

PROPOSED H-GO DWELLINGS

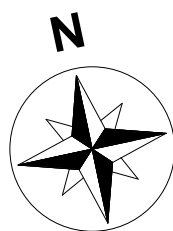
2 HARMON PLACE S.W.
CALGARY, AB
Lot 3,Block 15, Plan 3184JK
LAND USE CLASS: H-GO
(ONE BUILDING, 6 UNITS, 6 SECONDARY SUITES)

AMENDED DRAWINGS

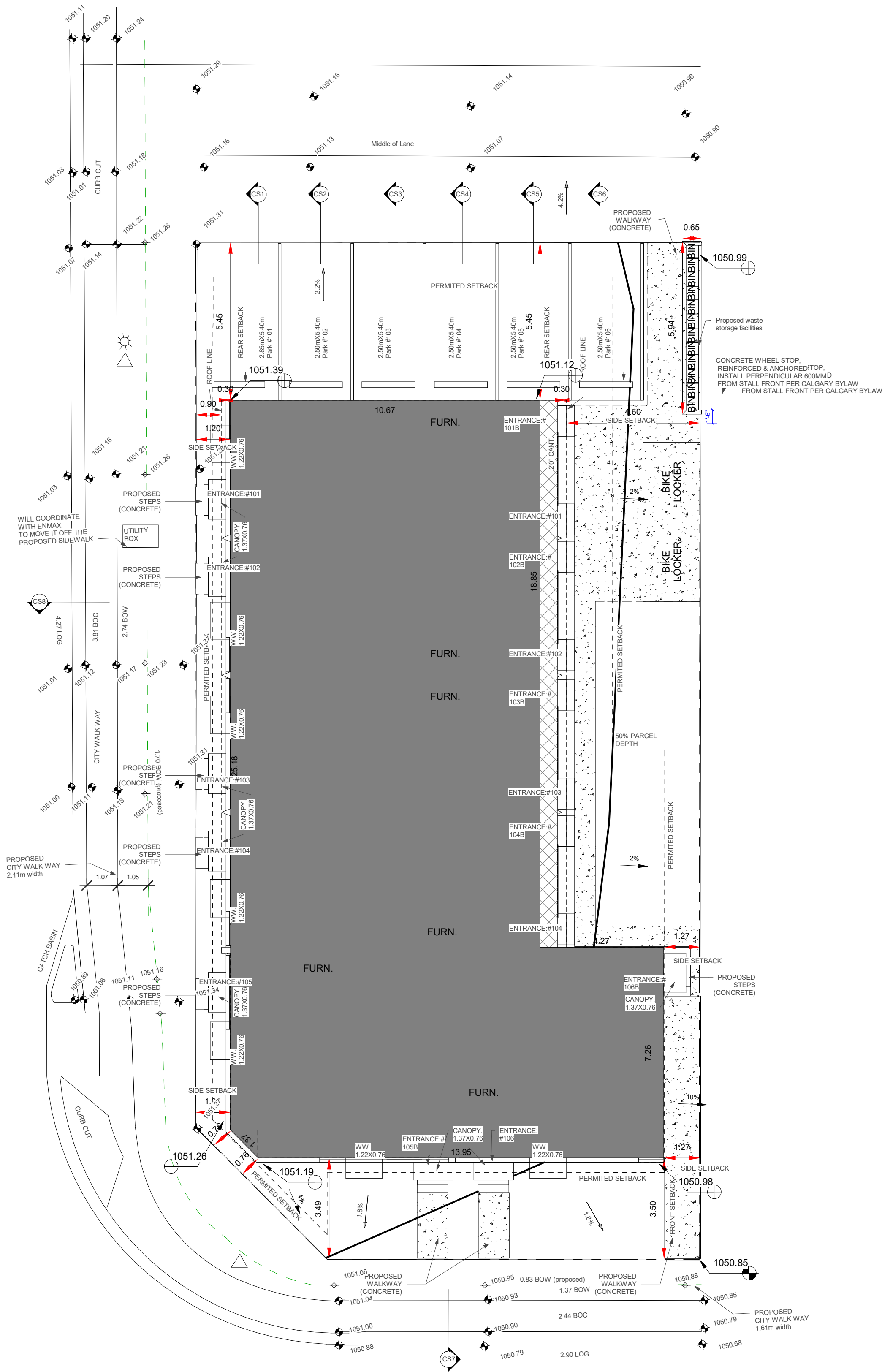
DP No Date Received
DP2025-05565 OCT 08 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



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CLIENT & PROJECT		
CLIENT:	XXX	
PROJECT:	Proposed Single Dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z8 Lot 3, Block 15, Plan 3184JK H-GO zoning	
JOB NO.:	24-25	
DRAWING		
STAGE:	DP	
PUBLISHED:	2025-10-08 2:24:07 PM	
DESIGNED/CHECKED BY:	Approver	
DRAWN BY:	Author	
SCALE:		
PAGE SIZE	ARCH D / 36" x 24"	
ISSUED FOR		
DATE	COMMENTS:	BY:
COVER SHEET		A0.0



4 PROPOSED SITE PLAN
1 : 100



LOT INFORMATION

LEGAL ADDRESS:
Lot 3, Block 15, Plan 3184JK
MUNICIPAL ADDRESS:
2 HARMON PLACE S.W.
CALGARY, ALBERTA
(THIS LOT IS NOT IN FLOOD FRINGE
ACCORDING TO CITY MAP.)

LAND USE: H-GO

PROPOSED USE:
SEMI-DETACHED DWELLINGS: 6
BASEMENT SUITES: 6

SITE INFORMATION

SITE AREA: 6446.40 SF (598.89sq.m
or 0.059ha)
LAND USE: H-GO
MAX BUILDING HEIGHT: 12.00m
FRONT YARD SETBACK: 3.00m
SIDE YARD SETBACK: 1.20m
REAR YARD SETBACK: 1.20m
STREET SIDE SETBACK: 0.60m
DENSITY: 100UPH
MAX SITE COVERAGE: 60%
MAX FAR: 1.50

SITE COVERAGE

BUILDING : 3327SF (309m²)
COVERAGE RATE: 51.59%

SQUARE FOOTAGE

UNIT 1 TO 6
MAIN FLOOR: 3326.98 SF
UP FLOOR: 3451.01 SF
3RD FLOOR: 2872.12 SF

TOTAL GFA:
9650.11SF(PERMITTED 9669.6SF)
FAR=1.49

LEGEND

PROPERTY LINES: ---
ROOF OVERHANG: ---
CANTILEVERS: ---
RETAINING WALL: ---
EXISTING ELEVATION: ---
PROPOSED ELEVATION: ---
MANHOLE (SSSP): ---
WINDOW WELL: ---
MAIN FLOOR CANTILEVER: ---
UP FLOOR CANTILEVER: ---

PARKING

PROVIDED PARKING: 6 STALLS (ON GROUND)

MOBILITY LOCKER

PROVIDED : 0 STALLS

BIKE PACK

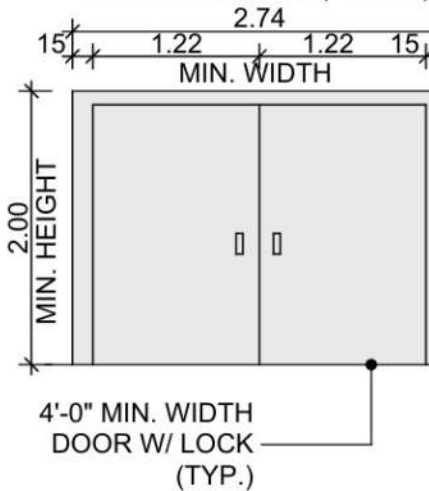
PROVIDED : 8 STALLS (CLASS 1)
PROVIDE TWO INVERTED U-SHAPED BIKE RACK
(CLASS 1) TO ACCOMMODATE BICYCLE
PARKING STALLS. BOLT INTO CONCRETE C/W
BASEPLATE AND PARALLEL TO LINE OF CITY
SIDEWALK.

