

PROPOSED H-GO DWELLINGS

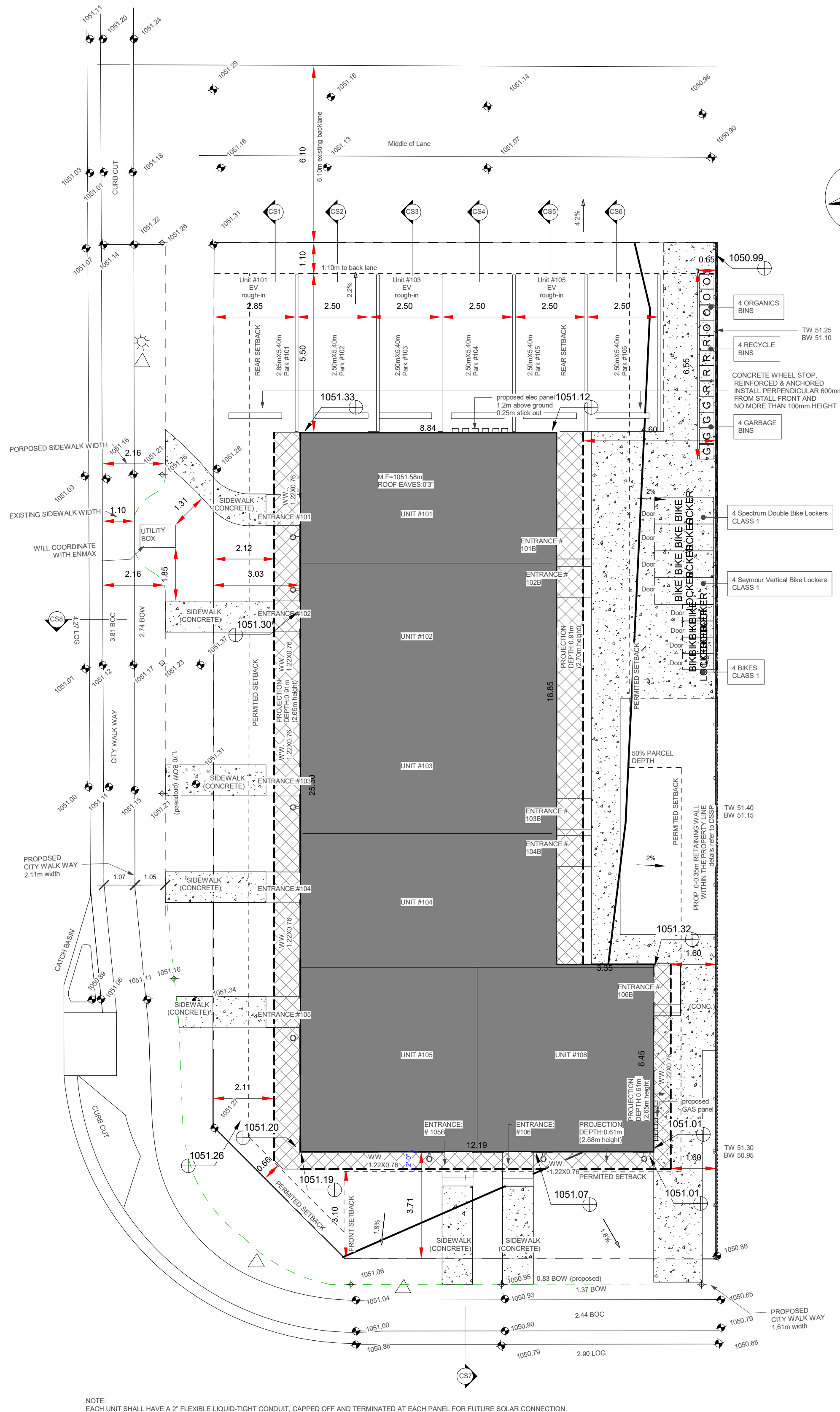
2 HARMON PLACE S.W.
CALGARY, AB
Lot 3,Block 15, Plan 3184JK
LAND USE CLASS: H-GO
(ONE BUILDING, 6 UNITS, 6 SECONDARY SUITES)

AMENDED DRAWINGS

DP No Date Received
DP2025-05565 APR 29 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION OR OTHER PURPOSES UNTIL THEY ARE APPROVED BY CCC DESIGN INC.		
CLIENT & PROJECT		
CLIENT:	XXXX	
PROJECT:	Proposed Singlex Dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z3 Lot 3, Block 15, Plan 3184JK H-GO zoning	
JOB NO.:	24-25	
DRAWING		
STAGE:	DP	
PUBLISHED:	2025-04-28 14:20 PM	
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ISSUED FOR		
DATE	COMMENTS	BY
25-03-17	COORDINATED WITH CIVIL DRI	JC
COVER SHEET		A0.0



4 PROPOSED SITE PLAN
1 : 100

LOT INFORMATION

LEGAL ADDRESS:
Lot 3, Block 15, Plan 3184JK
MUNICIPAL ADDRESS:
2 HARMON PLACE S.W.
CALGARY, ALBERTA
(THIS LOT IS NOT IN FLOOD FRINGE
ACCORDING TO CITY MAP.)

LAND USE: H-GO

PROPOSED USE: ONE BUILDING
ROWHOUSE: 6 UNITS
BASEMENT SUITES: 6

SITE COVERAGE

PARCEL AREA 598.89sq.m
BUILDING: 240.8sq.m
PARKING STALLS :114sq.m
TOTAL 354.8sq.m(359.33 sq.m
PERMITTED)
COVERAGE RATE: 59.24% (60%
PERMITTED)

BIKESTALLS AREA:
TOTAL 9.88sq.m

SITE INFORMATION

SITE AREA: 6446.40 SF (598.89sq.m
or 0.059ha)
LAND USE: H-GO
MAX BUILDING HEIGHT: 12.00m
FRONT YARD SETBACK: 3.00m
SIDE YARD SETBACK: 1.20m
REAR YARD SETBACK: 0.60m
DENSITY: 100UPH
MAX SITE COVERAGE: 60%
MAX FAR: 1.50

SQUARE FOOTAGE

UNIT 1 TO 6
MAINFLOOR: 2592 SF
UPFLOOR: 3148 SF
3RD FLOOR: 2839SF
TOTAL GFA:
8579SF (PERMITTED 9669.6SF)
FAR=1.33

LEGEND

PROPERTY LINES: ---
ROOF OVERHANG: ---
PROJECTIONS: ---
RETAINING WALL: ---
EXISTING ELEVATION: ---
PROPOSED ELEVATION: ---
MANHOLE (SSSP): ---
WINDOW WELL: ---
MAINFLOOR CANTILEVER: ---
UPFLOOR CANTILEVER: ---

