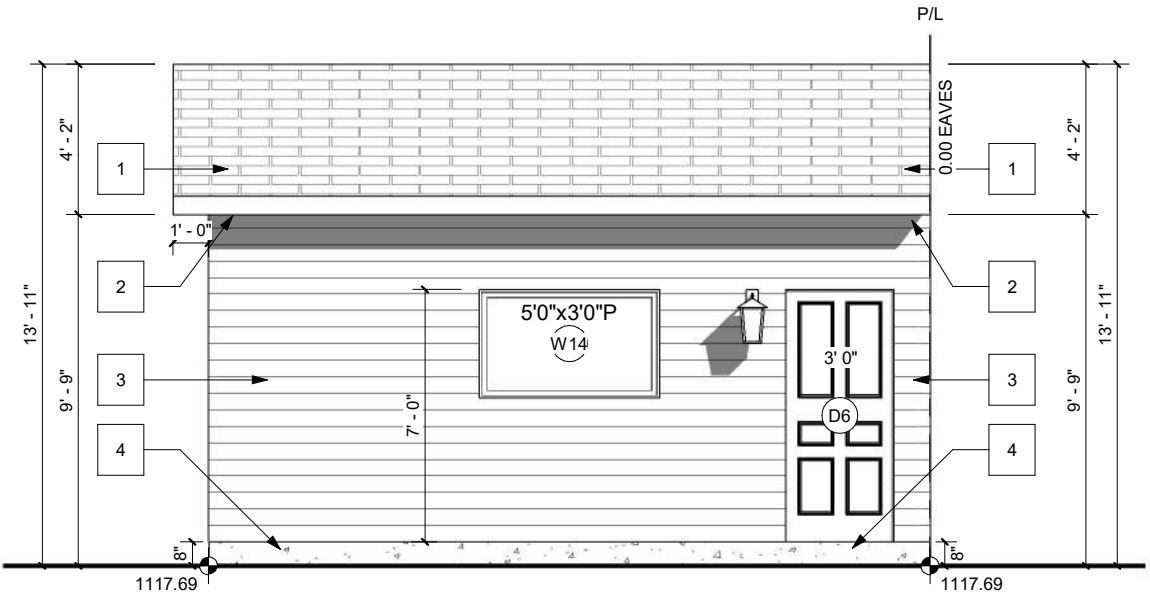
GARAGE FRONT - BACK LANE

SCALE: 3/16" = 1'-0"



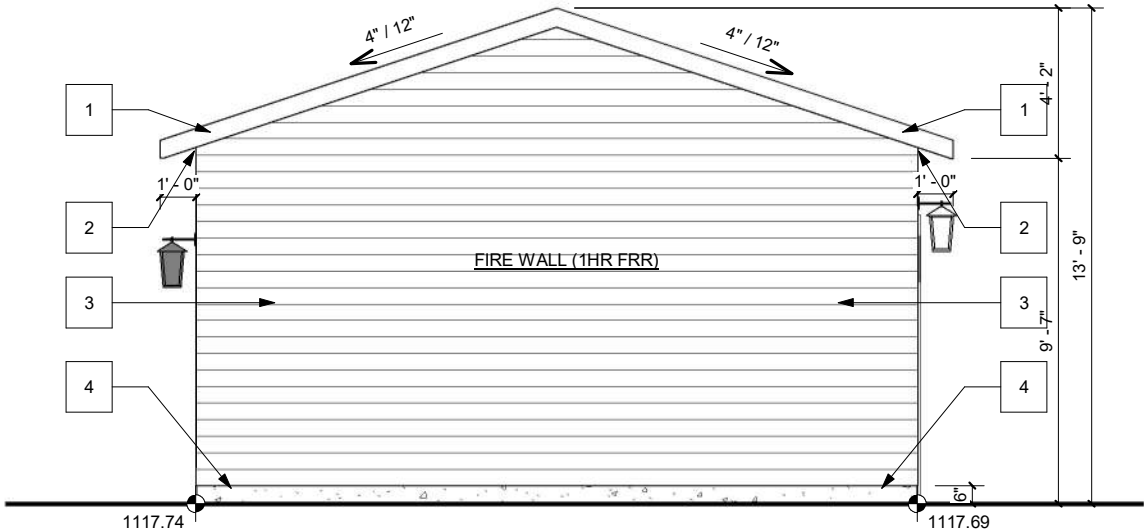
GARAGE LEFT

SCALE: 3/16" = 1'-0"



GARAGE REAR

SCALE: 3/16" = 1'-0"



GARAGE RIGHT

SCALE: 3/16" = 1'-0"

PROJECT
NOTES:

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	23/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP ARCH	K.R.
03.	31/07/2026	BP PLAN	T.Z.
04.	--	--	--
05.	--	--	--



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GOVERNING AUTHORITIES.