GARBAGE/RECYCLING

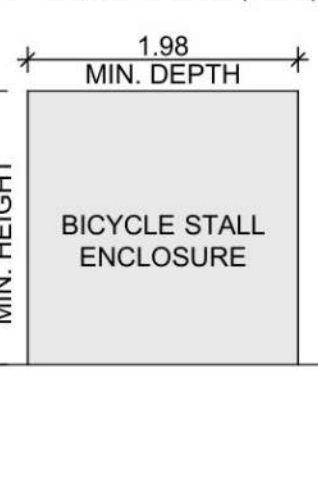
REQUIRED: (6 UNITS + 6 SUITES) X (0.3 yd³/WEEK)
/ UNIT X (0.785 m³/yd³/CART CAPACITY 0.246 m³
=11.19CARTS
PROVIDED: 12 CARTS

1 Site Information
1 : 48

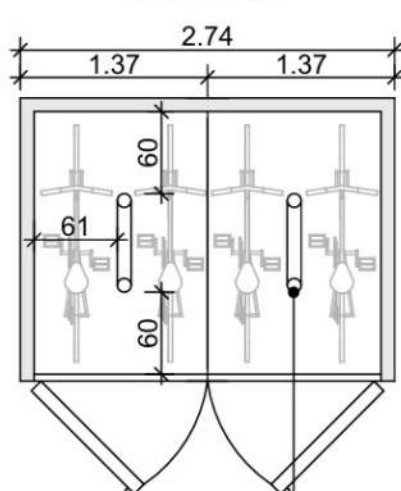
ELEVATION VIEW (FRONT)



ELEVATION VIEW (SIDE)

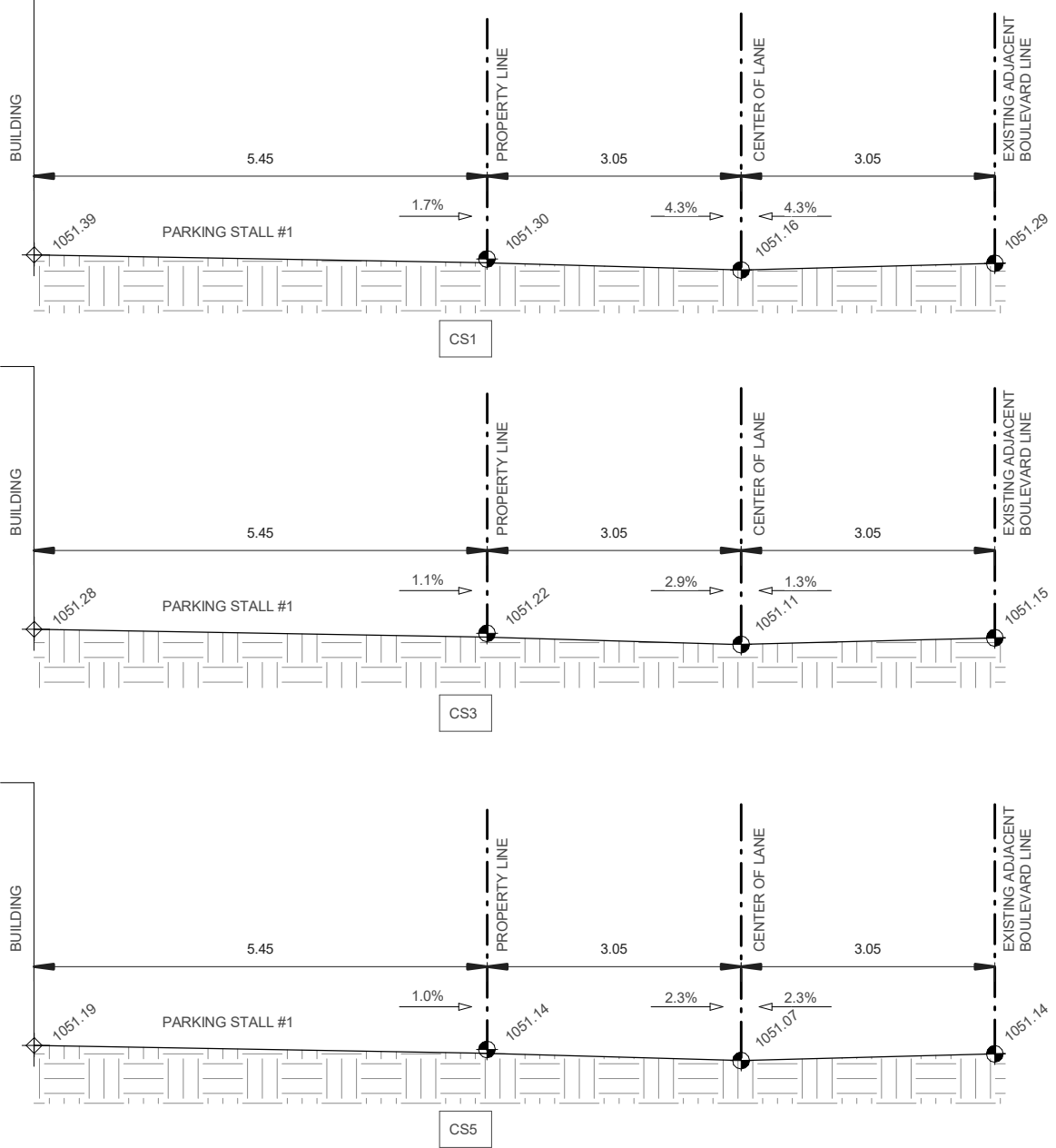


PLAN VIEW

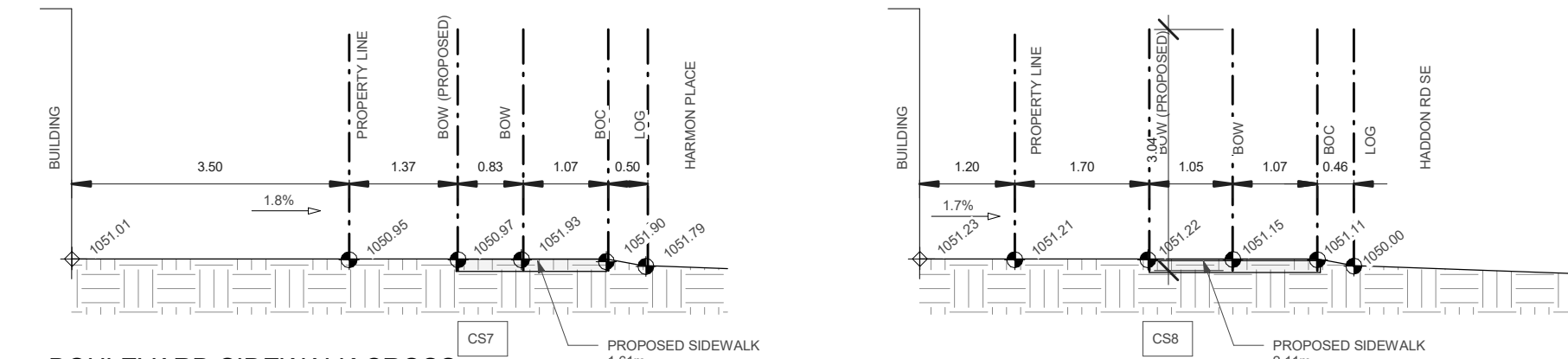


STEEL PIPE FRAME ANCHORED
INTO CONCRETE PAD WITH
BOLTS TO LOCK BIKE TO (TYP.)