PARKING

PROVIDED PARKING: 6 STALLS (ON GROUND)

MOBILITY LOCKER

PROVIDED : 0 STALLS

BIKE PACK

PROVIDED : 12 STALLS (CLASS 1)

GARBAGE/RECYCLING

REQUIRED: (6 UNITS + 6 SUITES) X (0.3 yd³/WEEK)
/ UNIT X (0.765 m³/yd³/CART CAPACITY 0.246 m³
=11.19CARTS
PROVIDED: 12 CARTS

SOLAR PANEL AND EV CHARGER

3 EV CHARGER (ROUGH-IN)
EACH UNIT SHALL HAVE A 2" FLEXIBLE LIQUID-
TIGHT CONDUIT, CAPPED OFF AND
TERMINATED AT EACH PANEL FOR FUTURE
SOLAR CONNECTION.

1 Site Information

1/4" = 1'-0"



Spectrum Double Bike Locker
Capacity: Holds 2 bicycles
Dimensions:
2028 mm (length) x 923 mm (width) x
1174 mm (height)



Seymour Vertical Bike Locker



Capacity:
Holds 1 bicycle

Dimensions:
1067 mm (length) x
559 mm (width) x
1905mm (height)

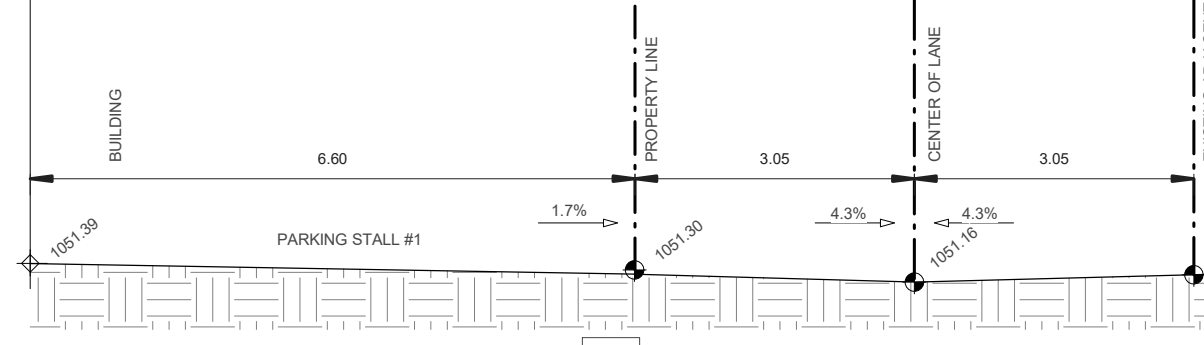


garbage organics recycle

7 BINS
3/16" = 1'-0"

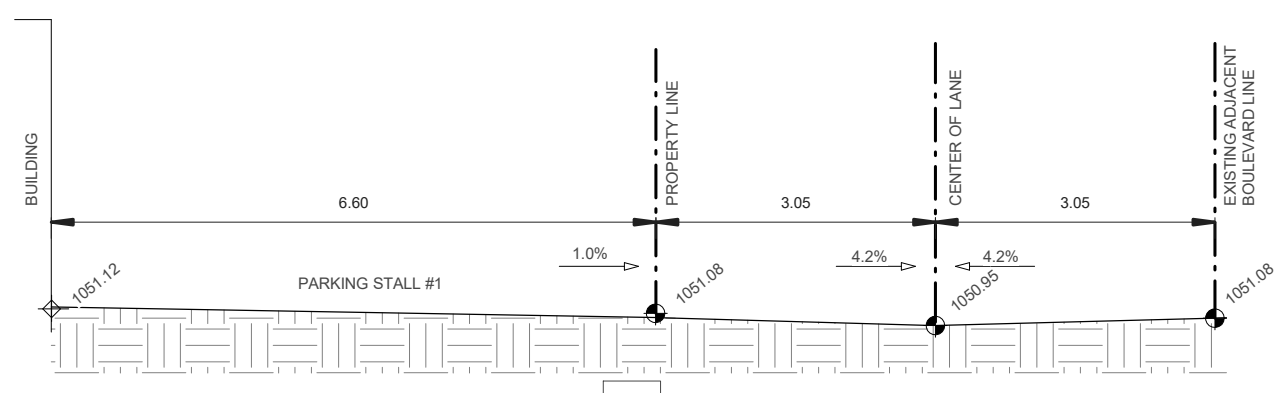
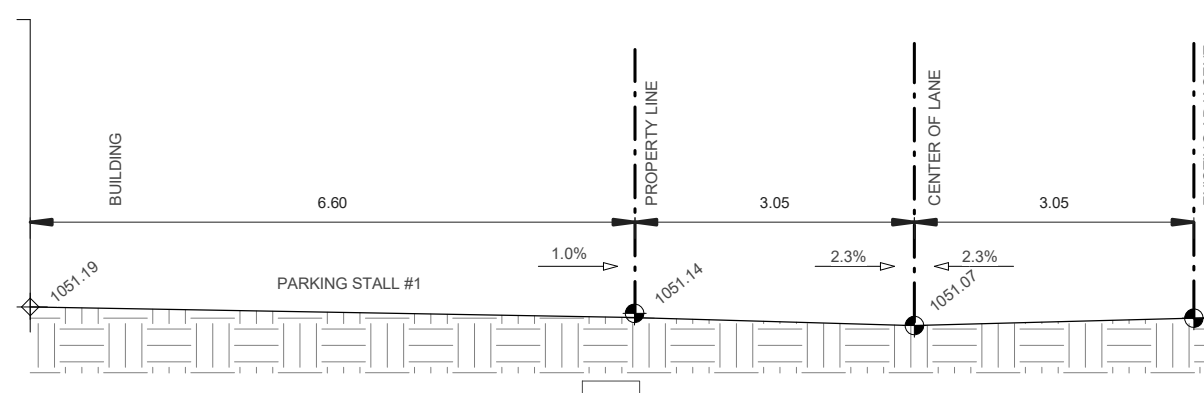
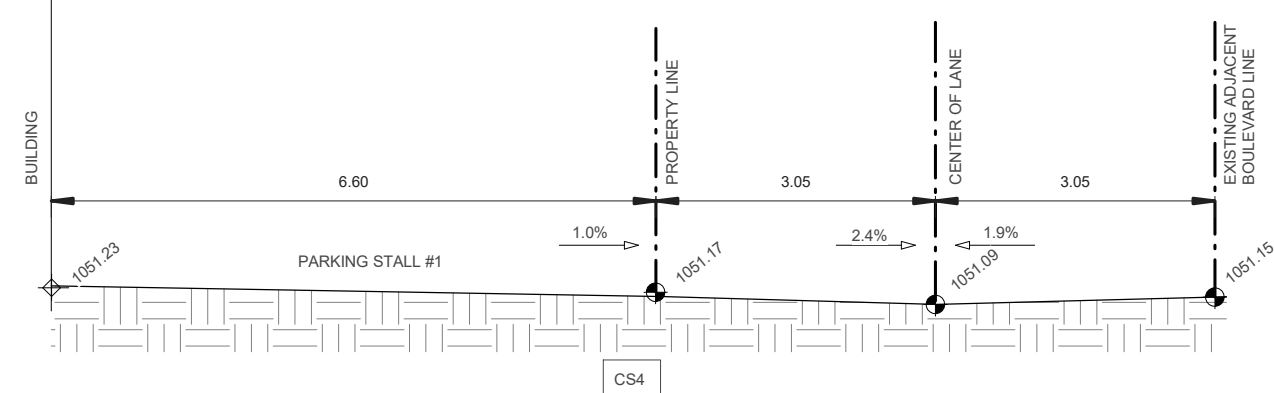
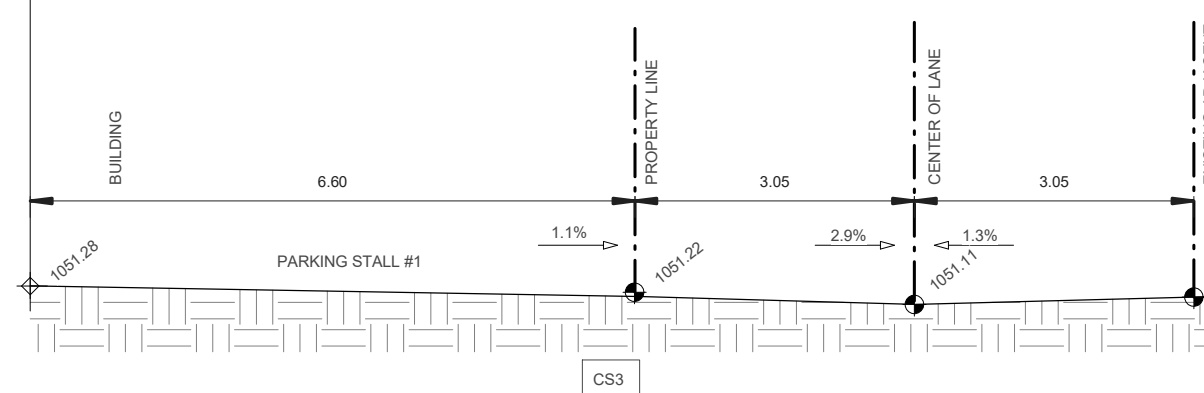
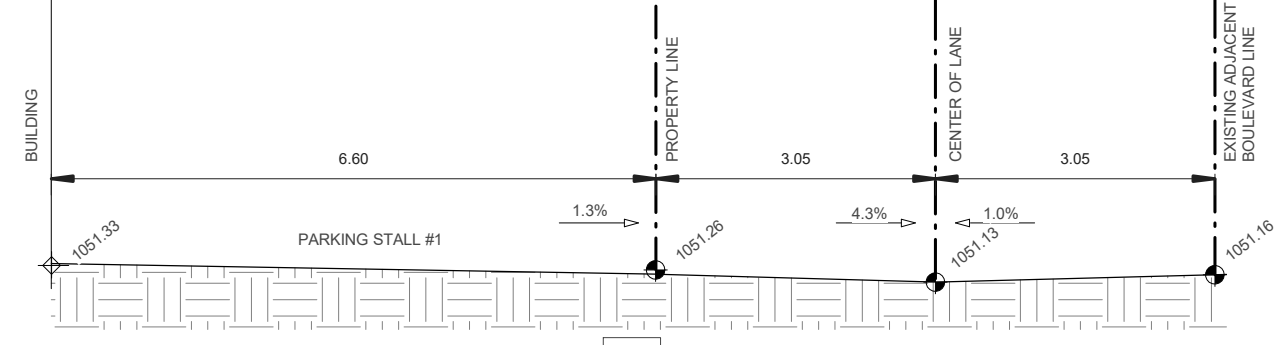
5 Class 1 bicycle parking stall (Horizontal)

3/16" = 1'-0"



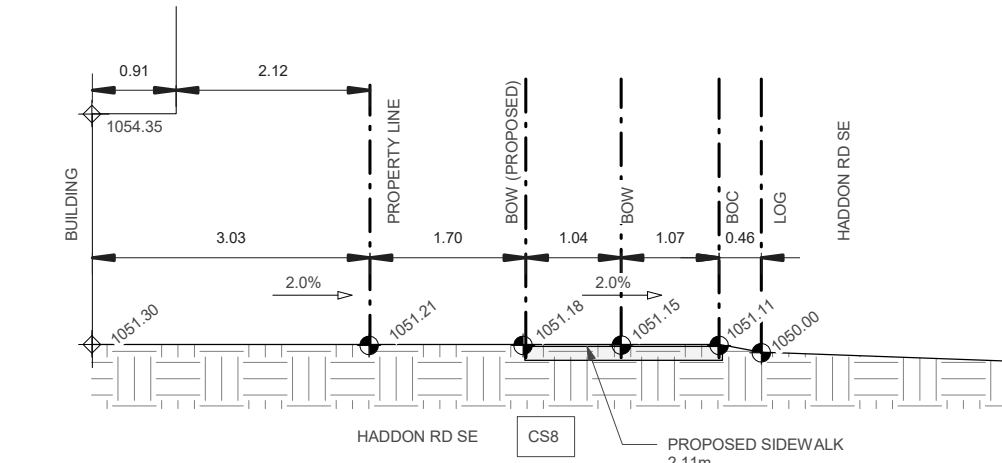
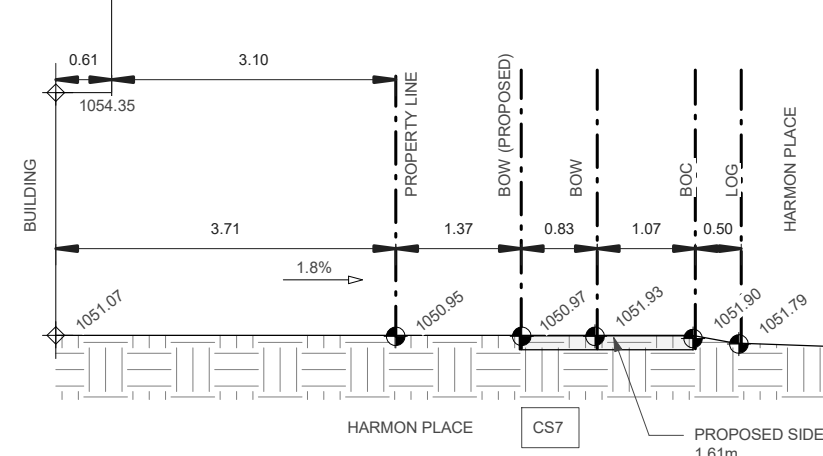
9 Class 1 bicycle parking stall (Vertical)