PROJECT
:
NEW HOME

STATUS: -

SIGNATURES
:
X _____

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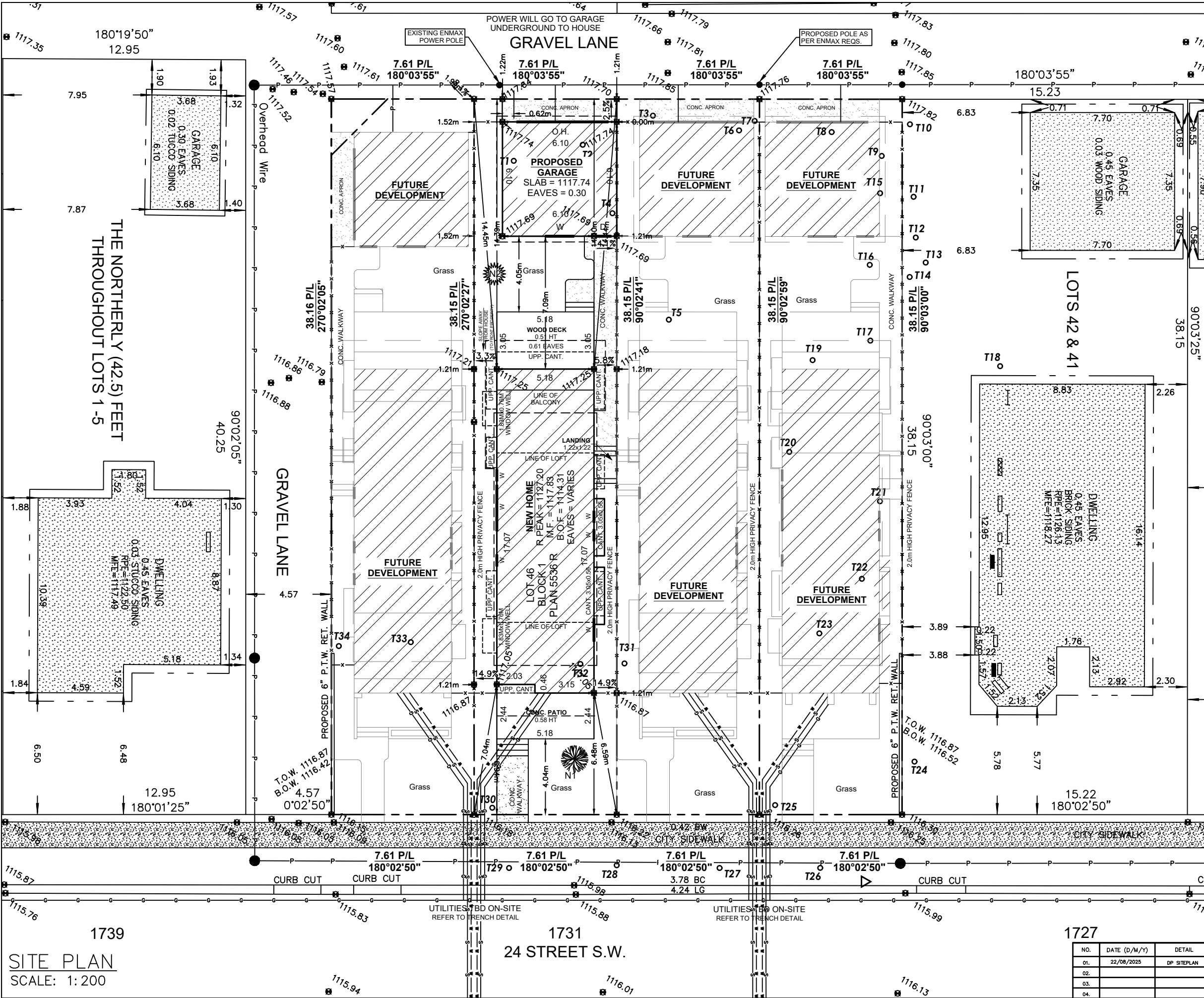
PROJECT
NAME:
1731 24 St SW (Middle South)
CALGARY, ALBERTA

DESIGNER
:
JT

JOB #:
#274-25

SCALE
:
AS SHOWN

SHEET
:
A-4.1



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\blacksquare$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\blacksquare$ ----- denotes Calculation points
- $\boxtimes$ ----- denotes Water Valve
- $\blacklozenge$ ----- denotes Gas Valve
- $\odot$ ----- denotes Manhole
- $\odot$ ----- denotes Tree
- $\bullet$ ----- denotes Power Pole
- $\triangle$ ----- denotes Sign
- $\odot$ ----- denotes Light Standard
- $\times$ ----- denotes Fence
- ---S--- denotes Sanitary Line
- ---ST--- denotes Storm Line
- ---W--- denotes Water Line
- ---G--- denotes Gas Line
- ---E--- denotes Electrical Line
- ---A.G.T.--- denotes A.G.T. Line
- --- denotes Utility Right of Way Line
- --- denotes Property Line
- --- denotes Door
- --- denotes Main Floor Windows
- --- denotes Second Floor Windows
- --- denotes Basement Floor Windows
- --- denotes Shed Hatch
- --- denotes Detached Garage Hatch
- --- denotes Main Building Hatch
- --- denotes Concrete and Asphalt Hatch
- --- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lot 43-46
Block 1
Plan 5536 R