5 Class 1 bicycle parking stall (Horizontal)
1 : 64



3 BACKLANE CROSS SECTIONS
1 : 75



6 BOULEVARD SIDEWALK CROSS
SECTIONS
1 : 75

AMENDED DRAWINGS

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CLIENT & PROJECT

CLIENT: XXX
PROJECT: Proposed Duplex Dwelling
ADDRESS: 2 HARMON PLACE S.W. CALGARY, AB T2V 2Z8
Lot 3, Block 15, Plan 3184JK
H-GO zoning

JOB NO.: 24-25

DRAWING

STAGE: DP
PUBLISHED: 2025-10-08 2:34:08 PM
DESIGNED/CHECKED BY: Approver
DRAWN BY: Author
SCALE: As Indicated
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DATE: _____ COMMENTS: _____ BY: _____

SITEPLAN A0.1

ISSUED FOR DEVELOPMENT PERMIT
2 HARMON PLACE S.W.
CALGARY, AB
Lot 3, Block 15, Plan 3184JK
LAND USE CLASS: H-GO
(ONE BUILDING, 6 UNITS, 6 SECONDARY SUITES)

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 3
Block 15
Plan 3184JK

MUNICIPAL ADDRESS: 2 Harmon Place S.W.
Calgary, Alberta

DATE OF SURVEY: September 24th, 2025.

SCALE: 1:200 0 5 10 15 20 METRES

NOTES:
Elevations are shown thus: ELEV = 1000.00 metres. (Geodetic)
Elevations are geodetic and derived from ASCM: 165092 ELEV: 1050.463
All dimensions are ground in metres and decimals thereof unless otherwise shown.
All distances on curves are arc distances.
Bearings are grid (3TM, CM114) and derived from GNSS Observations.
All fences are within 0.2 metres of the property lines unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise, lines outside of property are not to scale.

LEGEND:
Acc. - Accessory
A/C - Air Conditioner
Bldg - Building
BOC - Back of Curb
BOW - Back of Walk
Calc. - Calculated
Cont. - Contingent
Conc. - Concrete
C.S. - Countersunk
DH - Drill Hole
Enc. - Encroaches
ELEV - Elevation
Fd. - Found
I. - Iron Post
LOG - Lip of Gutter
M.A. - Maintenance Access
M.F. - Main Floor
Mk. - Mark
O.D. - Overland Drainage
Ret. - Retaining
R.P. - Roof Peak
R/W - Right of Way
W/O - Walkout Basement
W.W. - Window Well
Calculation points shown thus: $\times$
Elevations shown thus: ELEV
Found Iron Posts shown thus: $\bullet$
Fire Hydrants shown thus: $\odot$
Lamp Standards shown thus: $\odot$
Manholes shown thus: $\odot$
Power Poles shown thus: $\odot$
Street Signs shown thus: $\odot$
Electrical Meter shown thus: $\odot$
Gas Meter shown thus: $\odot$
Water Valve shown thus: $\odot$
Property Lines shown thus: ---
Right of Ways shown thus: ---
Eaves shown thus: ---
Fences shown thus: ---
Overhead Lines shown thus: ---
Gasline shown thus: ---
Sanitaryline shown thus: ---
Stormline shown thus: ---
Waterline shown thus: ---
Coniferous Tree ---
Deciduous Tree ---

This plan represents the best information at the time of survey.
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.
All Underground Installations should be located by the respective authorities prior to construction.
CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

Tree Schedule				
Tree	Type	ϕ	Spread	Height
1	Bush	---	1.50	1.50
2	Bush	---	1.50	1.50
3	Deciduous	0.20	2.00	4.00
4	Deciduous	0.20	4.00	6.00
5	Bush	---	1.50	2.00
6	Deciduous	0.10	2.00	3.00
7	Bush	---	2.00	2.00
8	Bush	---	1.50	1.50
9	Deciduous	0.35	5.00	6.00
10	Deciduous	0.20	4.00	5.00
11	Coniferous	0.30	3.50	5.00
12	Deciduous	0.20	3.00	5.00

CLIENT & PROJECT

CLIENT: XXXX
PROJECT: Proposed Single Dwelling
ADDRESS: 2 HARMON PLACE S.W. CALGARY, AB T2E 2V7
Lot 3, Block 15, Plan 3184JK
H-GO zoning

