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PROJECT NOTES:

FLOOR AREA

BASEMENT = 963.33 SQ. FT.

MAIN = 1000.61 SQ. FT.

UPPER = 1079.67 SQ. FT.

LOFT = 629.00 SQ.FT.

TOTAL = 2709.28 SQ. FT.

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	22/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP PLANS	K.R.
03.	29/07/2026	BP PLANS	T.Z.
04.	--	--	--
05.	--	--	--



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PROJECT
:
NEW HOME

STATUS: -

SIGNATURES
:
X _____

PRINTED 2026-08-14 2:14:05 PM
:

PROJECT NAME:
1731 24 STREET S.W. (South)
Calgary, Alberta

DESIGNER
:
JT

JOB #:
#273-25

SCALE
:
AS SHOWN

SHEET
:
A-0.0

1	TORCH ON ROOF	4	HARDIE - LIGHT GREY	7	CONCRETE PARGING
2	ASPHALT SHINGLES	5	HARDIE - DARK GREY	8	CAST-IN-PLACE CONCRETE
3	8" ALUMNIMUM FASCIA	6	STONE - NATURAL		

This architectural elevation drawing shows the front facade of a building with a gabled roof. The drawing includes a vertical dimension line on the left and a horizontal dimension line at the bottom, both with callouts for specific levels and features. The facade features a central entrance with a door (D1) and a large window (W1) above it. The roof is gabled with a 10/12 pitch. The drawing is annotated with numerous dimensions and callouts for various components.

Vertical Dimensions (Left Side):

- Roof Peak: 1127.33
- Top Plate: 1126.90
- Top of Loft Floor: 1124.43
- Top of Upper Floor: 1121.28
- Top of Main Floor: 1117.83
- Top of Foundation: 1117.46
- Grade: 1117.05

Horizontal Dimensions (Bottom):

- Overall width: 11' - 0"
- Foundation width: 11' - 0"
- Foundation depth: 1' - 10"
- Foundation height: 1' - 9"
- Foundation width: 4' - 0"
- Foundation depth: 0.59'
- Foundation width: 2' - 10"
- Foundation depth: 1' - 10"

Callouts and Annotations:

- 1: Roof peak
- 2: Roof slope (10/12)
- 3: Roof slope (10/12)
- 4: Roof slope (10/12)
- 5: Roof slope (10/12)
- 6: Roof slope (10/12)
- 7: Roof slope (10/12)
- 8: Roof slope (10/12)
- 9: Roof slope (10/12)
- 10: Roof slope (10/12)
- 11: Roof slope (10/12)
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- 91: Roof slope (10/12)
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- 93: Roof slope (10/12)
- 94: Roof slope (10/12)
- 95: Roof slope (10/12)
- 96: Roof slope (10/12)
- 97: Roof slope (10/12)
- 98: Roof slope (10/12)
- 99: Roof slope (10/12)
- 100: Roof slope (10/12)

Architectural elevation drawing of a building facade, showing a loft, upper floor, and main floor. The drawing includes dimensions, level markers, and callouts for various features.

Dimensions and Levels:

- Overall Height:** 33' - 0 3/4"
- Roof Peak:** 1127.33
- Top Plate:** 1126.90
- Top of Loft Floor:** 1124.43
- Top of Upper Floor:** 1121.28
- Top of Main Floor:** 1117.83
- Top of Foundation:** 1117.46
- Grade:** 1117.25

Callouts and Features:

- 1:** Roof peak
- 2:** Top of loft floor
- 3:** Top of upper floor
- 4:** Loft floor
- 5:** Upper floor
- 8:** Foundation

Room Details:

- Loft:** 8'0"x7'0" Patio Door (D4), 20"x4'0"P (W12), 7'-0" x 7'-0" opening.
- Upper Floor:** 2'6"x5'0"C (W8), 2'6"x5'0"P (W9), 8'-0" x 8'-0" opening.
- Main Floor:** 12'0"x8'0" Bi-Parting Patio Door (D3), 8'-0" x 8'-0" opening.

