

PROPOSED H-GO DWELLINGS

2 HARMON PLACE S.W.
CALGARY, AB
Lot 3,Block 15, Plan 3184JK
LAND USE CLASS: H-GO
(ONE BUILDING, 6 UNITS, 6 SECONDARY SUITES)

AMENDED DRAWINGS

DP No Date Received
DP2025-05565 DEC 05 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



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CLIENT & PROJECT		
CLIENT:	XXXX	
PROJECT:	Proposed Singlex Dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z8 Lot 3, Block 15, Plan 3184JK H-GO zoning	
JOB NO.:	24-25	
DRAWING		
STAGE:	DP	
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ISSUED FOR		
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	DR (Issued at Nov 20, 2025)	JC
COVER SHEET		A0.0

AMENDED DRAWINGS

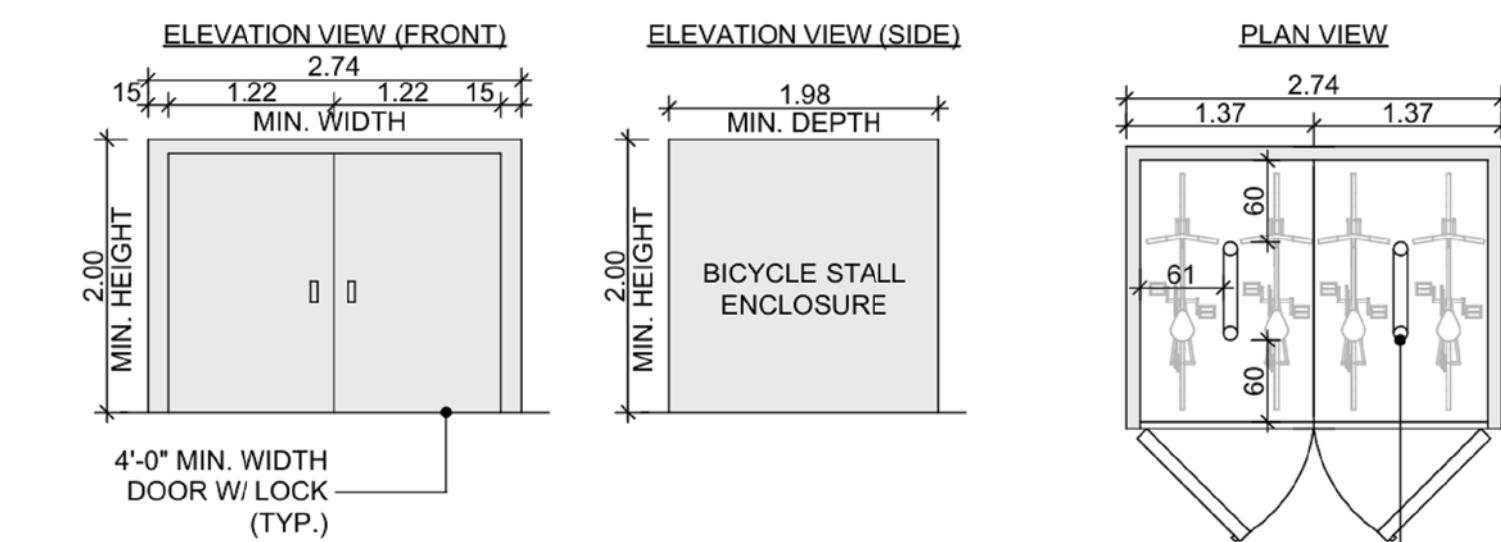
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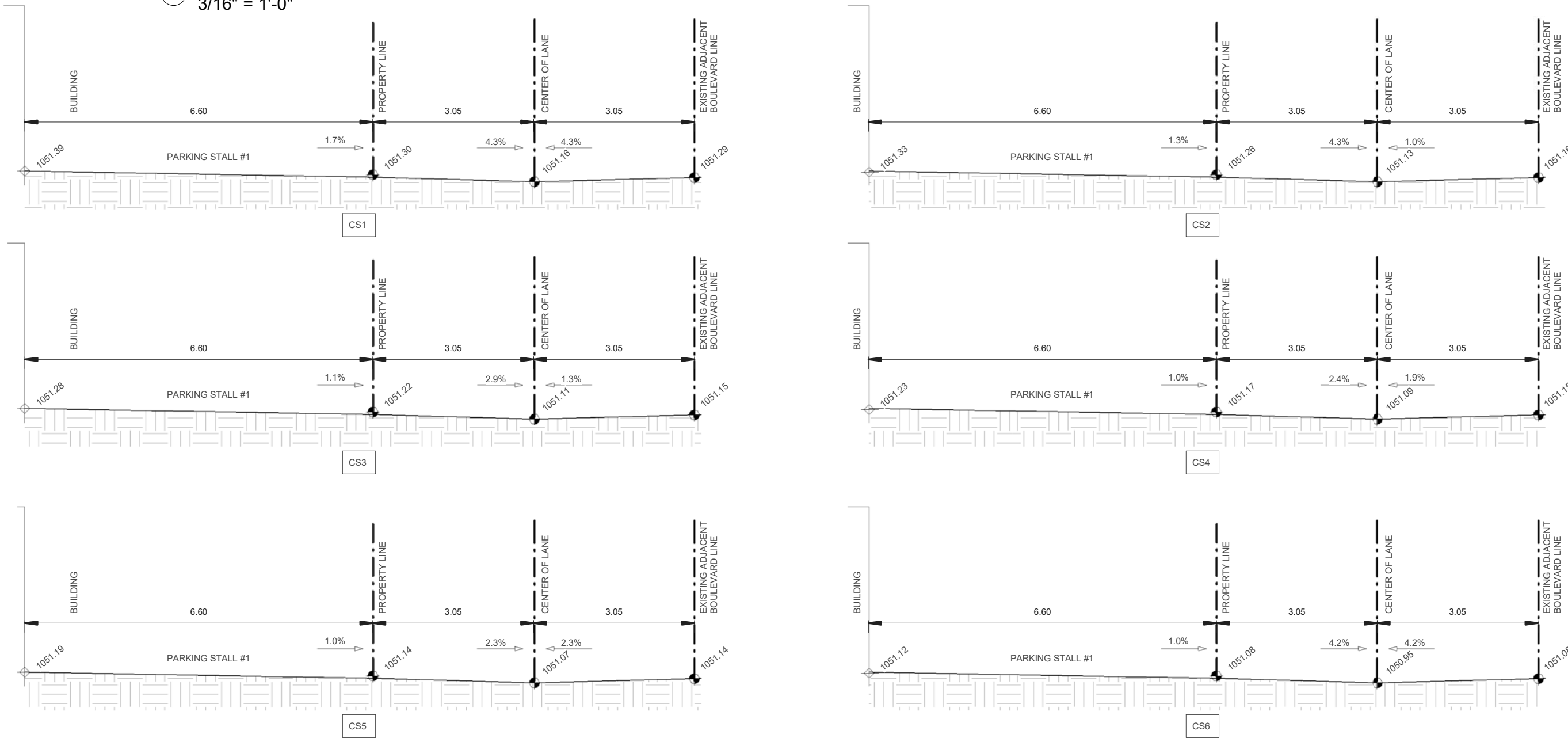
LOT INFORMATION LEGAL ADDRESS: Lot 3, Block 15, Plan 3184JK MUNICIPAL ADDRESS: 2 HARMON PLACE S.W. CALGARY, ALBERTA (THIS LOT IS NOT IN FLOOD FRINGE ACCORDING TO CITY MAP.) LAND USE: H-GO PROPOSED USE: ONE BUILDING ROWHOUSE: 6 UNITS BASEMENT SUITES: 6 SITE INFORMATION SITE AREA: 6446.40 SF (598.89sq.m or 0.059ha) LAND USE: H-GO MAX BUILDING HEIGHT: 12.00m FRONT