JOB NO.: 24-25

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STAGE: DP
PUBLISHED: 2025-10-08 2:04:11 PM
DESIGNED/CHECKED BY: Approver
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SCALE: As Indicated
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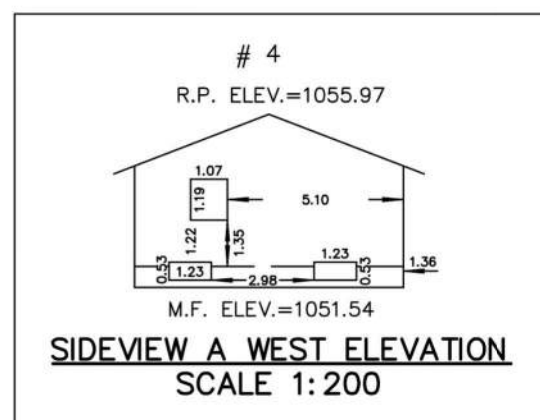
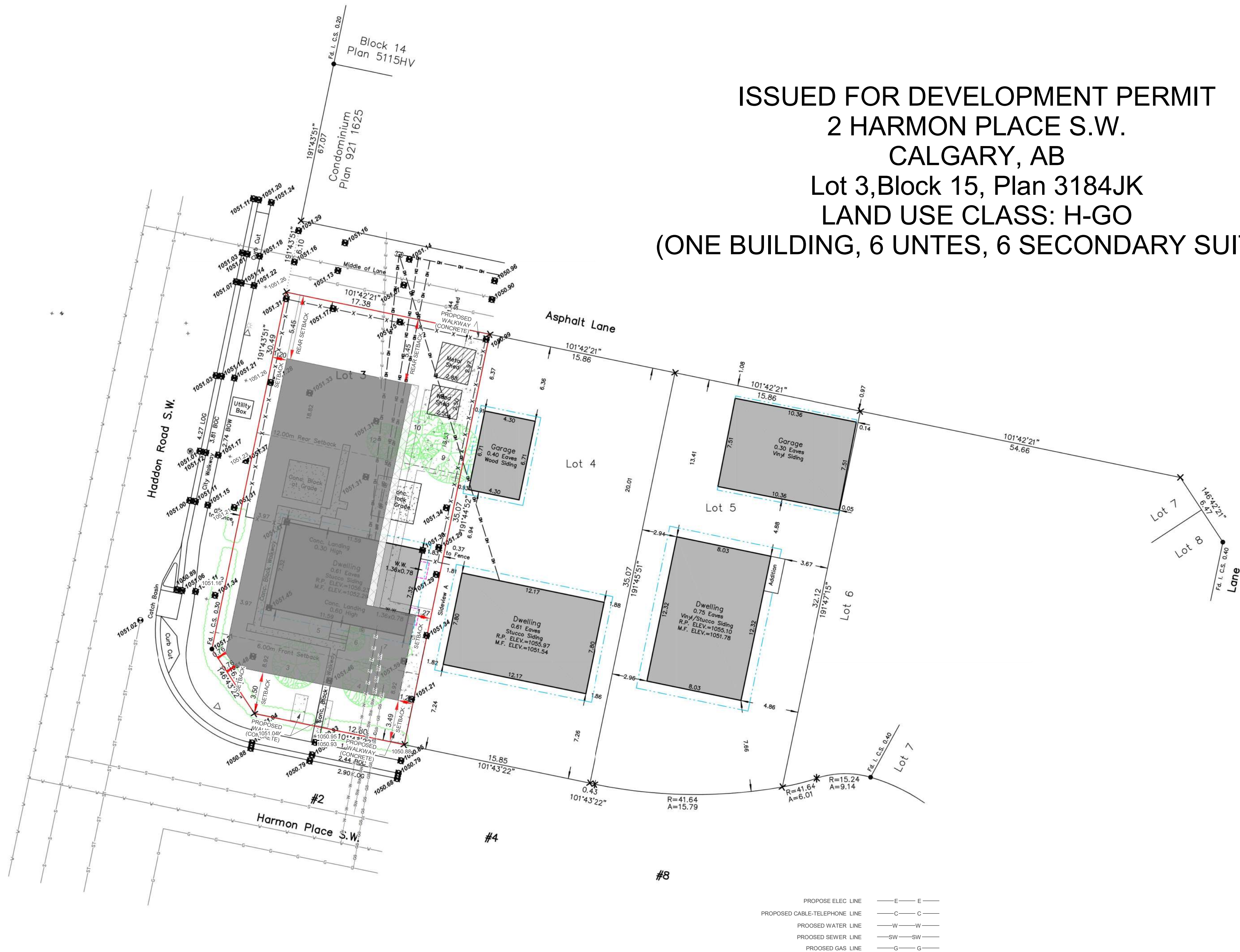
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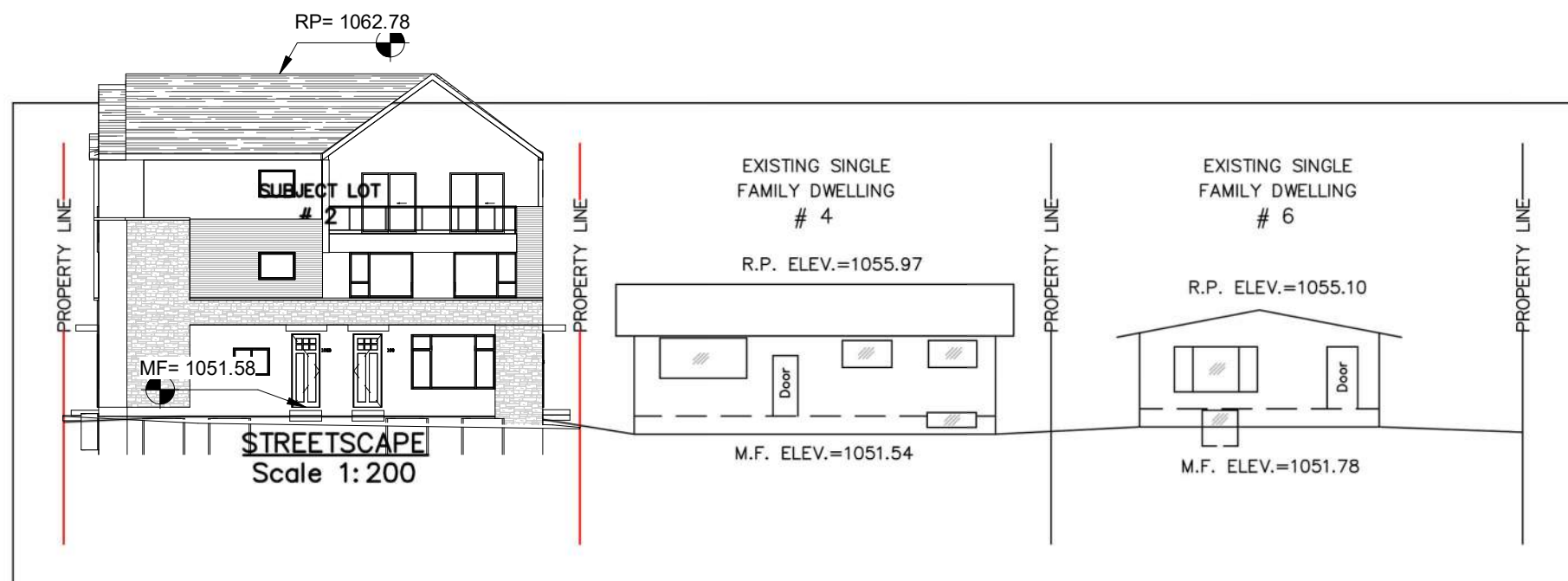


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Website: www.zoomsurveys.ca
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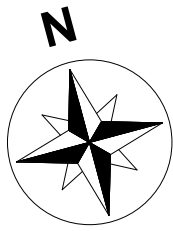
A0.2