Other Dimensions:

- Roof slope: 1/2" / 12"
- Loft floor height: 1'-5 1/8"
- Upper floor height: 1'-2 3/4"
- Main floor height: 10'-1 1/8"
- Foundation height: 1'-2 3/4"
- Foundation width: 1'-7"

SCALE : AS SHOWN	SHEET : A-2.0
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EXTERIOR FINISHES:

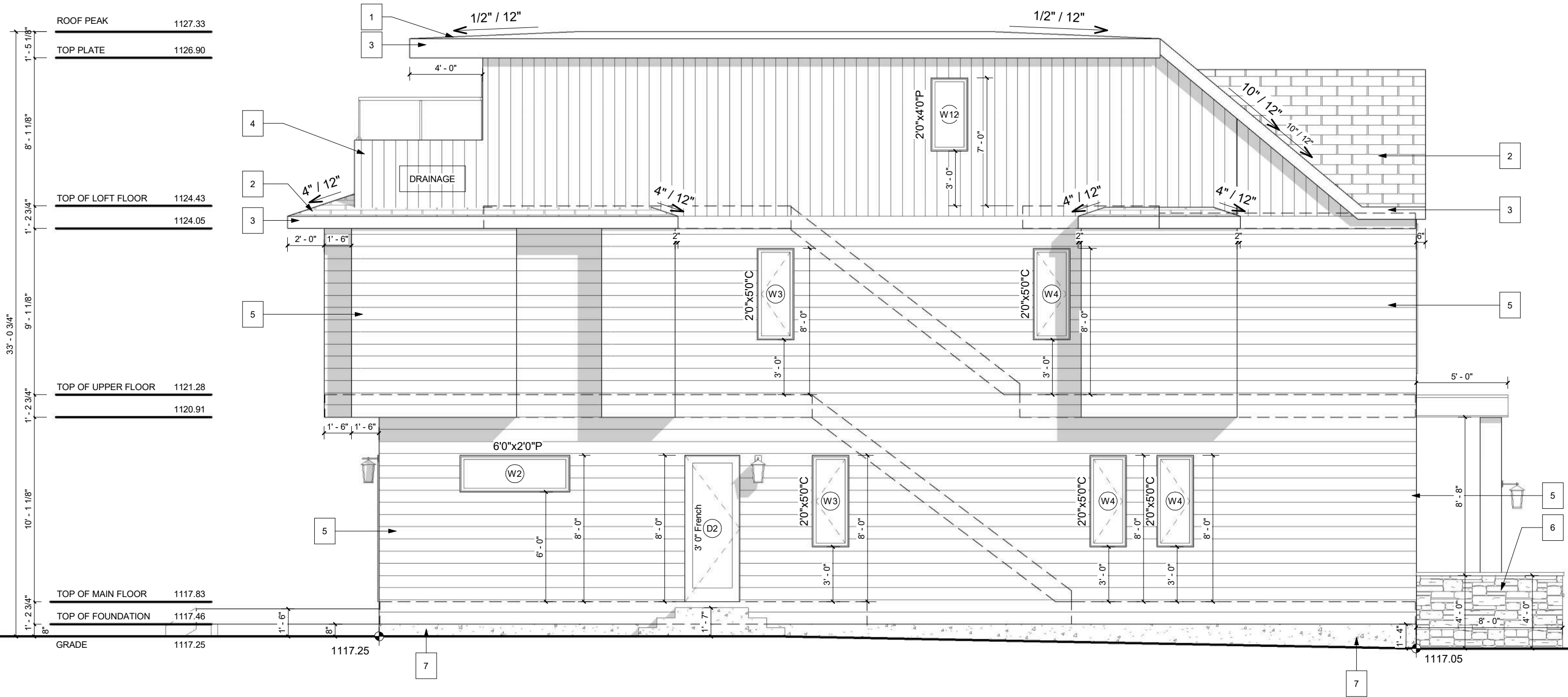
1	TORCH ON ROOF	4	HARDIE - LIGHT GREY	7	CONCRETE PARGING
2	ASPHALT SHINGLES	5	HARDIE - DARK GREY	8	CAST-IN-PLACE CONCRETE
3	8" ALUMNIMUM FASCIA	6	STONE - NATURAL		

WINDOW CALCULATION

WALL AREA = 1654.25 SQ. FT.
WINDOW AREA = 91.02 SQ. FT.
TOTAL: 91.02 / 1654.25 = 5.50%

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT
NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	22/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP ARCH	K.R.
03.	29/07/2026	BP PLAN	T.Z.
04.	--	--	--
05.	--	--	--

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PROJECT

NEW HOME

STATUS:

-

SIGNATURES

X

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PROJECT

NAME:
1731 24 STREET S.W. (South)
Calgary, Alberta

DESIGNER

JT

JOB #:

#273-25

SCALE

AS SHOWN

SHEET

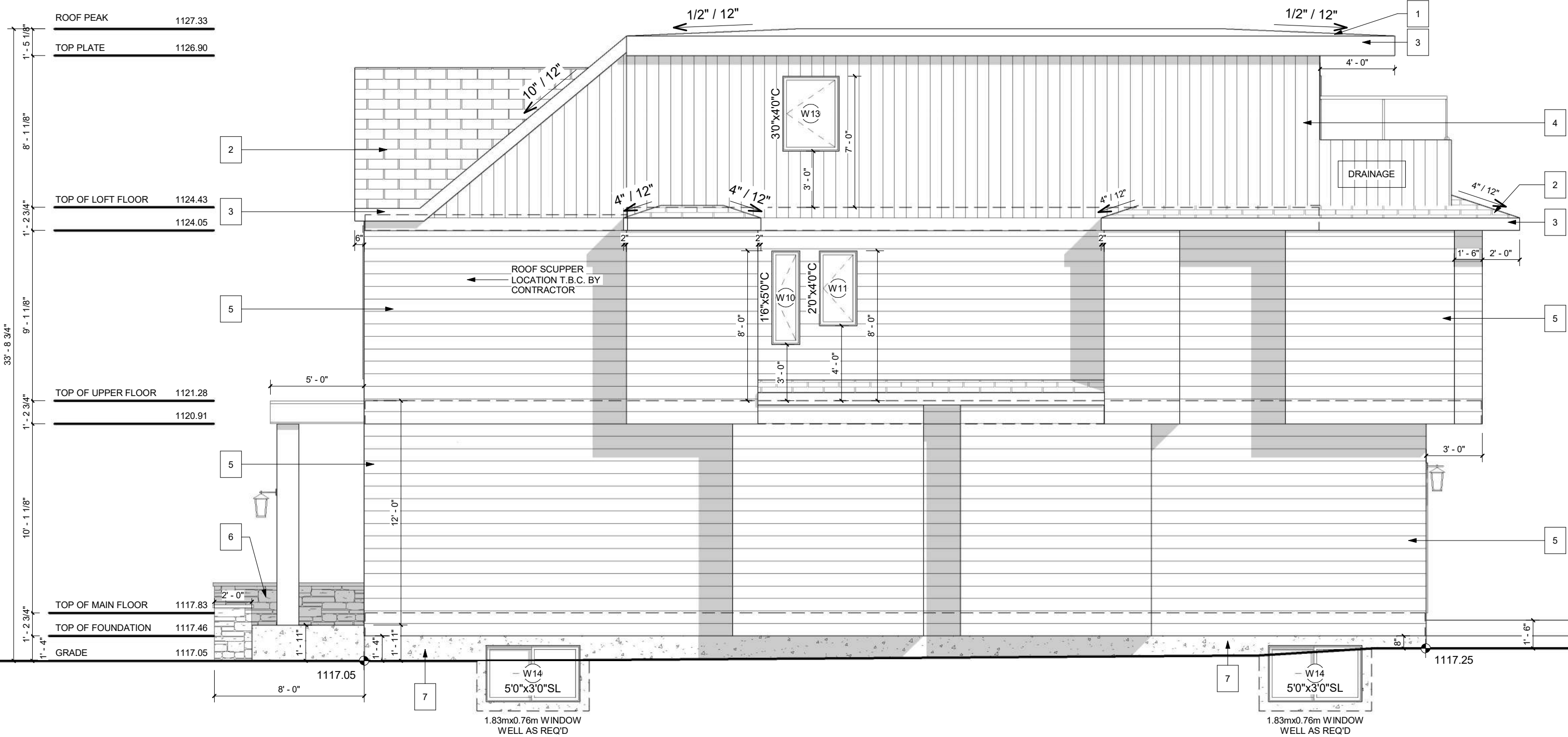
A-2.1

EXTERIOR FINISHES:

1	TORCH ON ROOF	4	HARDIE - LIGHT GREY	7	CONCRETE PARGING
2	ASPHALT SHINGLES	5	HARDIE - DARK GREY	8	CAST-IN-PLACE CONCRETE
3	8" ALUMNIMUM FASCIA	6	STONE - NATURAL		

WINDOW CALCULATION
WALL AREA = 1654.25 SQ. FT.
WINDOW AREA = 32.24 SQ. FT.
TOTAL: 32.24 / 1654.25 = 1.95%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT
NOTES:

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04.	--	--	--
05.	--	--	--

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PROJECT
: NEW HOME

STATUS: -

SIGNATURES

: X

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PROJECT
NAME:
1731 24 STREET S.W. (South)
Calgary, Alberta

DESIGNER
: JT

JOB #:
#273-25

SCALE
: AS SHOWN

SHEET
: A-2.2

EXTERIOR FINISHES:

- 1

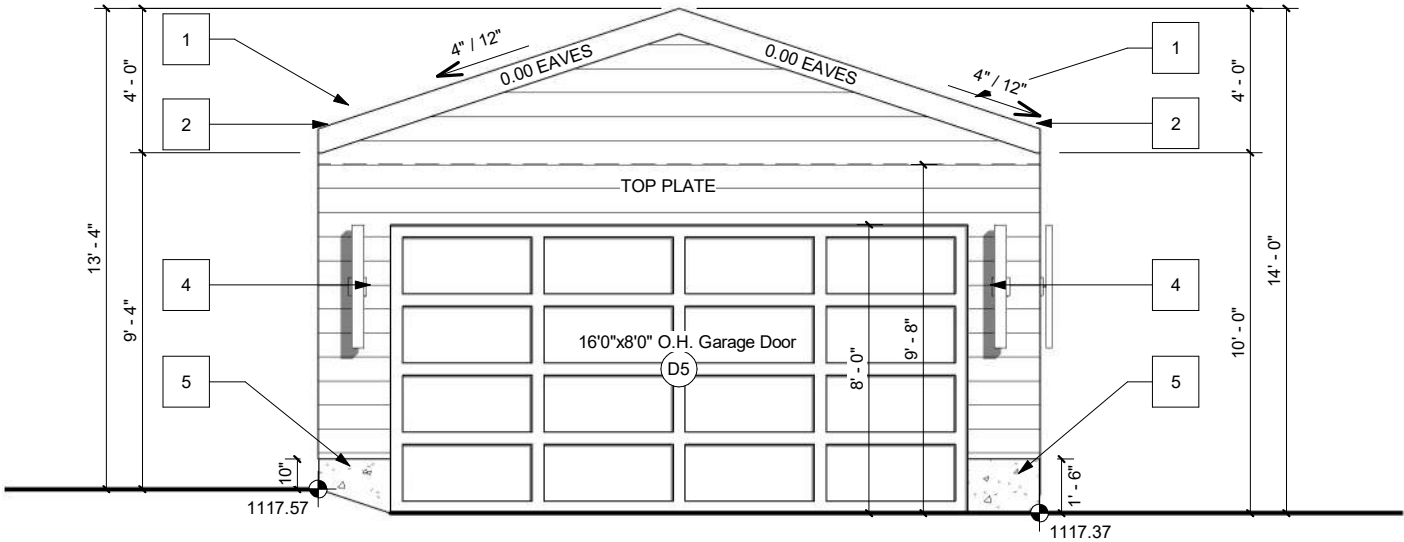
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