YARD SETBACK: 3.00m SIDE YARD SETBACK: 1.20m REAR YARD SETBACK: 1.20m STREET SIDE SETBACK: 0.60m DENSITY: 100UPH MAX SITE COVERAGE: 60% MAX FAR: 1.50	SITE COVERAGE PARCEL AREA: 598.89sq.m BUILDING: 240.8sq.m PARKING STALLS : 114sq.m TOTAL: 354.8sq.m(359.33 sq.m PERMITTED) COVERAGE RATE: 59.24% (60% PERMITTED) SQUARE FOOTAGE UNIT 1 TO 6 MAIN FLOOR: 2592 SF UP FLOOR: 3148 SF 3RD FLOOR: 2839SF TOTAL GFA: 8579SF(PERMITTED 9669.6SF) FAR=1.33	LEGEND PROPERTY LINES: --- ROOF OVERHANG: --- PROJECTIONS: --- RETAINING WALL: --- EXISTING ELEVATION: 1234.56 PROPOSED ELEVATION: 1234.56 MANHOLE: (SSSP) WINDOW WELL: WYW MAIN FLOOR CANTILEVER: CANT M UP FLOOR CANTILEVER: CANT U	PARKING PROVIDED PARKING: 6 STALLS (ON GROUND) MOBILITY LOCKER PROVIDED : 0 STALLS BIKE PACK PROVIDED : 12 STALLS (CLASS 1) GARBAGE/RECYCLING REQUIRED: (6 UNITS + 6 SUITES) X (0.3 yd³/WEEK) / UNIT X (0.765 m³)/yd³/CART CAPACITY 0.246 m³ ≈11.19CARTS PROVIDED: 12 CARTS SOLAR PANEL AND EV CHARGER 3 EV CHARGER (ROUGH-IN) EACH UNIT SHALL HAVE A 2" FLEXIBLE LIQUID- TIGHT CONDUIT, CAPPED OFF AND TERMINATED AT EACH PANEL FOR FUTURE SOLAR CONNECTION.
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1 Site Information
1/4" = 1'-0"

