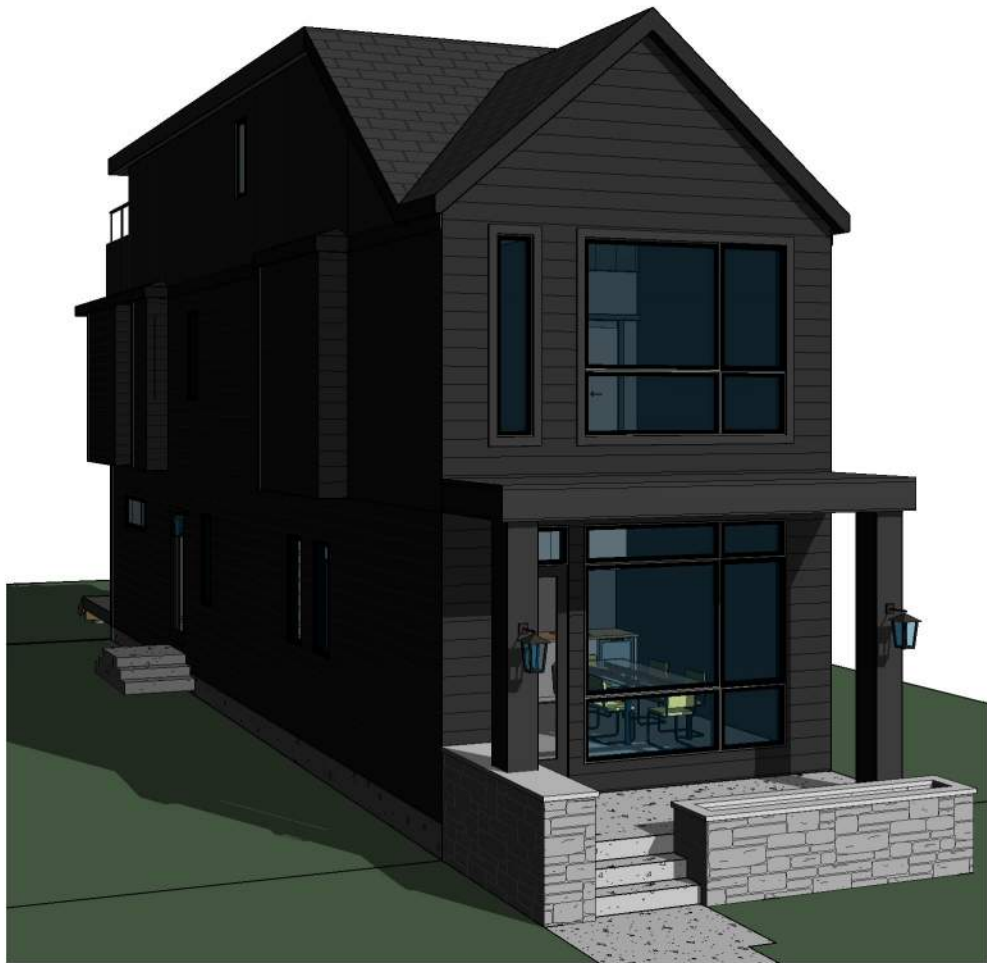




LIST OF DRAWINGS

A-0.0	Cover Page
A-0.1	Assemblies
A-0.2	Schedule
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front and Rear Elevations
A-2.1	Left Elevation
A-2.2	Right Elevation
A-3.0	Section 1
A-3.1	Section 2
A-4.0	Garage Plan
A-4.1	Garage Elevation 1
A-4.2	Garage Elevation 2
A-4.3	Garage Section
A-5.0	Above Ground Wall Detail
A-5.1A	Roof Details
A-5.1B	Balcony Details
A-5.1C	Foundation Wall Detail
A-5.1D	Foundation Wall & Heating Detail
A-5.2	Roof & Rim Joist Detail
A-5.3	Wind & Door Jamb & HRV Detail
A-5.3.A	Spray Foam Technical Details
A-5.4	Air Barrier Details
A-5.5	Opening Details
E-1.0	Basement Electrical
E-1.1	Main Electrical
E-1.2	Upper Electrical
E-1.3	Loft Electrical

PROJECT NOTES:

FLOOR AREA

BASEMENT = 963.33 SQ. FT.

MAIN = 1000.61 SQ. FT.

UPPER = 1079.67 SQ. FT.

LOFT = 629.00 SQ.FT.

TOTAL = 2709.28 SQ. FT.