MUNICIPAL ADDRESS:

1731 - 24 ST S.W. (MIDDLE SOUTH)
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

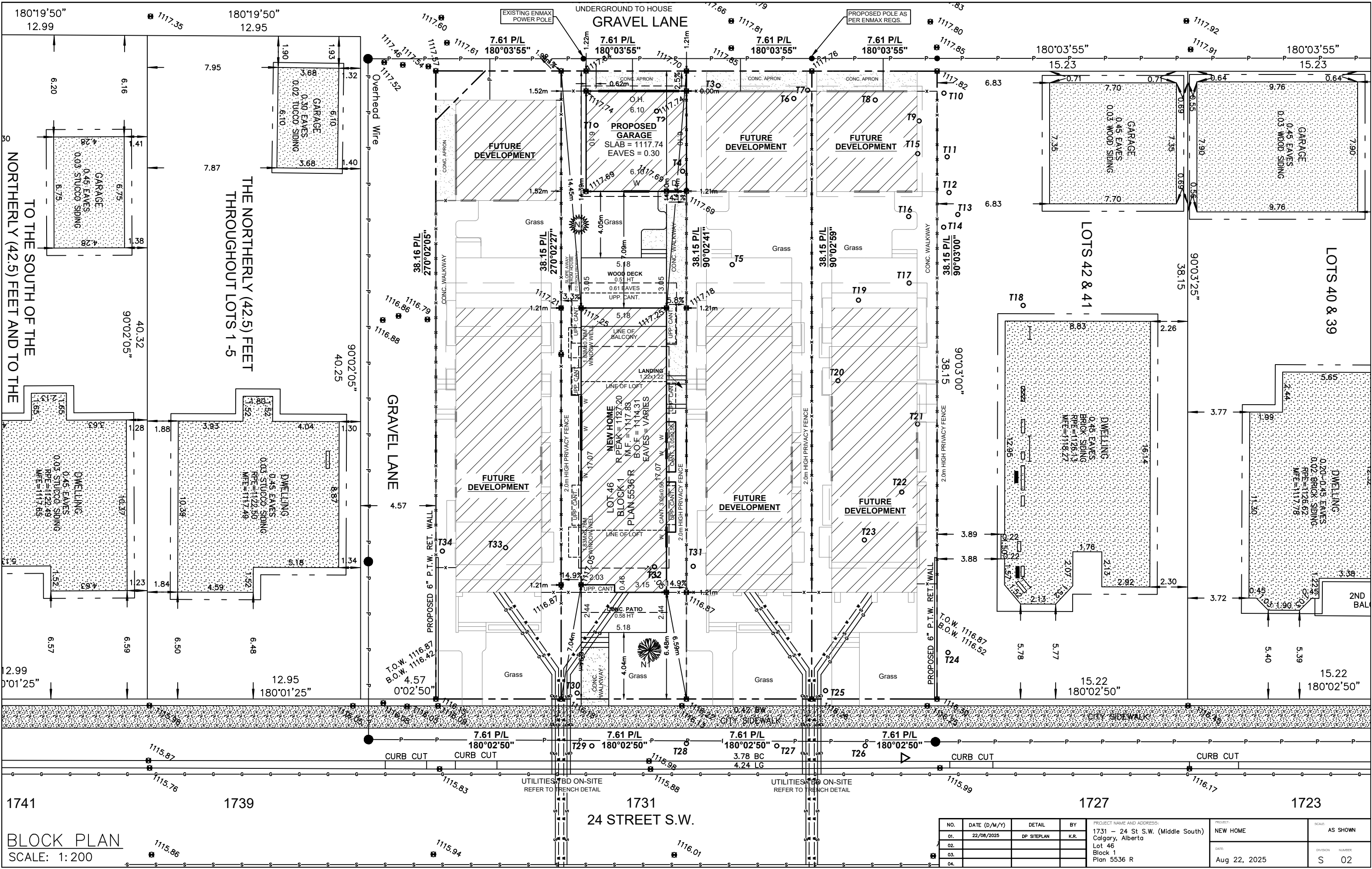
LOT SIZE: 290.304 SQ M
HOUSE SIZE: 88.568 SQ M
COVERED PORCH: 0.929 SQ M
CANT.: 3.463 SQ M
GARAGE: 37.161 SQ M
WING WALL: 0.199 SQ M

= $\frac{130,320}{290,304}$
= 44.89%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	22/08/2025	DP SITEPLAN	K.R.	1731 - 24 St S.W. (Middle South) Calgary, Alberta	NEW HOME	1: 200
02.				Lot 46 Block 1 Plan 5536 R		
03.					DATE: Aug 22, 2025	DIVISION NUMBER: S 01
04.						

SITE PLAN

SCALE: 1:200



BLOCK PLAN
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	22/08/2025	DP SITEPLAN	K.R.	1731 - 24 St S.W. (Middle South) Calgary, Alberta	NEW HOME	AS SHOWN
02.				Lot 46 Block 1 Plan 5536 R		
03.					DATE: Aug 22, 2025	DIVISION S
04.						NUMBER 02