3/16" = 1'-0"



3 BACKLANCE CROSS SECTIONS

1 : 75



6 CROSS SECTION HARMON PLACE

1 : 75

8 CROSS SECTION HADDON RD SE

1 : 75

AMENDED DRAWINGS

DP No

DP2025-05565

Date Received

APR 29 2026

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ARE APPROVED BY CCC DESIGN INC.

CLIENT & PROJECT

CLIENT: XXXX

PROJECT: Proposed Splexer Dwelling

ADDRESS: 2 HARMON PLACE S.W. CALGARY, AB T2V 2Z9
Lot 3, Block 15, Plan 3184JK
H-GO zoning

JOB NO.: 24-25

DRAWING

STAGE: DP

PUBLISHED: 2025-04-28 3:14:24 PM

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ISSUED FOR:

DATE: 28-03-17

COMMENTS: COORDINATED WITH CIVIL DRI

BY: JC

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 3
Block 15
Plan 3184JK

MUNICIPAL ADDRESS: 2 Harmon Place S.W.
Calgary, Alberta

DATE OF SURVEY: September 24th, 2025.



NOTES:

Elevations are shown thus: = 1000.00 metres. (Geodetic)

Elevations are geodetic and derived from ASCM: 165092 ELEV: 1050.463

All dimensions are ground in metres and decimals thereof unless otherwise shown.

All distances on curves are arc distances.

Bearings are grid (3TM, CM114°) and derived from GNSS Observations.

All fences are within 0.2 metres of the property lines unless otherwise shown.

All eaves are measured to fascia unless otherwise shown.

Unless noted otherwise, lines outside of property are not to scale.

LEGEND:

Acc. - Accessory	Calculation points shown thus:
A/C - Air Conditioner	Elevations shown thus:
Bldg - Building	Found Iron Posts shown thus:
BOC - Back of Curb	Fire Hydrants shown thus:
BOW - Back of Walk	Lamp Standards shown thus:
Calc. - Calculated	Manholes shown thus:
Cont. - Cantilever	Power Poles shown thus:
Conc. - Concrete	Street Signs shown thus:
C.S. - Countersunk	Electrical Meter shown thus:
DH - Drill Hole	Gas Meter shown thus:
Enc. - Encroaches	Water Valve shown thus:
ELEV. - Elevation	Property Lines shown thus:
Fd. - Found	Right of Ways shown thus:
I. - Iron Post	Eaves shown thus:
LOG - Lip of Gutter	Fences shown thus:
M.A. - Maintenance Access	Overhead Lines shown thus:
M.F. - Main Floor	Gasline shown thus:
Mk. - Mark	Sanitaryline shown thus:
O.D. - Overland Drainage	Stormline shown thus:
Ret. - Retaining	Waterline shown thus:
R.P. - Roof Peak	
R/W - Right of Way	
W/O - Walkout Basement	
W.W. - Window Well	
Coniferous Tree	
Deciduous Tree	

This plan represents the best information at the time of survey.
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.
All Underground installations should be located by the respective authorities prior to construction.
CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

Tree Schedule

Tree	Type	Ø	Spread	Height
1	Bush	---	1.50	1.50
2	Bush	---	1.50	1.50
3	Deciduous	0.20	2.00	4.00
4	Deciduous	0.20	4.00	6.00
5	Bush	---	1.50	2.00
6	Deciduous	0.10	2.00	3.00
7	Bush	---	2.00	2.00
8	Bush	---	1.50	1.50
9	Deciduous	0.35	5.00	6.00
10	Deciduous	0.20	4.00	5.00
11	Coniferous	0.30	3.50	5.00
12	Deciduous	0.20	3.00	5.00

CLIENT & PROJECT

CLIENT: XXXX

PROJECT: Proposed Single Dwelling

ADDRESS: 2 HARMON PLACE S.W. CALGARY, AB T2V 2Z9
Lot 3, Block 15, Plan 3184JK
H-GO zoning

JOB NO.: 24-25

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BLOCK PLAN A0.2

ISSUED FOR DEVELOPMENT PERMIT
2 HARMON PLACE S.W.
CALGARY, AB
Lot 3,Block 15, Plan 3184JK
LAND USE CLASS: H-GO
(ONE BUILDING, 6 UNTES, 6 SECONDARY SUITES)