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RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	22/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP PLANS	K.R.
03.	29/07/2026	BP PLANS	T.Z.
04.	--	--	--
05.	--	--	--



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PROJECT
: NEW HOME

STATUS: -

SIGNATURES
: X _____

PRINTED 2026-08-14 2:14:05 PM

PROJECT NAME:
1731 24 STREET S.W. (South)
Calgary, Alberta

DESIGNER
: JT JOB #:
#273-25

SCALE
: AS SHOWN SHEET
: A-0.0

1	TORCH ON ROOF	4	HARDIE - LIGHT GREY	7	CONCRETE PARGING
2	ASPHALT SHINGLES	5	HARDIE - DARK GREY	8	CAST-IN-PLACE CONCRETE
3	8" ALUMNIMUM FASCIA	6	STONE - NATURAL		

This architectural elevation drawing shows the front facade of a building with a gabled roof. The drawing includes detailed dimensions for heights and widths, as well as specific elevations for key horizontal levels. The roof is gabled with a 10°/12° pitch. The main body of the building is 33'-8 3/4" high from the foundation to the roof peak. The facade features a central entrance with a door (D1) and a large window (W1) above it. There are also smaller windows (W5, W6, W7) and a side window (W2). The drawing is annotated with callouts 1 through 8 pointing to specific features. The following table summarizes the elevation data provided in the drawing:

Level	Elevation
ROOF PEAK	1127.33
TOP PLATE	1126.90
TOP OF LOFT FLOOR	1124.43
	1124.05
TOP OF UPPER FLOOR	1121.28
	1120.91
TOP OF MAIN FLOOR	1117.83
TOP OF FOUNDATION	1117.46
GRADE	1117.05

Key dimensions and specifications include:

- Overall height from foundation to roof peak: 33'-8 3/4"
- Roof pitch: 10°/12°
- Window sizes: 6'0"x5'0"P, 6'0"x2'6"P, 3'0"x5'0"C, 3'0"x2'6"P, 1'6"x7'6"P, 1'0"x5'0"P, 3'0"x1'6"P, 3'0"x5'0"P, 3'0"x2'6"P.
- Door size: 3'0"x7'6"P (D1).
- Foundation width: 11'-0"
- Foundation height: 1'-9"
- Foundation material: 0.59
- Foundation finish: 2'-10"
- Foundation base: 1'-10"

REAR ELEVATION
SCALE: 3/16" = 1'-0"

This architectural elevation drawing shows the front facade of a three-story building. The drawing includes a vertical dimension line on the left with callouts for various levels: ROOF PEAK (1127.33), TOP PLATE (1126.90), TOP OF LOFT FLOOR (1124.43 and 1124.05), TOP OF UPPER FLOOR (1121.28 and 1120.91), TOP OF MAIN FLOOR (1117.83), TOP OF FOUNDATION (1117.46), and GRADE (1117.25). The building features a 12'0"x8'0" Bi-Parting Patio Door (D3) on the main floor, two 2'6"x5'0" windows (W8 and W9) on the upper floor, and an 8'0"x7'0" Patio Door (D4) on the loft floor. A 2'0"x4'0" window (W12) is also located on the loft floor. The drawing includes numerous dimensions for heights, widths, and offsets, as well as callouts 1 through 8 pointing to specific architectural details.

Vertical Dimensions (Left Side):

- ROOF PEAK: 1127.33
- TOP PLATE: 1126.90
- TOP OF LOFT FLOOR: 1124.43, 1124.05
- TOP OF UPPER FLOOR: 1121.28, 1120.91
- TOP OF MAIN FLOOR: 1117.83
- TOP OF FOUNDATION: 1117.46
- GRADE: 1117.25

Horizontal Dimensions (Top):

- 1/2" / 12"
- 1/2" / 12"

Callouts:

- 1: Roof peak
- 2: Loft floor edge
- 3: Upper floor edge
- 4: Loft floor wall
- 5: Main floor wall
- 8: Foundation

Window and Door Details:

- 8'0"x7'0" Patio Door (D4)
- 2'0"x4'0" Window (W12)
- 2'6"x5'0" Window (W8)
- 2'6"x5'0" Window (W9)
- 12'0"x8'0" Bi-Parting Patio Door (D3)

Other Labels:

- POT (Patio Opening Threshold)
- 8'0" (Height dimension)
- 3'0" (Height dimension)
- 2'0" (Width dimension)
- 1'6" (Width dimension)
- 1'7" (Foundation width)

SCALE	SHEET
: AS SHOWN	: A-2.0



EXTERIOR FINISHES:

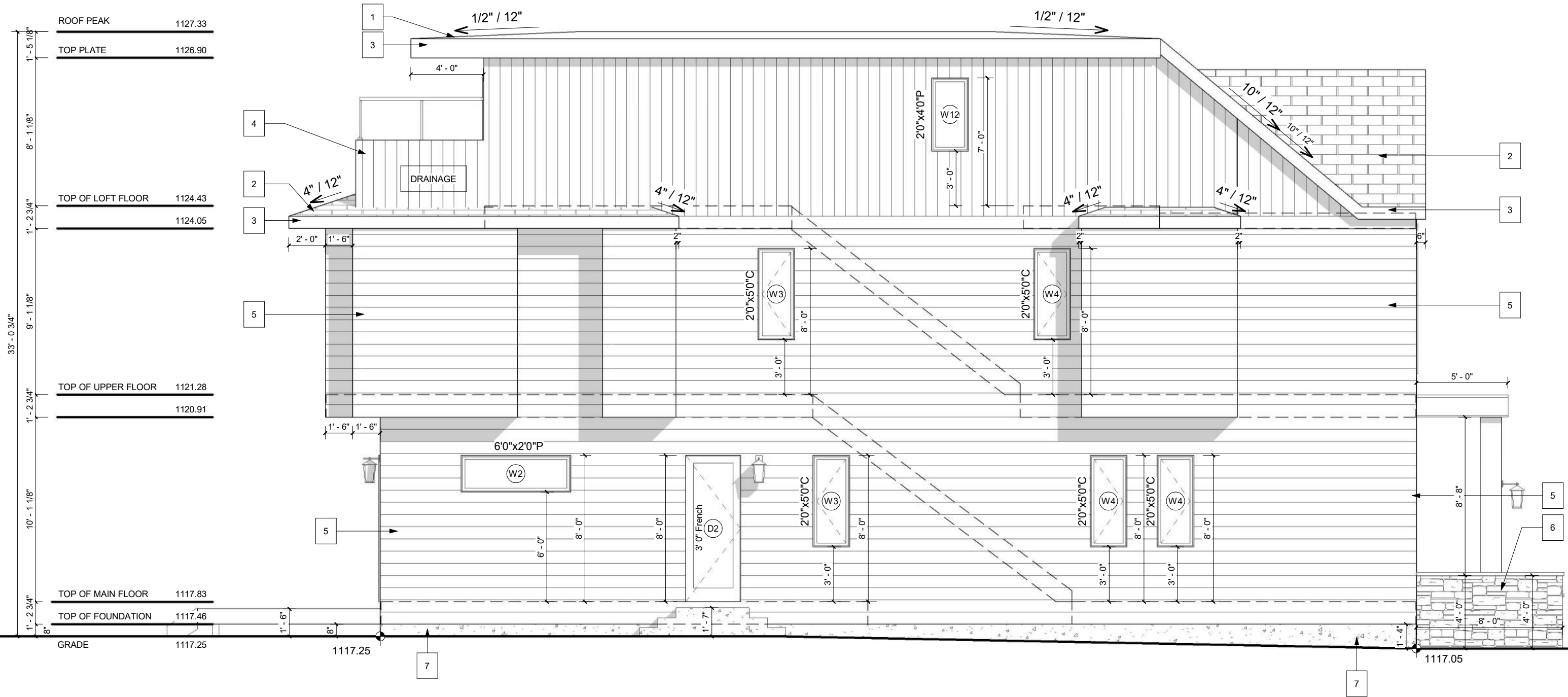
1	TORCH ON ROOF	4	HARDIE - LIGHT GREY	7	CONCRETE PARGING
2	ASPHALT SHINGLES	5	HARDIE - DARK GREY	8	CAST-IN-PLACE CONCRETE
3	8" ALUMNIMUM FASCIA	6	STONE - NATURAL		

WINDOW CALCULATION

WALL AREA = 1654.25 SQ. FT.
WINDOW AREA = 91.02 SQ. FT.
TOTAL: 91.02 / 1654.25 = 5.50%

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT
NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	22/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP ARCH	K.R.
03.	29/07/2026	BP PLAN	T.Z.
04.	--	--	--
05.	--	--	--

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PROJECT

NEW HOME

STATUS:

-

SIGNATURES

X

PRINTED 2026-08-14 2:14:09 PM



PROJECT
NAME:
1731 24 STREET S.W. (South)
Calgary, Alberta

DESIGNER
JT

JOB #:
#273-25

SCALE
AS SHOWN

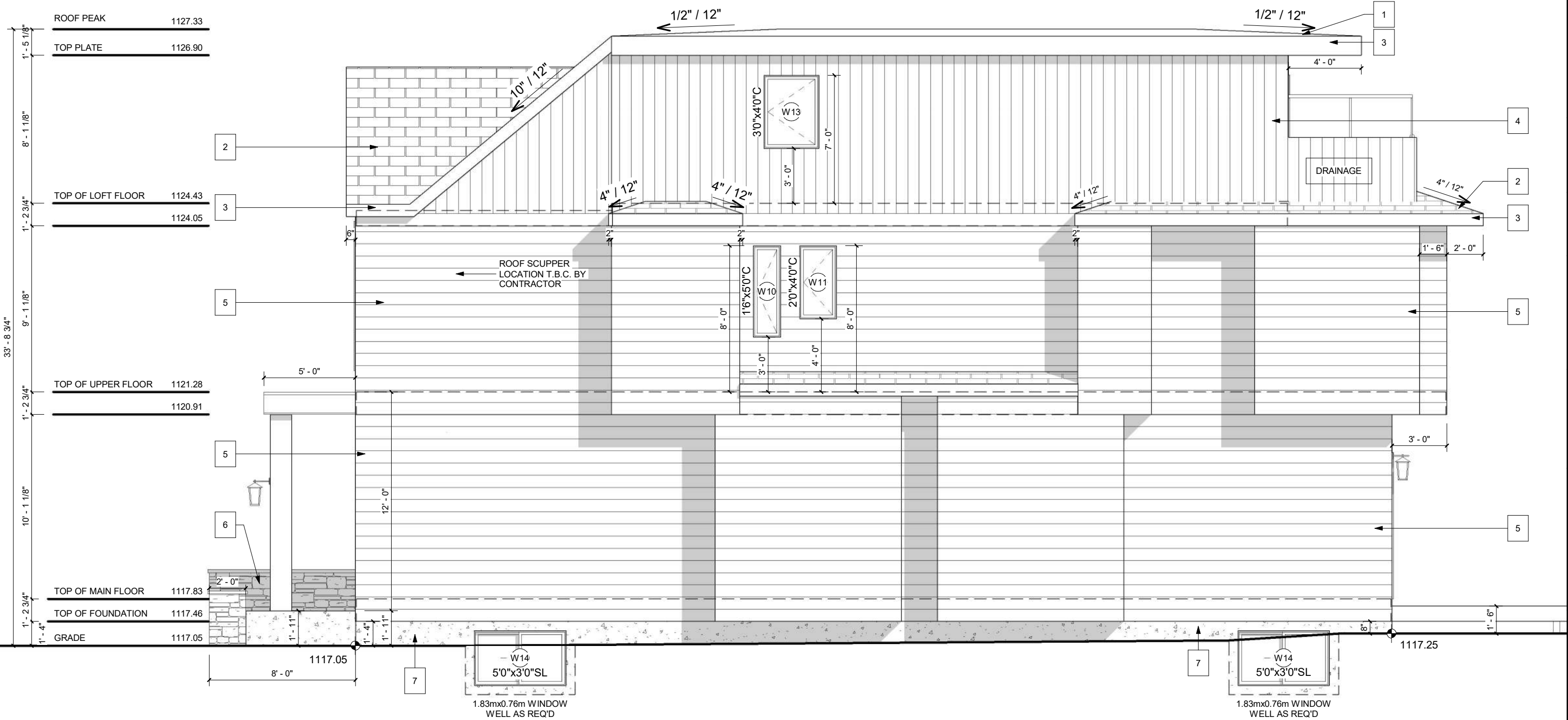
SHEET
A-2.1

EXTERIOR FINISHES:

1	TORCH ON ROOF	4	HARDIE - LIGHT GREY	7	CONCRETE PARGING
2	ASPHALT SHINGLES	5	HARDIE - DARK GREY	8	CAST-IN-PLACE CONCRETE
3	8" ALUMNIMUM FASCIA	6	STONE - NATURAL		

WINDOW CALCULATION
WALL AREA = 1654.25 SQ. FT.
WINDOW AREA = 32.24 SQ. FT.
TOTAL: 32.24 / 1654.25 = 1.95%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT
NOTES:

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01.	22/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP ARCH	K.R.
03.	29/07/2026	BP PLAN	T.Z.
04.	--	--	--
05.	--	--	--

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PROJECT
:
NEW HOME

STATUS:
-

SIGNATURES
:

X

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PROJECT
NAME:
1731 24 STREET S.W. (South)
Calgary, Alberta

DESIGNER
:
JT

JOB #:
#273-25

SCALE
:
AS SHOWN

SHEET
:
A-2.2

EXTERIOR FINISHES:

- 1

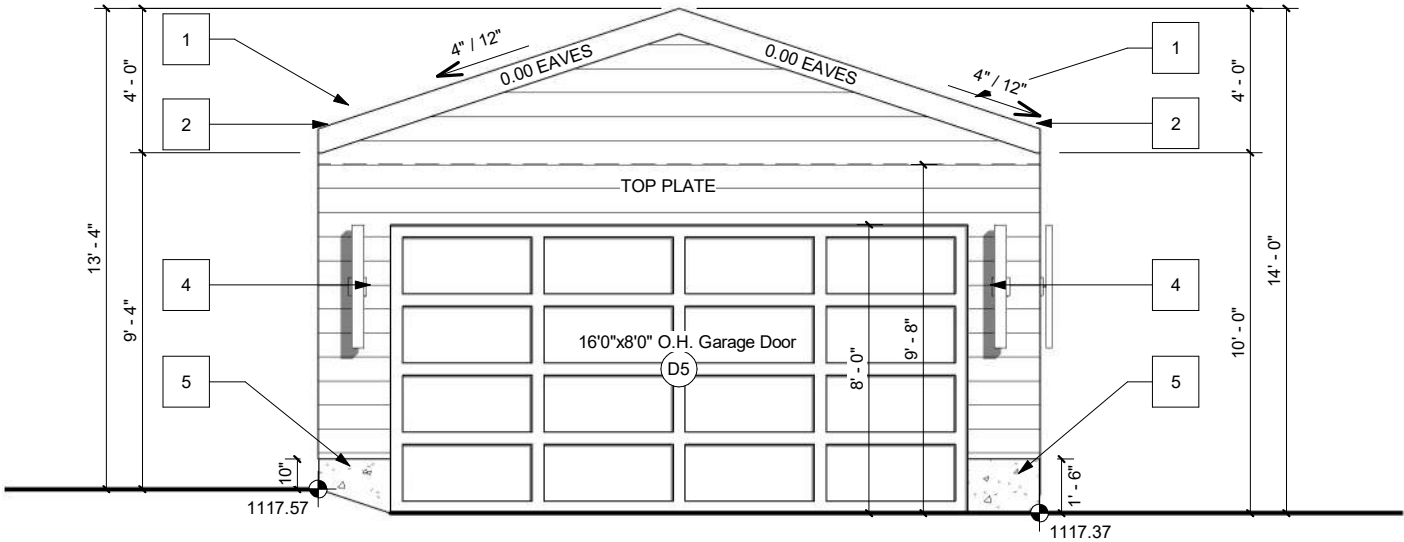
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