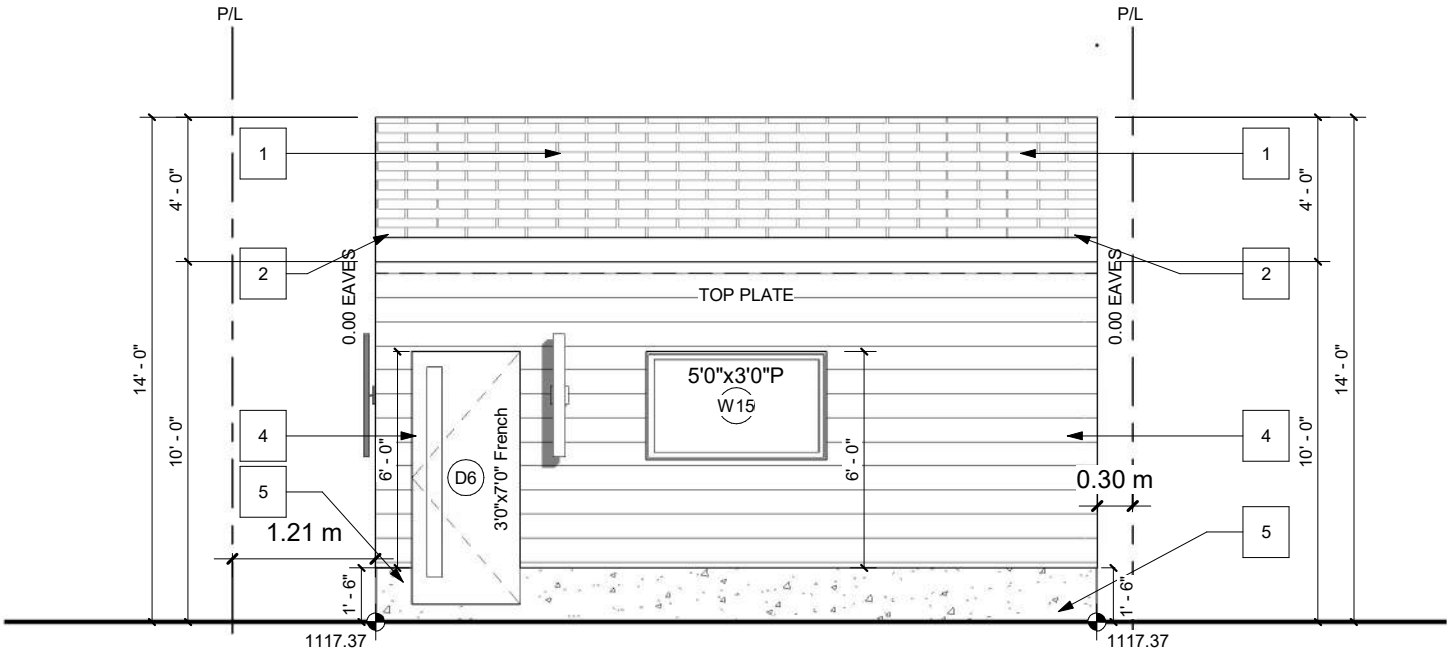
ALUMINUM EAVE'S
- 4

HARDIE - DARK GREY
- 5

CONC. PARGING



GARAGE SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



GARAGE EAST ELEVATION
SCALE: 3/16" = 1'-0"

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04.	--	--	--
05.	--	--	--



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PROJECT
:
NEW HOME

STATUS: -

SIGNATURES
:
X _____

PRINTED 2026-08-14 2:14:11 PM
:

PROJECT NAME:
1731 24 STREET S.W. (South)
Calgary, Alberta

DESIGNER : JT	JOB #: #273-25
---------------------	-------------------

SCALE : AS SHOWN	SHEET : A-4.1
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EXTERIOR FINISHES:

- 1

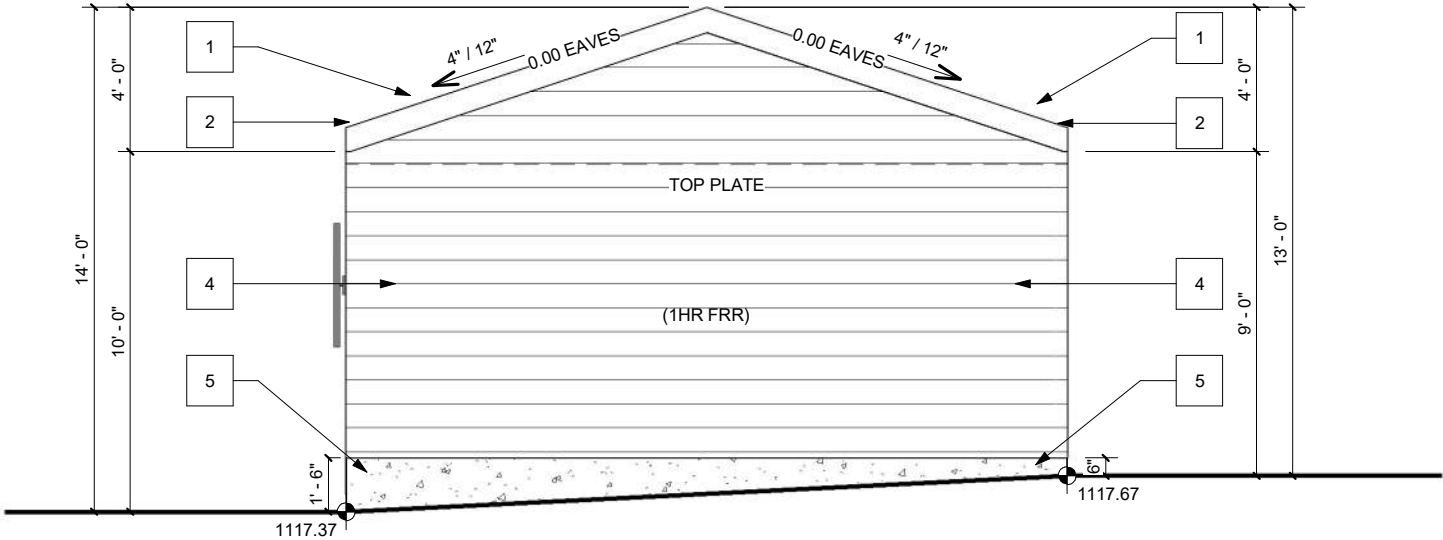
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