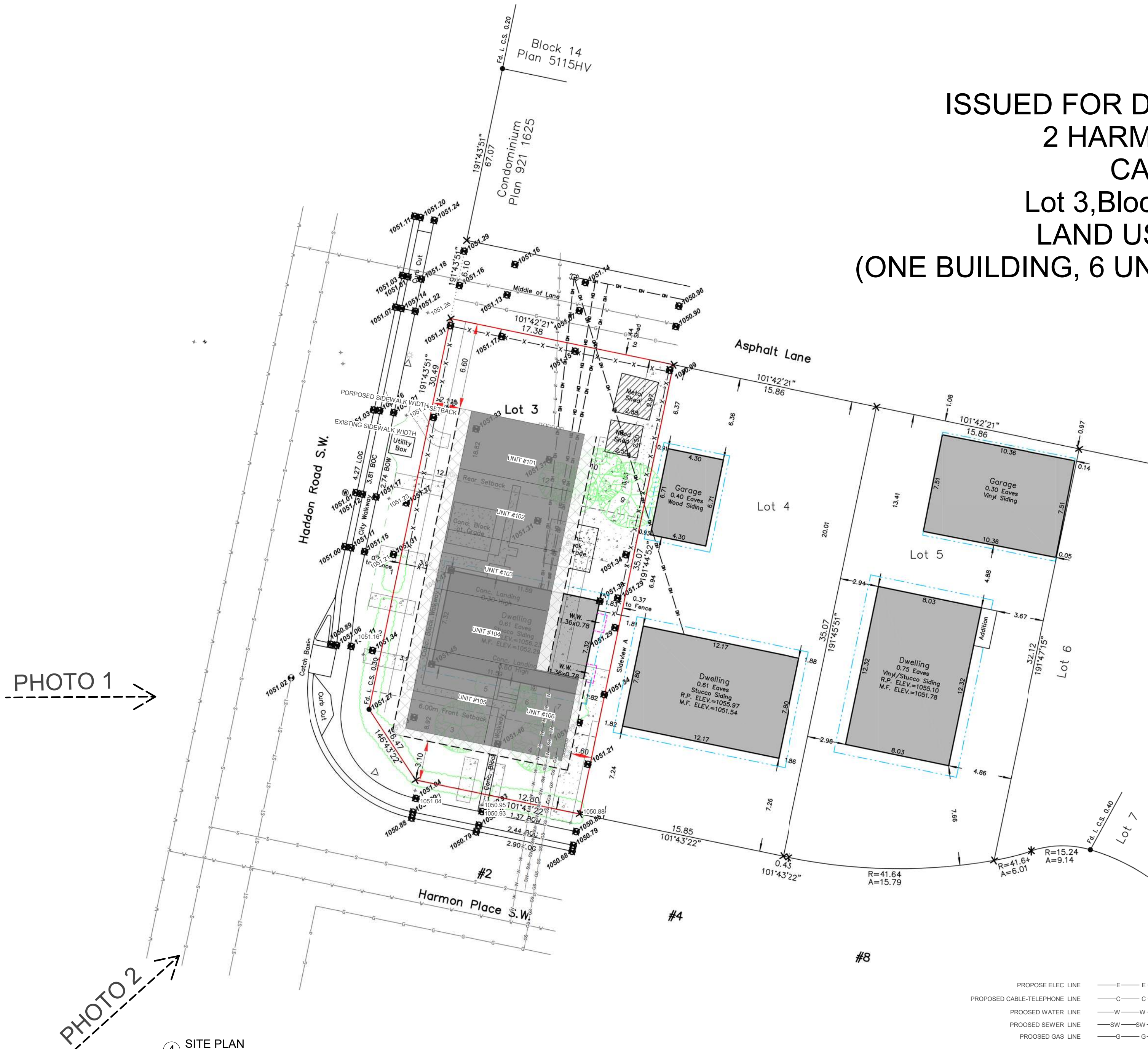


PHOTO 1

PHOTO 2

4 SITE PLAN
1:200

PROPOSED ELEC. LINE — E — E
PROPOSED CABLE-TELEPHONE LINE — C — C
PROPOSED WATER LINE — W — W
PROPOSED SEWER LINE — SW — SW
PROPOSED GAS LINE — G — G