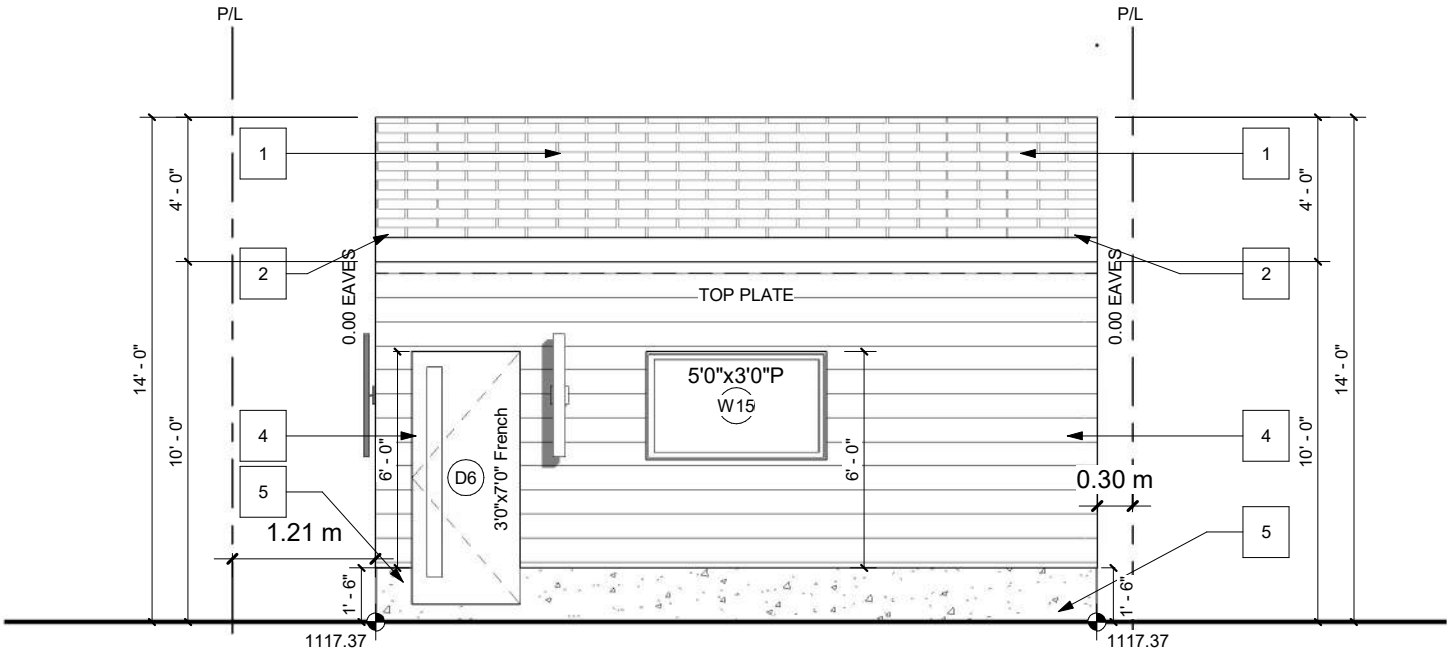
ALUMINUM EAVE'S
- 4

HARDIE - DARK GREY
- 5

CONC. PARGING



GARAGE SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



GARAGE EAST ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	22/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP PLANS	K.R.
03.	29/07/2026	BP PLANS	T.Z.
04.	--	--	--
05.	--	--	--



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PROJECT : NEW HOME	
STATUS: :-	
SIGNATURES : X _____	
PRINTED 2026-08-14 2:14:11 PM : PROJECT NAME: 1731 24 STREET S.W. (South) Calgary, Alberta	
DESIGNER : JT	JOB #: #273-25
SCALE : AS SHOWN	SHEET : A-4.1

EXTERIOR FINISHES:

- 1

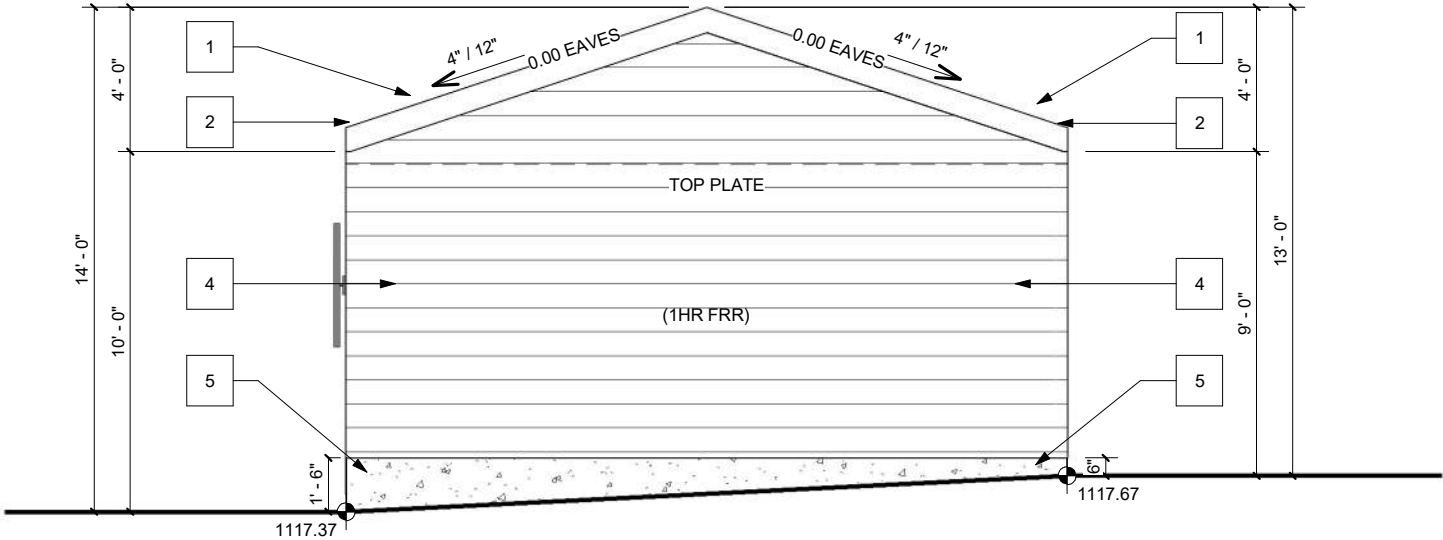
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