4 SITE PLAN
1:200

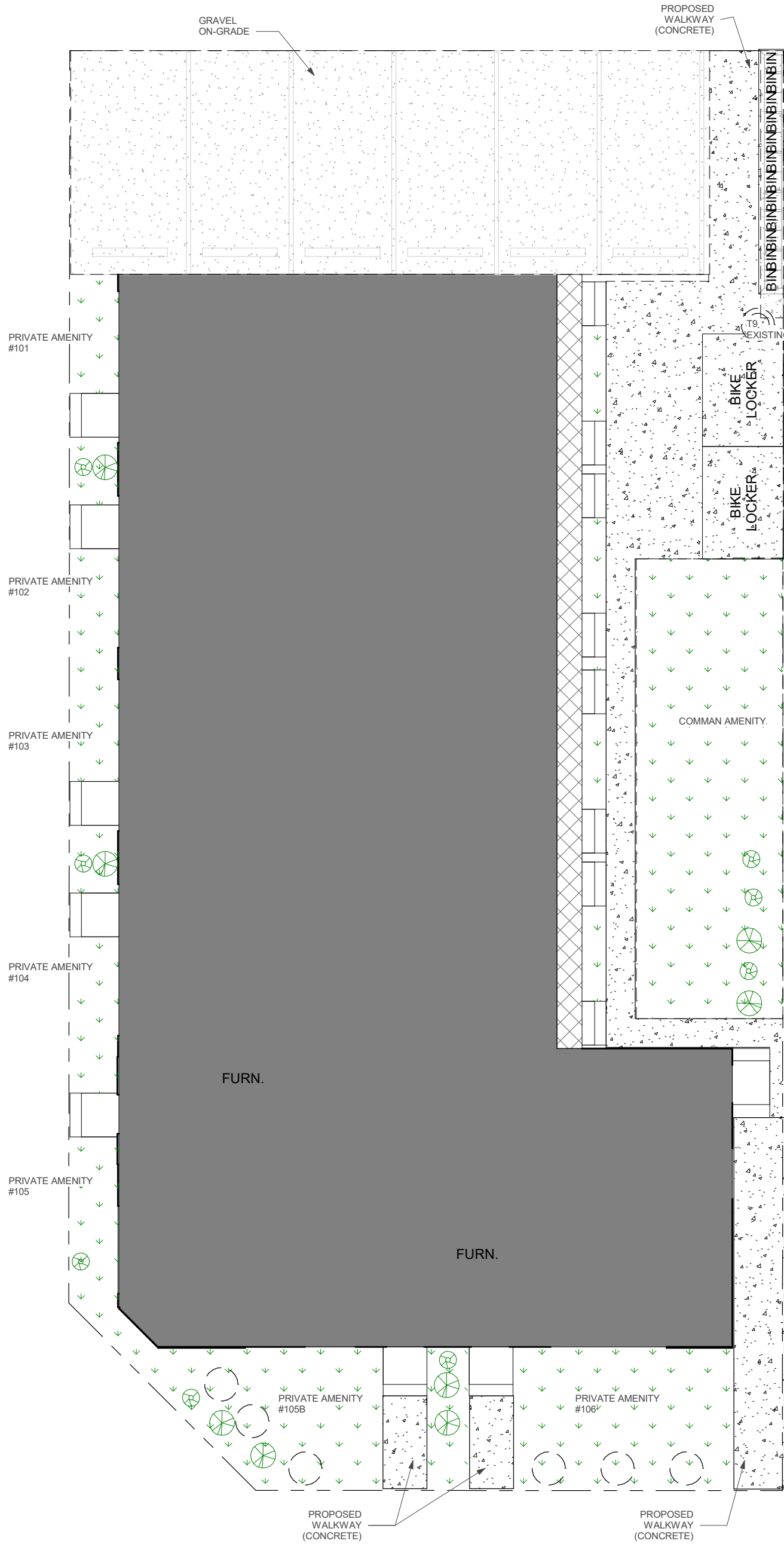


AMENDED DRAWINGS
DP No DP2025-05565 Date Received OCT 08 2025
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LANDSCAPING	LEGEND	PROPOSED TREE LEGEND
BUILDING : 3327SF PARKING : 9375F WASTE AND RECYCLES: 42SF GARAGE APRON: 0 LANDSCAPING AREA PROVIDED: 2140SF SOFT LANDSCAPING REQUIRED: 30% OF LANDSCAPE (643SF) PROVIDED: 54.90% (1175SF)	PROPERTY LINES: SETBACKS: FENCE: EXISTING BUILDINGS: CANTILEVERS: CONCRETE PATH : 10MM LIMESTONE (GROUND COVER): LAWN: MULCH NOTE: ALL SOFT LANDSCAPED AREAS ARE IRRIGATED BY UNDERGROUND IRRIGATION SYSTEM MINIMUM OF 300MM TOPSOIL IS PROPOSED TO BE USED FOR ALL ABSORBENT LANDSCAPING AREAS.	<u>NEW TREES CECIDUOUS</u> PARCEL AREA/110SQ.M=5.16 (6) TRESS REQUIRED: 6 (PROVIDED :6) SHRUBS REQUIRED: 18 (PROVIDED:18) <u>NEW T1</u> UPRIGHT COLORADO SPRUCE PICEA, PUNGEUS "FASTIGIATA" -11 PROVIDED 1 @ Min. Height 2.0m MATURE H. 23' MATURE S. 5' <u>NEW T2</u> - COLUMNAR, SWEDISH ASPEN POPULUS, TREMULA "ERECTA" - 5 PROVIDED 5 @ Min 60mm Calliper <u>NEW SHRUBS 1</u> - MUGO PINE PINUS MUGO Min. Height or Spread of 0.60m at time of planting <u>NEW SHRUBS 2</u> - ALPINE CURRRANT RUBES ALPINUM Min. Height or Spread of 0.60m at time of planting <u>EXISTING TREE</u> T9 AS PER THE SURVEY PLAN