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PHOTO 1 EXISTING



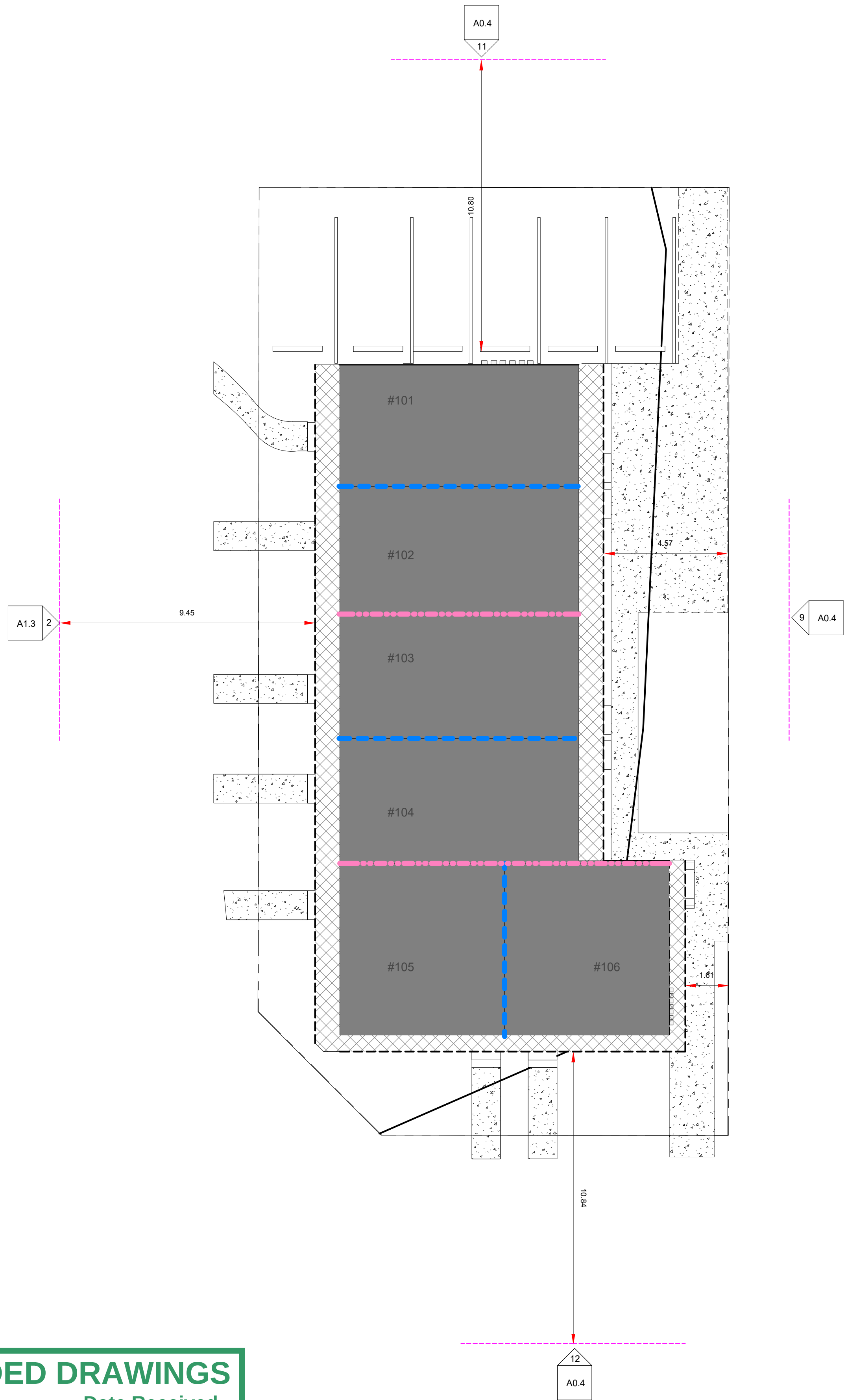
PHOTO 1 PROPOSED



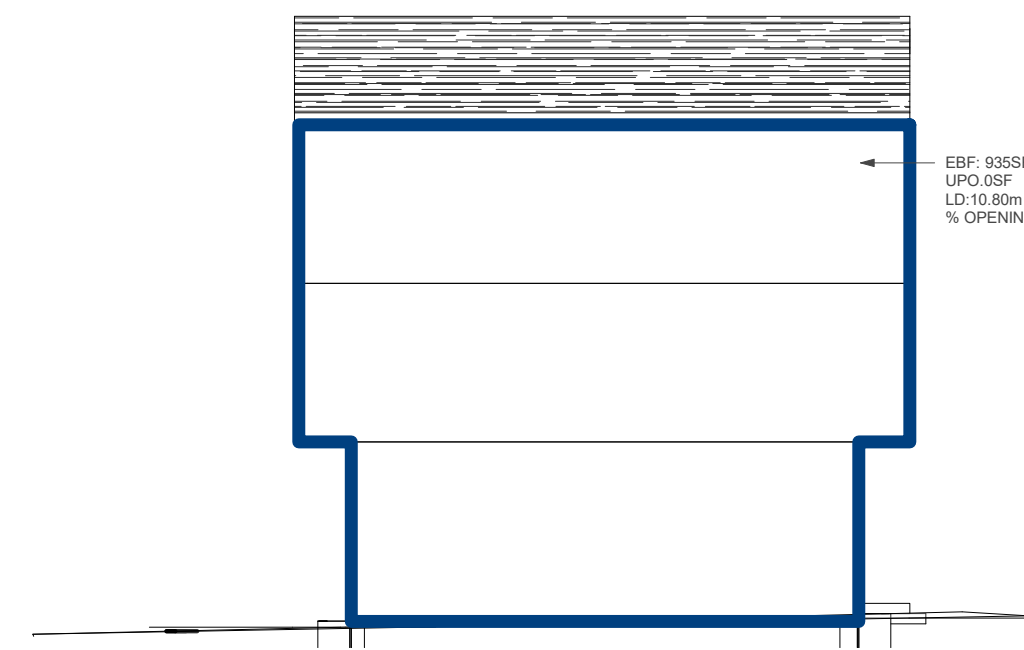
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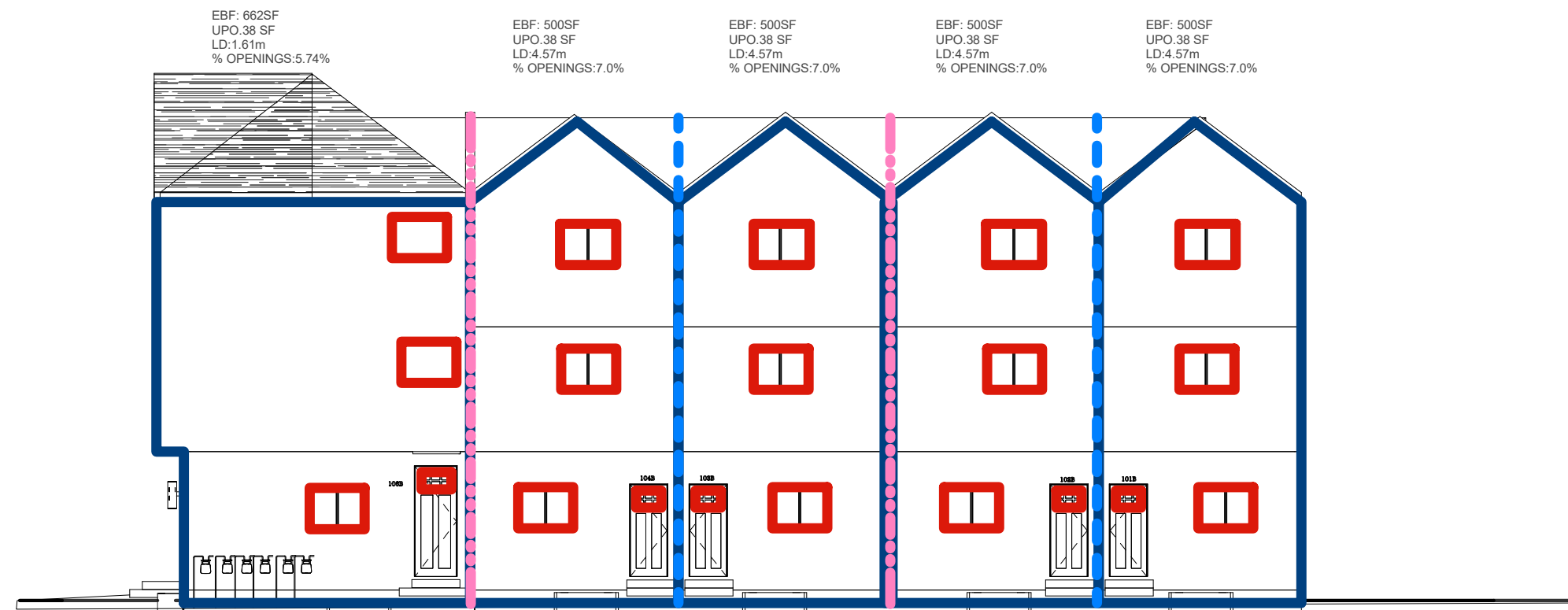
PHOTO 2 PROPOSED