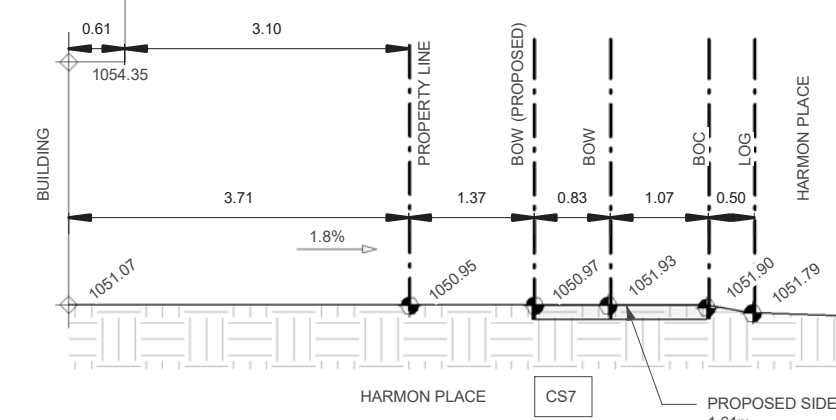


7 BINS
3/16" = 1'-0"

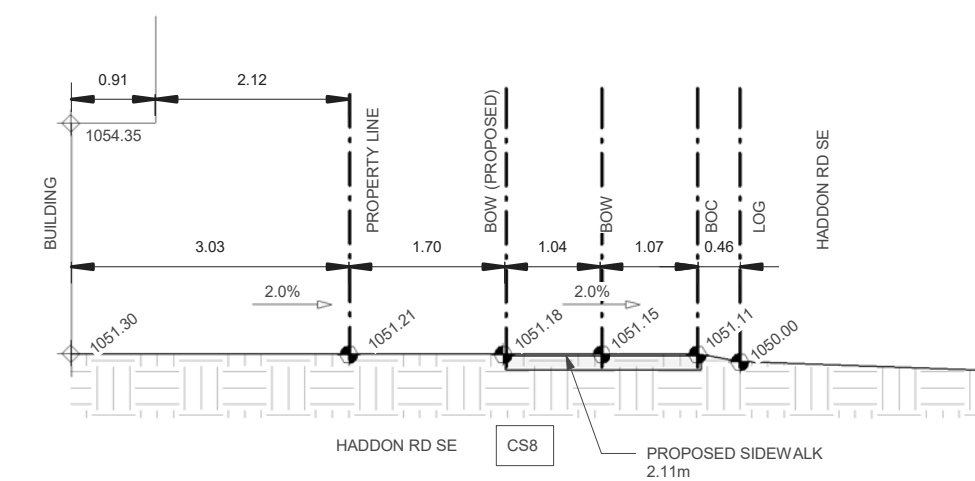
5 Class 1 bicycle parking stall (Horizontal)
3/16" = 1'-0"