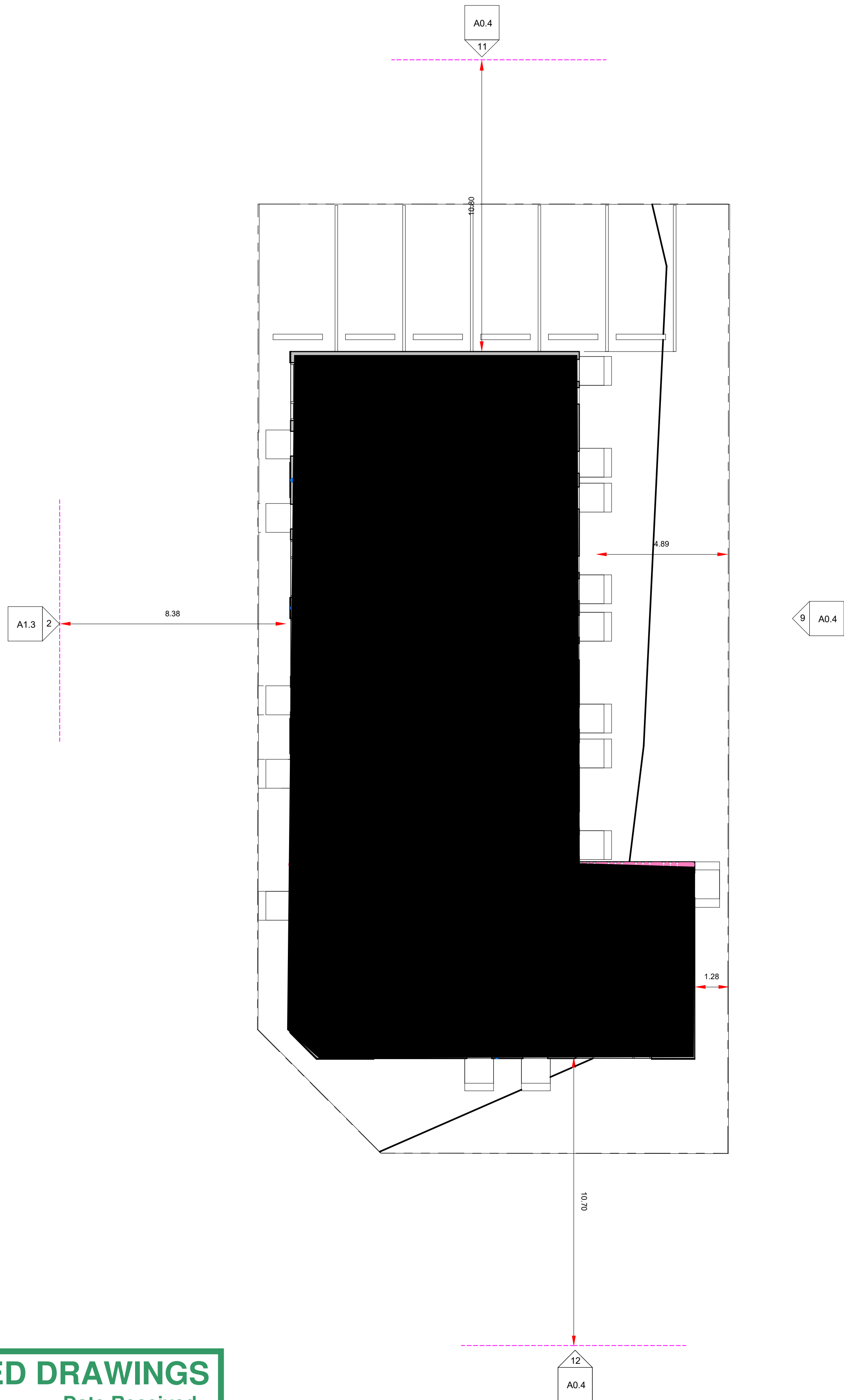
○ landscaping info
1 : 48



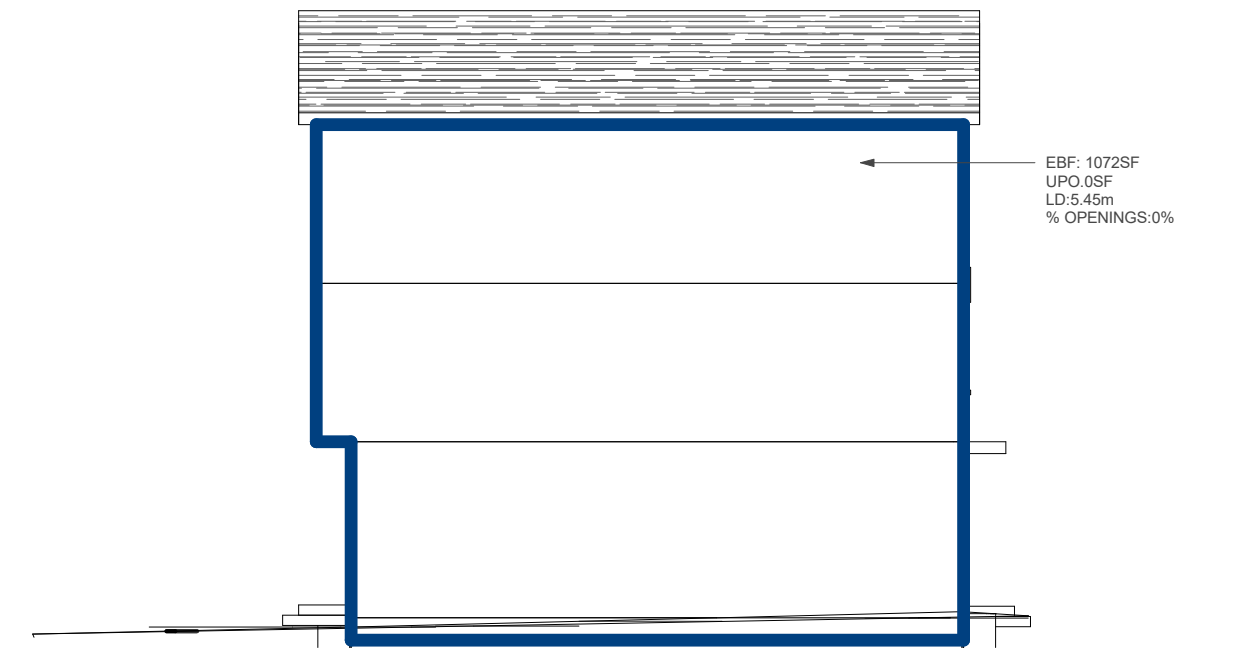
① LANDSCAPING PLAN
1 : 100

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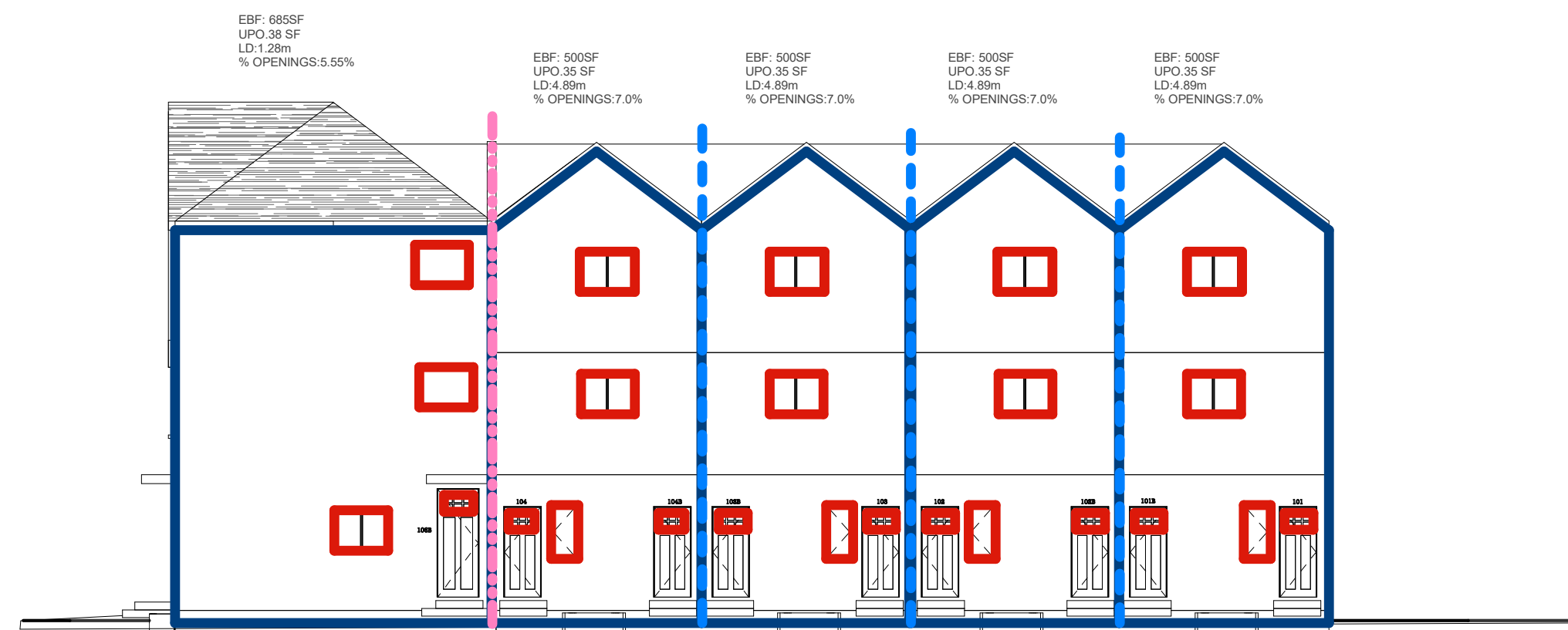
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CLIENT & PROJECT		
CLIENT:	XXX	
PROJECT:	Proposed Splex Dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z8 Lot 3, Block 15, Plan 3156JK H-50 zoning	
JOB NO.:	24-25	
DRAWING		
STAGE:	DP	
PUBLISHED:	2025-10-08 2:24:12 PM	
DESIGNED/CHECKED BY:	Approver	
DRAWN BY:	Author	
SCALE:	As Indicated	
PAGE SIZE:	ARCH D / 30" x 24"	
ISSUED FOR		
DATE	COMMENTS	BY:
LANDSCAPE		A0.3