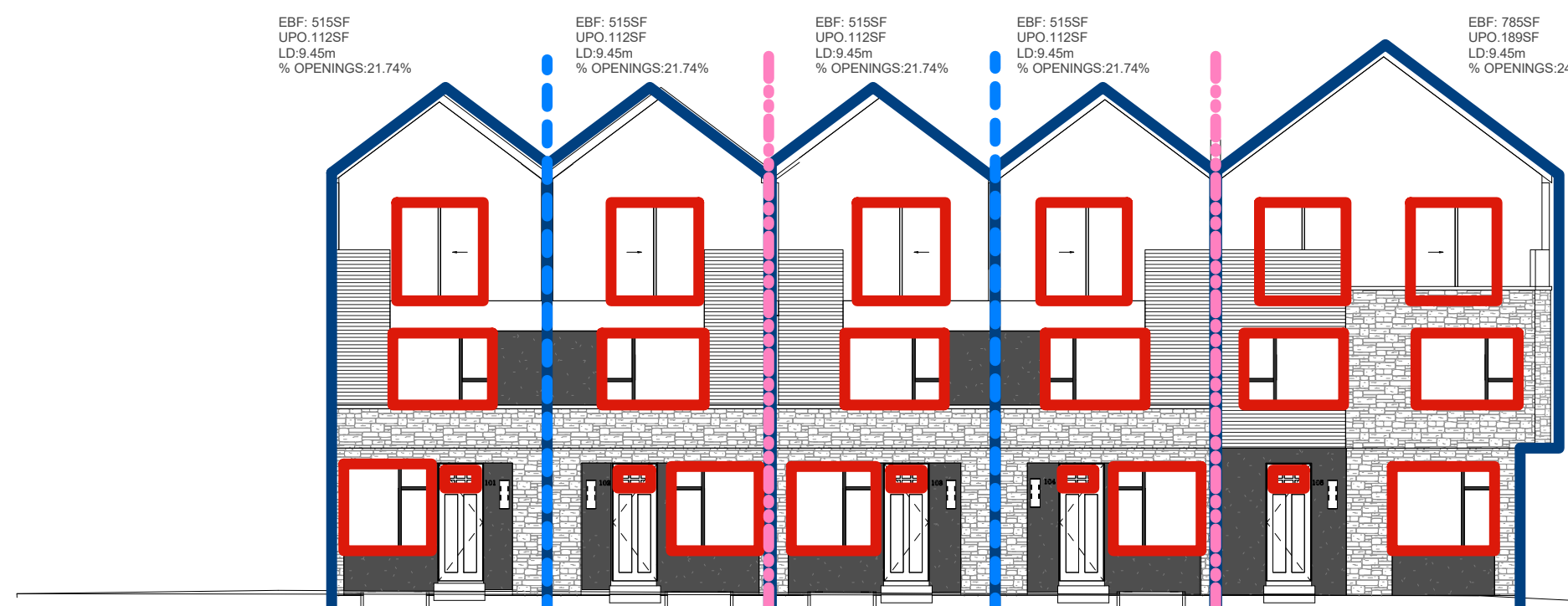
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11 North Elevation B CODE
1" = 10'-0"



9 East Elevation CODE
1" = 10'-0"



10 West Elevation CODE
1" = 10'-0"



12 South Elevation A CODE
1" = 10'-0"

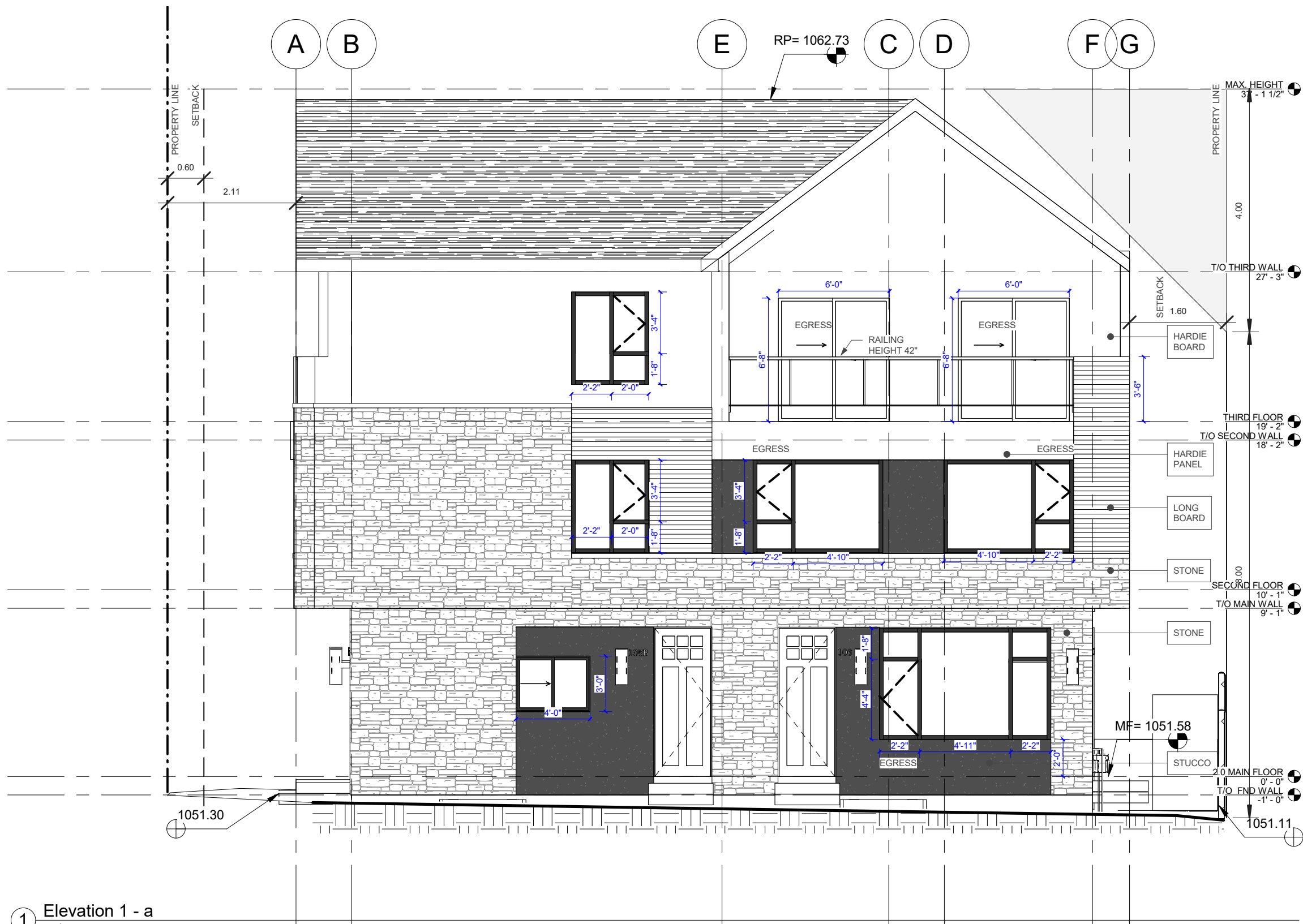
CODE LEGEND	
	SMOKE SEPARATION
	45 MIN FIRE SEPARATION
	1 HOUR FIRE SEPARATION
	2.0 HOUR FIRE SEPARATION
	EXPOSING BUILDING FACE
	UNPROTECTED OPENINGS
	45 MIN FRR FOR EXPOSING BUILDING FACE
	1HR FRR FOR EXPOSING BUILDING FACE
	SPRINKLER PROTECTION