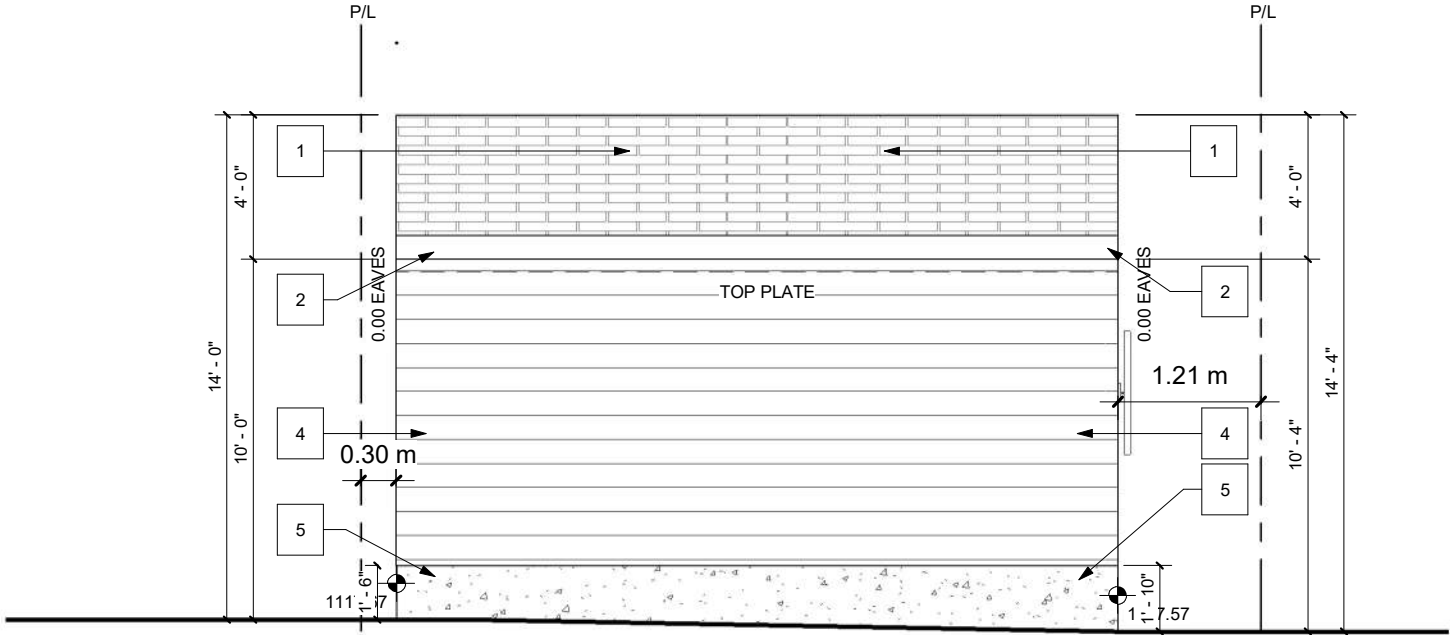
ALUMINUM EAVE'S
- 4

HARDIE FINISH
- 5

CONC. PARGING



GARAGE NORTH ELEVATION
SCALE: 3/16" = 1'-0"



GARAGE WEST ELEVATION
SCALE: 3/16" = 1'-0"

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ISSUES:

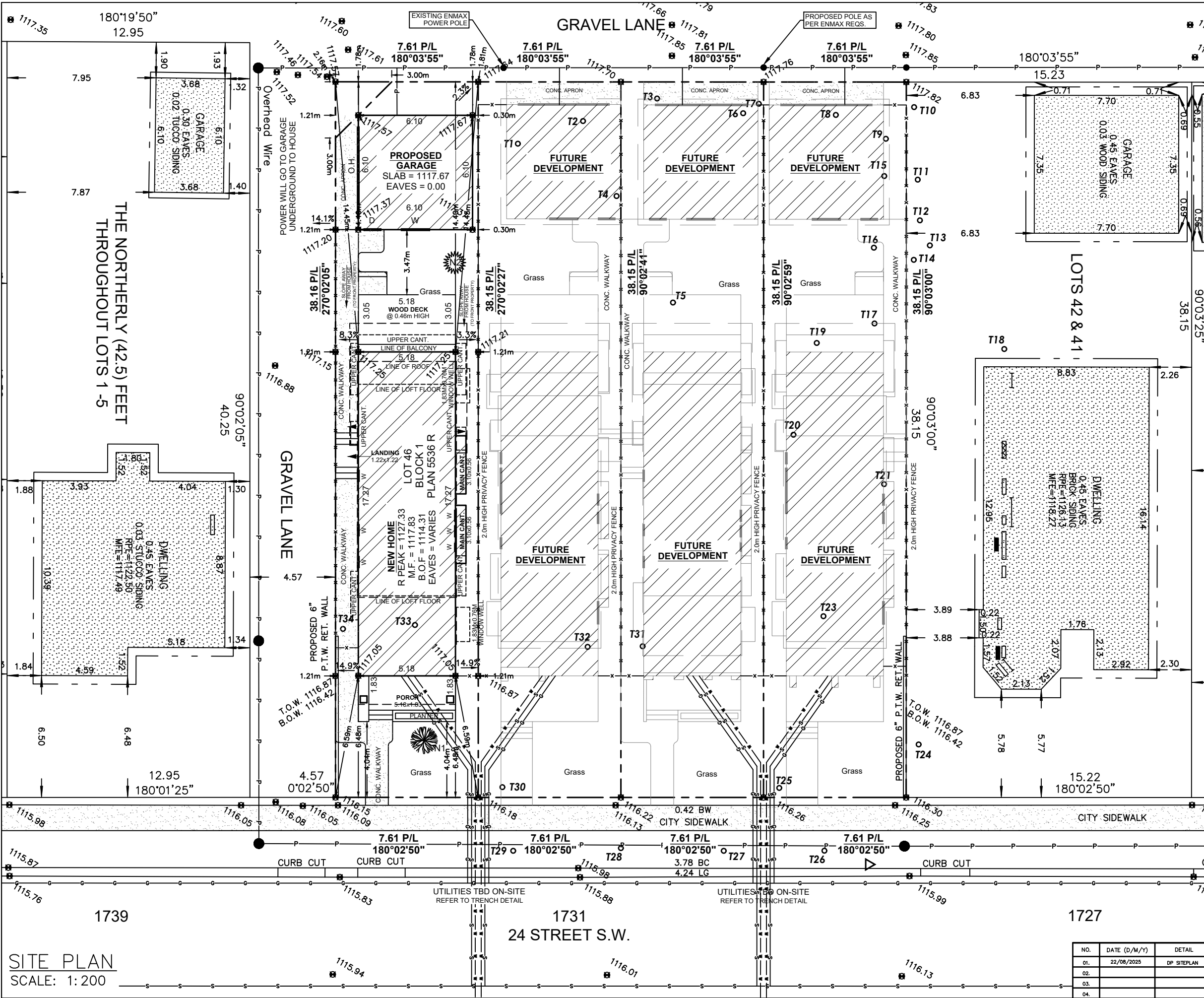
NO.	DATE(D/M/Y)	DETAIL	BY
01.	22/07/2025	CONCEPT	S.W.
02.	22/08/2025	DP PLANS	K.R.
03.	29/07/2026	BP PLANS	T.Z.
04.	--	--	--
05.	--	--	--



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PROJECT :	NEW HOME
STATUS: :	-
SIGNATURES :	X _____
PRINTED :	2026-08-14 2:14:11 PM
PROJECT NAME: :	1731 24 STREET S.W. (South) Calgary, Alberta
DESIGNER :	JT
JOB #: :	#273-25
SCALE :	AS SHOWN
SHEET :	A-4.2



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\bullet$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\bullet$ denotes Calculation points
- $\boxtimes$ denotes Water Valve
- $\blacklozenge$ denotes Gas Valve
- $\bullet$ denotes Manhole
- $\odot$ denotes Tree
- $\bullet$ denotes Power Pole
- $\triangle$ denotes Sign
- $\odot$ denotes Light Standard
- $-X-X-$ denotes Fence
- S denotes Sanitary Line
- ST denotes Storm Line
- W denotes Water Line
- G denotes Gas Line
- $---$ denotes Electrical Line
- $---$ denotes A.G.T. Line
- $---$ denotes Utility Right of Way Line
- $---$ denotes Property Line
- $---$ denotes Door
- $---$ denotes Main Floor Windows
- $---$ denotes Second Floor Windows
- $---$ denotes Basement Floor Windows
- $\square$ denotes Shed Hatch
- $\square$ denotes Detached Garage Hatch
- $\square$ denotes Main Building Hatch
- $\square$ denotes Concrete and Asphalt Hatch
- $\square$ denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lot 43-46
Block 1
Plan 5536 R

MUNICIPAL ADDRESS:

1731 - 24 ST S.W. (SOUTH)
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

LOT SIZE: 290.304 SQ M
HOUSE SIZE: 89.497 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 3.463 SQ M
GARAGE: 37.161 SQ M
WING WALL: 0.206 SQ M

= $\frac{130,327}{290,304}$
= 44.89%



SITE PLAN

SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	22/08/2025	DP SITEPLAN	K.R.	1731 - 24 St S.W. (South) Calgary, Alberta	NEW HOME	1: 200
02.				Lot 43-46		
03.				Block 1		
04.				Plan 5536 R		
					DATE:	DIVISION NUMBER
					Aug 22, 2025	S 01