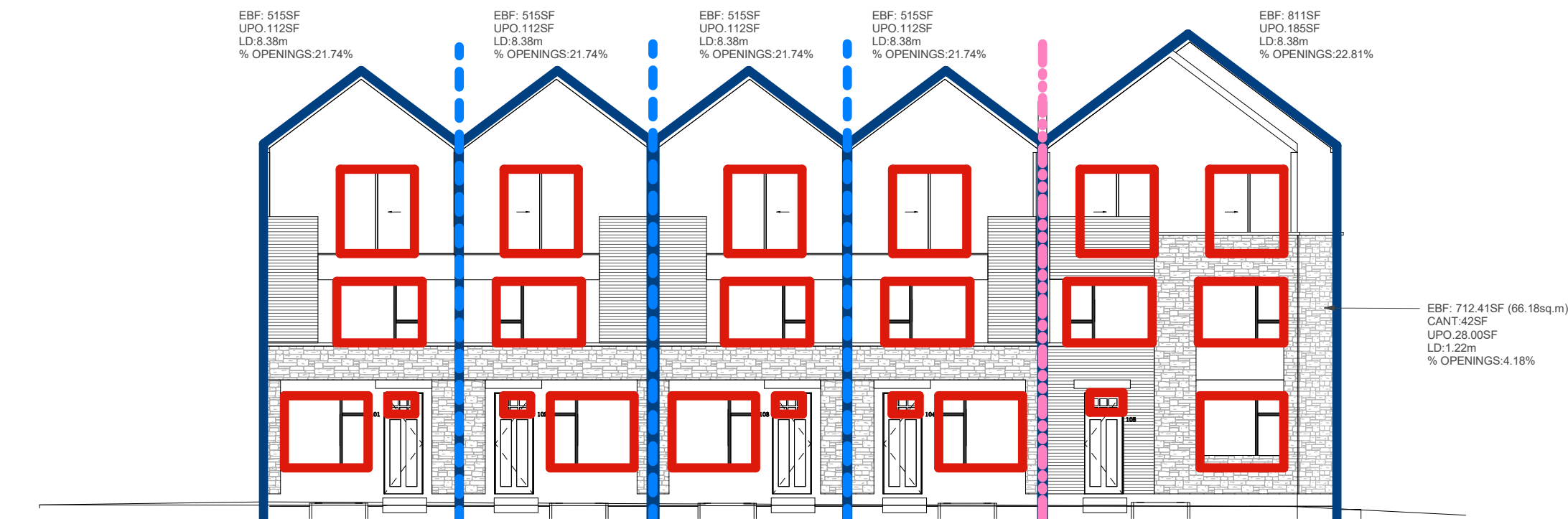
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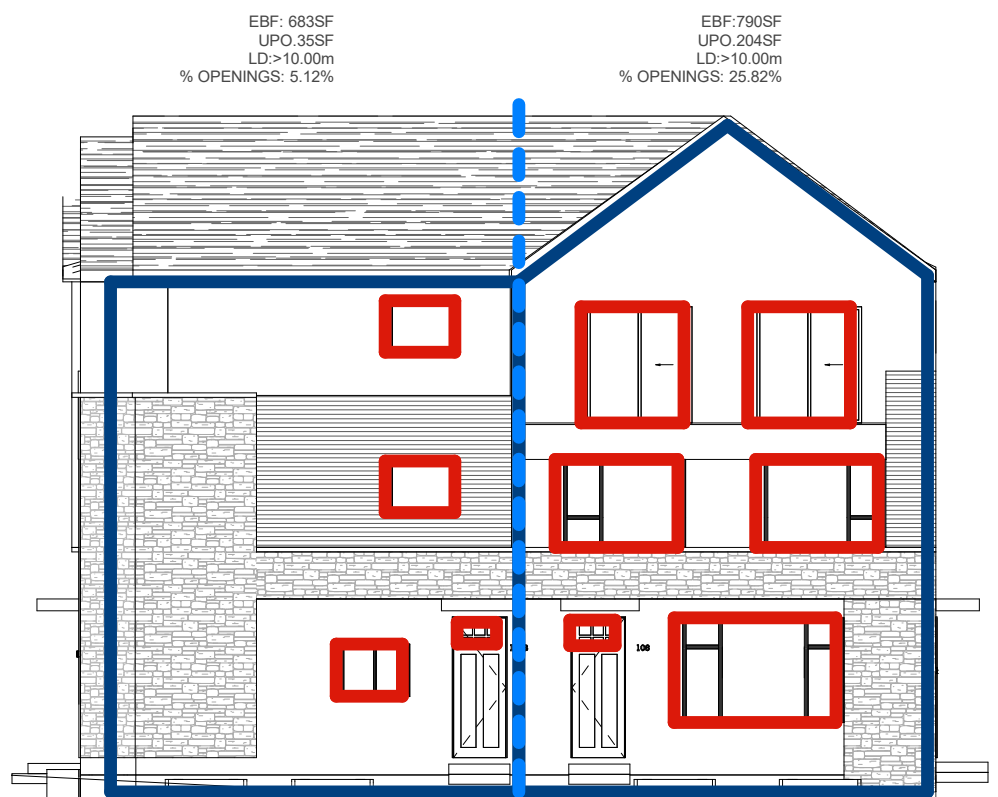
11 North Elevation B CODE
1 : 120



9 East Elevation CODE
1 : 120



10 West Elevation CODE
1 : 120



12 South Elevation A CODE
1 : 120

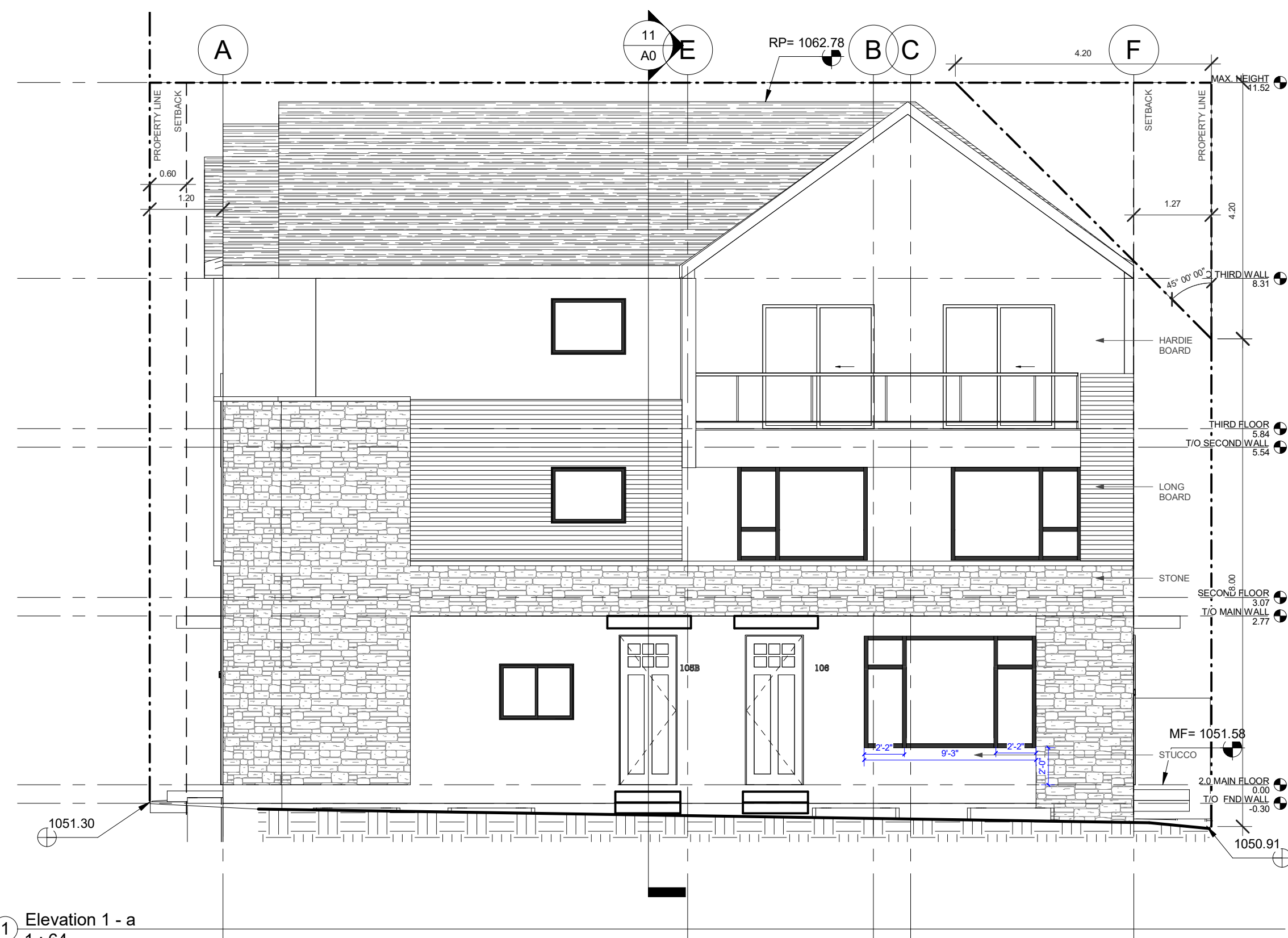
CODE LEGEND	
	SMOKE SEPARATION
	45 MIN FIRE SEPARATION
	1 HOUR FIRE SEPARATION
	2.0 HOUR FIRE SEPARATION
	EXPOSING BUILDING FACE
	UNPROTECTED OPENINGS
	45 MIN. FRR FOR EXPOSING BUILDING FACE
	1HR FRR FOR EXPOSING BUILDING FACE
	SPRINKLER PROTECTION