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CLIENT & PROJECT		
CLIENT:		
PROJECT:	Proposed Splex Dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z9 Lot 3, Block 15, Plan 3156JK H-GO zoning	
JOB NO.:	24-25	
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26-03-17	COORDINATED WITH CIVIL DRI	JC
CODE PLAN-UPO		A0.4



EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS	
ROOF	ASPHALT - Black
WALL	STUCCO #1 - DARK GRAY
FASCIA	STUCCO #2 - NA
SOFFIT	ALUMINUM - Black #7
RAILING	ALUMINUM - Black
STONE	BLACKGLASS
WINDOWS	LIGHT GRAY
TRIM	BLACK
LONG BOARD	NA
HARDIE BOARD	CEDAR COLOR
HARDIE PANEL	WHITE (P)
PAVING	NATURAL

② Elevation 4 - a
3/16" = 1'-0"



① Elevation 1 - a
3/16" = 1'-0"

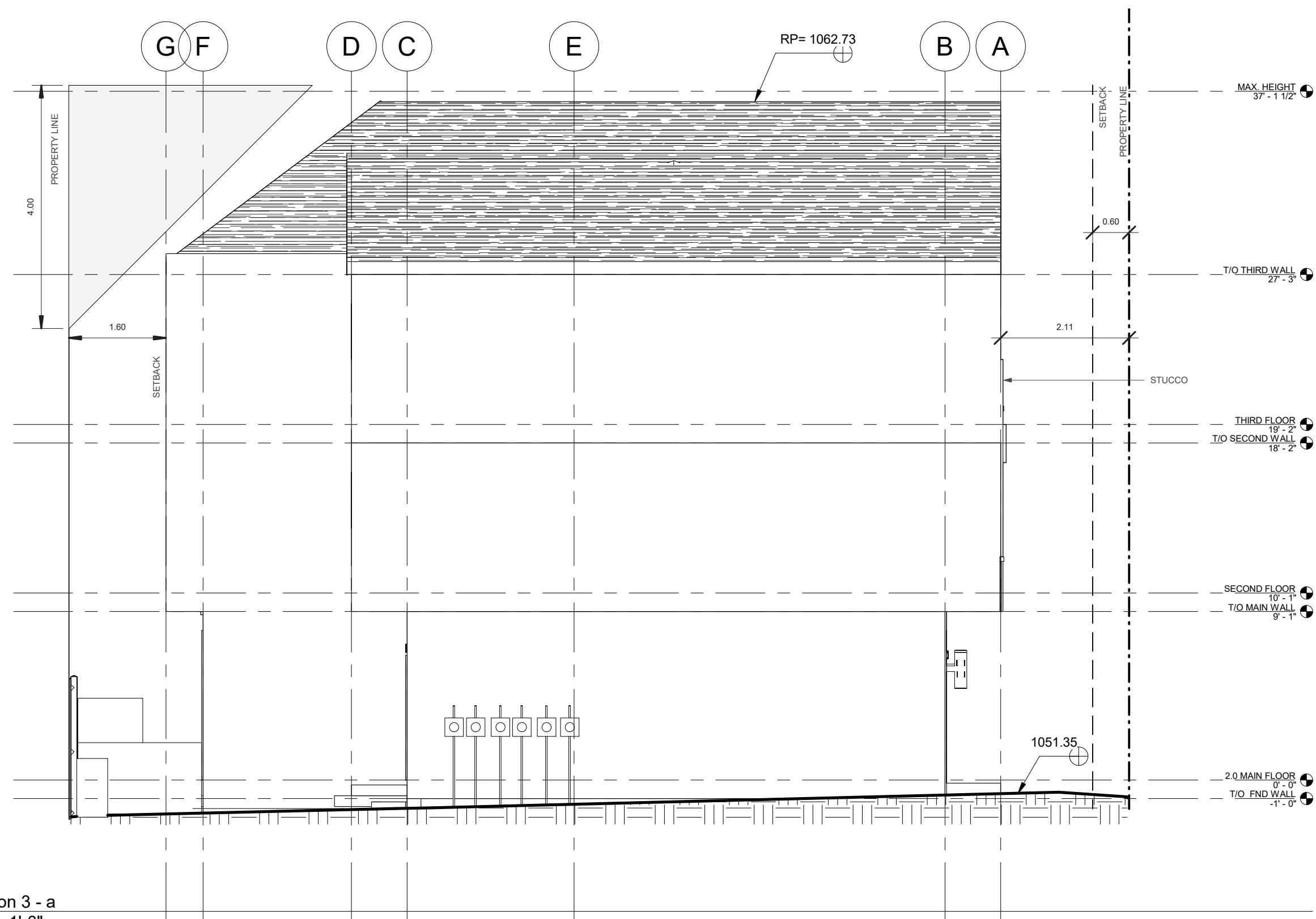
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CLIENT & PROJECT		
CLIENT:	XXX	
PROJECT:	Proposed Duplex Dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2Y 2Z9 Lot 3, Block 15, Plan 3152JK H-00 zoning	
JOB NO.:	24-25	
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ELEVATION 1		
A1.3		



② Elevation 2 - a
3/16" = 1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS	
ROOF	ASPHALT - Black
WALL	STUCCO # 1 - DARK GRAY
	STUCCO # 2 - NA
	STUCCO # 3 - NA
FASCIA	ALUMINUM - Black 3"
SOFFIT	ALUMINUM - Black
RAILINGS	BLACK GLASS
STONE	LIGHT GRAY
WINDOWS	BLACK
TRIM/BATT	NA
LONG BOARD	CEDAR COLOR
HARDIE BOARD	WHITE (F)
HARDIE PANEL	WHITE
PAVING	NATURAL



① Elevation 3 - a
3/16" = 1'-0"

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CLIENT & PROJECT		
CLIENT:	XXXX	
PROJECT:	Proposed Splexer Dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z8 Lot 3, Block 15, Plan 2156JK H-GO zoning	
JOB NO.:	24-25	
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ELEVATION 2		A1.4

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