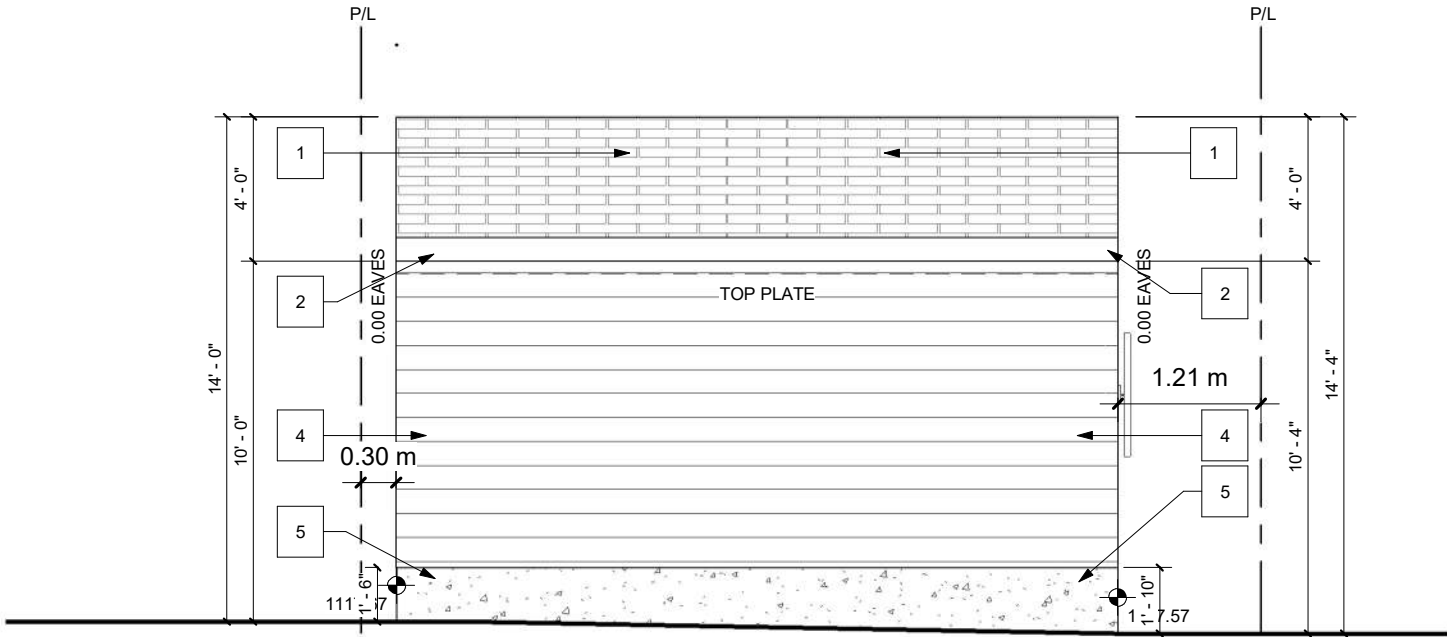
ALUMINUM EAVE'S
- 4

HARDIE FINISH
- 5

CONC. PARGING



GARAGE NORTH ELEVATION
SCALE: 3/16" = 1'-0"



GARAGE WEST ELEVATION
SCALE: 3/16" = 1'-0"

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ISSUES:

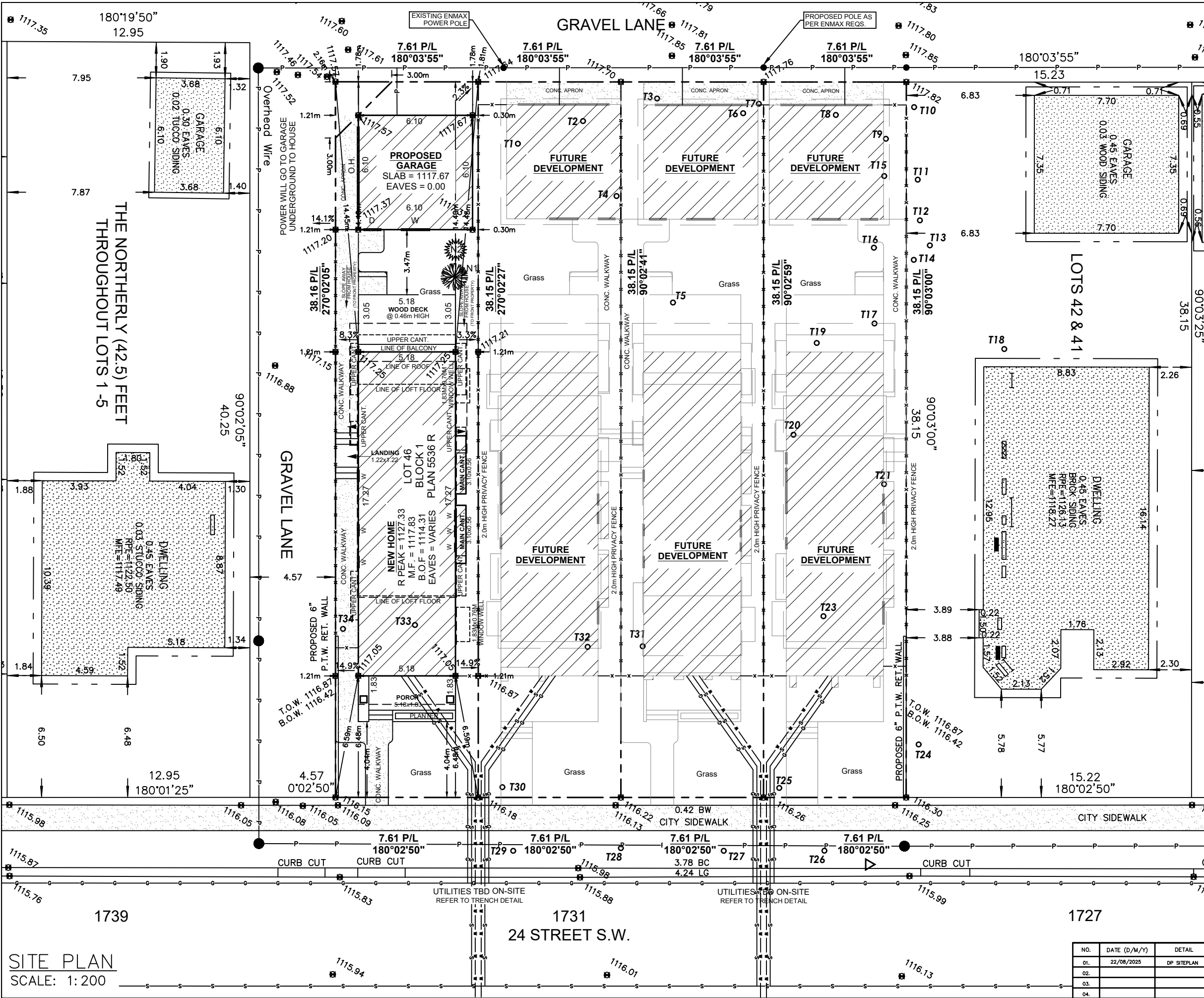
NO.	DATE(D/M/Y)	DETAIL	BY
01.	22/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP PLANS	K.R.
03.	29/07/2026	BP PLANS	T.Z.
04.	--	--	--
05.	--	--	--



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PROJECT :	NEW HOME
STATUS: :	-
SIGNATURES :	X _____
PRINTED :	2026-08-14 2:14:11 PM
PROJECT NAME: :	1731 24 STREET S.W. (South) Calgary, Alberta
DESIGNER :	JT
JOB #: :	#273-25
SCALE :	AS SHOWN
SHEET :	A-4.2



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\bullet$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\bullet$ denotes Calculation points
- $\boxtimes$ denotes Water Valve
- $\blacklozenge$ denotes Gas Valve
- $\bullet$ denotes Manhole
- $\odot$ denotes Tree
- $\bullet$ denotes Power Pole
- $\triangle$ denotes Sign
- $\odot$ denotes Light Standard
- $-X-X-$ denotes Fence
- S denotes Sanitary Line
- ST denotes Storm Line
- W denotes Water Line
- G denotes Gas Line
- $---$ denotes Electrical Line
- $---$ denotes A.G.T. Line
- $---$ denotes Utility Right of Way Line
- $---$ denotes Property Line
- $---$ denotes Door
- $---$ denotes Main Floor Windows
- $---$ denotes Second Floor Windows
- $---$ denotes Basement Floor Windows
- $---$ denotes Shed Hatch
- $---$ denotes Detached Garage Hatch
- $---$ denotes Main Building Hatch
- $---$ denotes Concrete and Asphalt Hatch
- $---$ denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade Oriented Infill

SCALE 1: 200

LEGAL DESCRIPTION:

Lot 43-46
Block 1
Plan 5536 R

MUNICIPAL ADDRESS:

1731 - 24 ST S.W. (SOUTH)
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

LOT SIZE: 290.304 SQ M
HOUSE SIZE: 89.497 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 3.463 SQ M
GARAGE: 37.161 SQ M
WING WALL: 0.206 SQ M