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CLIENT & PROJECT		
CLIENT:	XXX	
PROJECT:	Proposed Splexer Dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z8 Lot 3, Block 15, Plan 3156JK H-QO zoning	
JOB NO.:	24-25	
DRAWING		
STAGE:	DP	
PUBLISHED:	2025-10-08 2:24:14 PM	
DESIGNED/CHECKED BY:	Approver	
DRAWN BY:	Author	
SCALE:	As Indicated	
PAGE SIZE:	ARCH D 1 30" x 24"	
ISSUED FOR		
DATE	COMMENTS	BY:
CODE PLAN-UPO		A0.4



EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS	
ROOF	ASPHALT - Black
WALL	STUCCO # 1 - DARK GRAY
	STUCCO # 2 - N/A
	STUCCO # 3 - N/A
FASCIA	ALUMINUM - Black 8"
SOFFIT	ALUMINUM - Black
RAILINGS	BLACKGLASS
STONE	LIGHT GRAY
WINDOWS	WHITE
TRANSOM	N/A
LONG BOARD	CEDAR COLOR
HARDIE BOARD	WHITE (P)
PAVING	NATURAL

② Elevation 4 - a
1:64



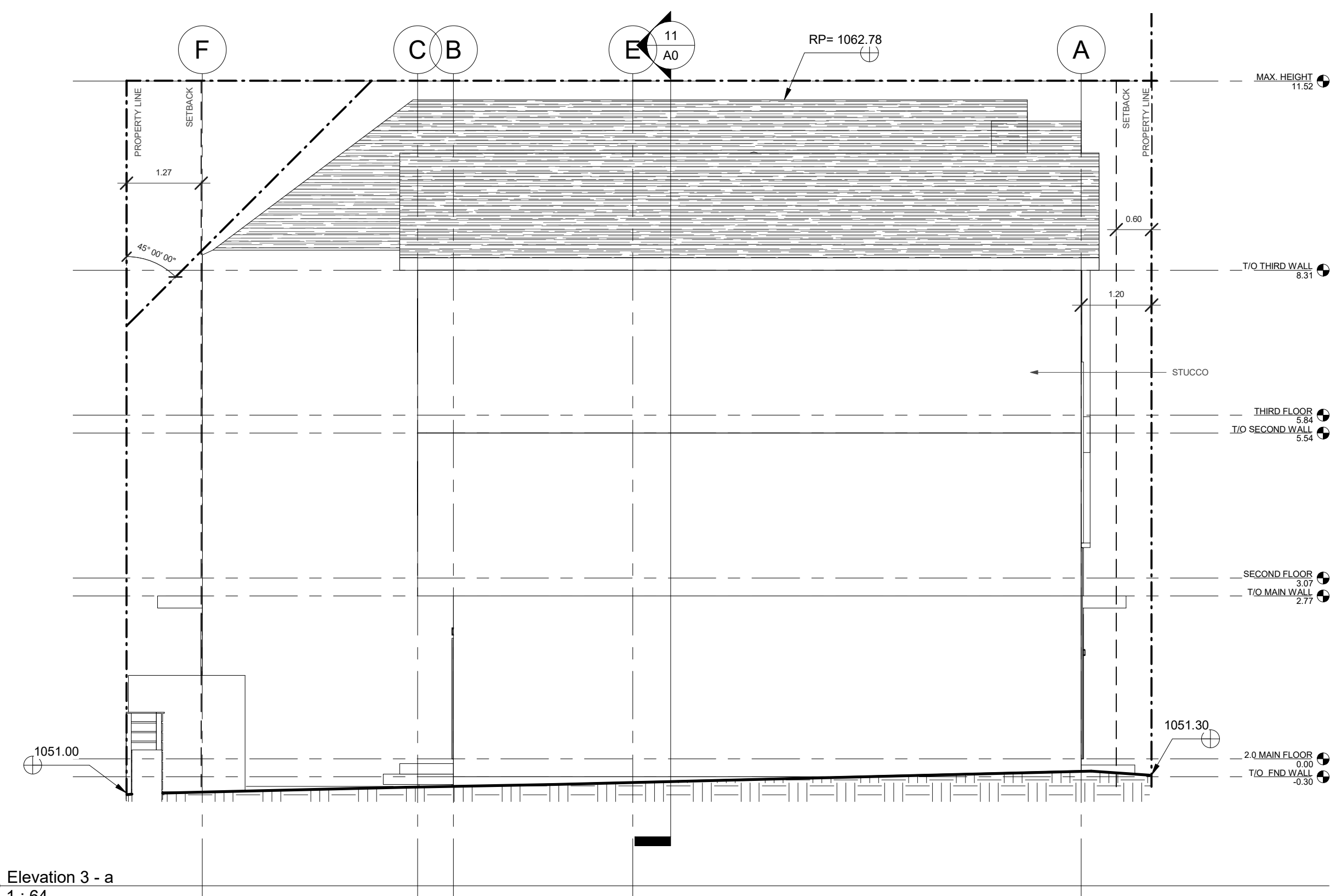
① Elevation 1 - a
1:64

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CLIENT & PROJECT		
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PROJECT:	Proposed duplex dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2Y 2Z8 Lot 3, Block 15, Plan 3182JK H-50 zoning	
JOB NO.:	24-25	
DRAWING		
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PUBLISHED:	2025-10-08 2:24:17 PM	
DESIGNED/CHECKED BY:	Approver	
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ELEVATION 1		A1.3



② Elevation 2 - a
1 : 64



① Elevation 3 - a
1 : 64

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS	
ROOF	ASPHALT - Black
WALL	STUCCO # 1 - DARK GRAY
	STUCCO # 2 - NA
	STUCCO # 3 - NA
FASCIA	ALUMINUM - Black 3"
SOFFIT	ALUMINUM - Black
RAILING	BLACKGLASS
STONE	LIGHT GRAY
WINDOWS	WHITE
TRIM/BATT	NA
LONG BOARD	CEDAR COLOR
HARDIE BOARD	WHITE (PT)
PAVING	NATURAL

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SCALE:	1 : 64	
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ELEVATION 2		A1.4