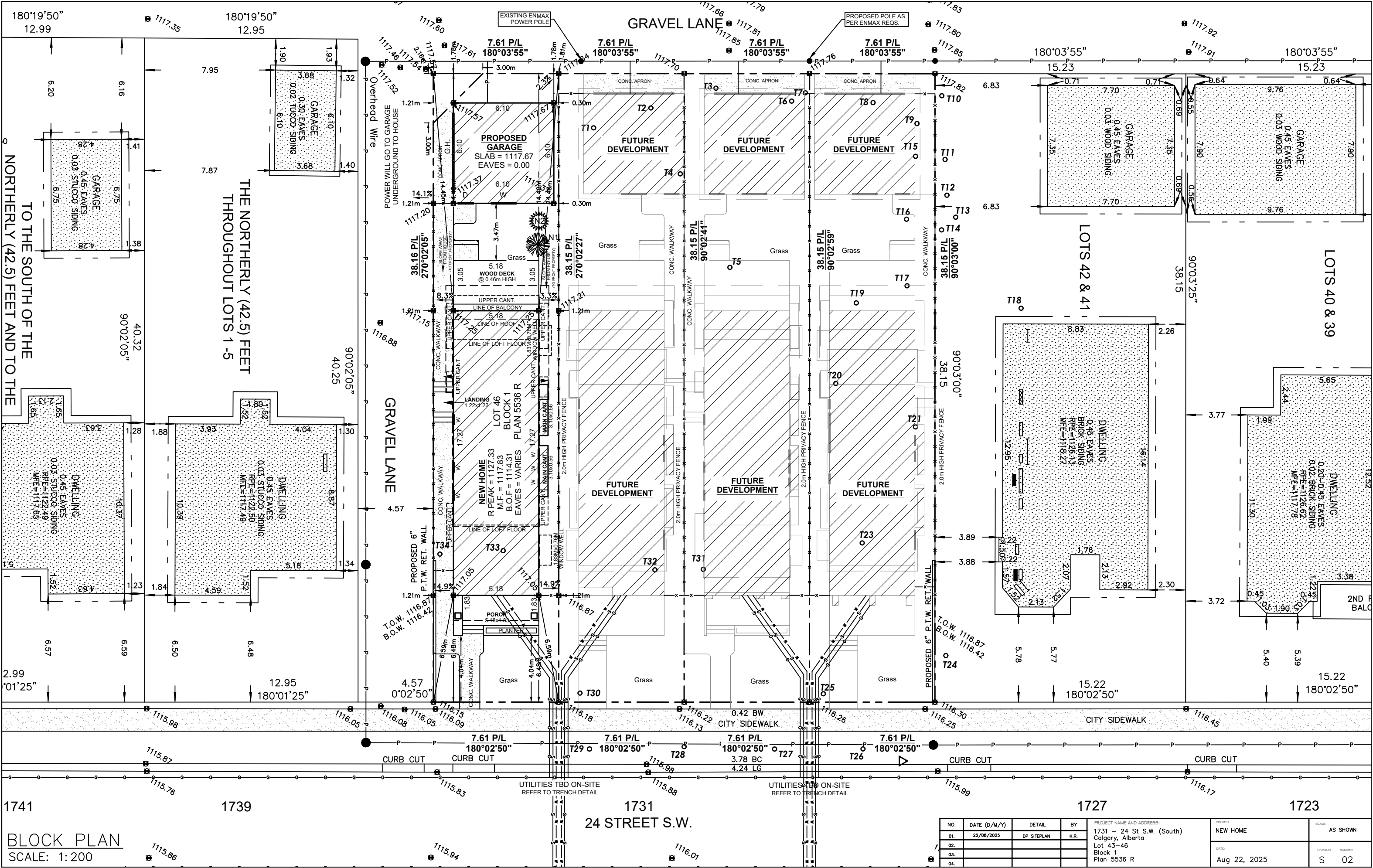
= $\frac{130,327}{290,304}$
= 44.89%



SITE PLAN

SCALE: 1: 200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	22/08/2025	DP SITEPLAN	K.R.	1731 - 24 St S.W. (South) Calgary, Alberta	NEW HOME	1: 200
02.				Lot 43-46		
03.				Block 1		
04.				Plan 5536 R		
					DATE:	DIVISION NUMBER:
					Aug 22, 2025	S 01



BLOCK PLAN
SCALE: 1: 200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	22/08/2025	DP SITEPLAN	K.R.	1731 - 24 St S.W. (South) Calgary, Alberta Lot 43-46 Block 1 Plan 5536 R	NEW HOME	AS SHOWN
02.					DATE:	DIVISION
03.					Aug 22, 2025	NUMBER
04.						S 02