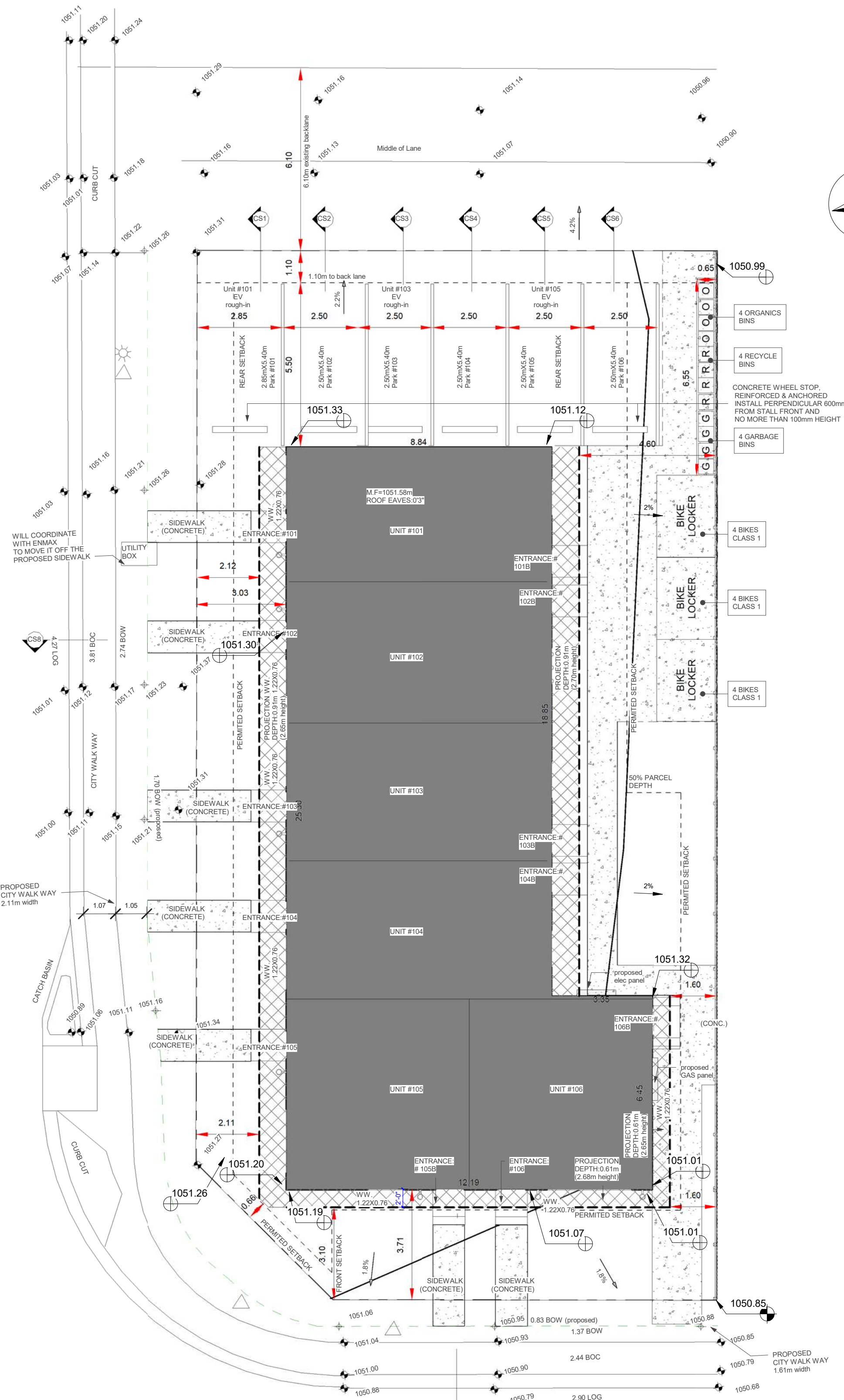
3 BACKLANE CROSS SECTIONS
1 : 75



6 CROSS SECTION HARMON PLACE
1 : 75



8 CROSS SECTION HADDON RD SE
1 : 75



4 PROPOSED SITE PLAN
1 : 100

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PROJECT:	Proposed Splexer Dwelling	
ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z9 Lot 3, Block 15, Plan 3184JK H-GO zoning	
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SITEPLAN		A0.1

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 3
Block 15
Plan 3184JK

MUNICIPAL ADDRESS: 2 Harmon Place S.W.
Calgary, Alberta

DATE OF SURVEY: September 24th, 2025.

SCALE: 1:200

NOTES:

Elevations are shown thus: = 1000.00 metres. (Geodetic)

Elevations are geodetic and derived from ASCM: 165092 ELEV: 1050.463

All dimensions are ground in metres and decimals thereof unless otherwise shown.

All distances on curves are arc distances.

Bearings are grid (3TM, CM114°) and derived from GNSS Observations.

All fences are within 0.2 metres of the property lines unless otherwise shown.

All eaves are measured to fascia unless otherwise shown.

Unless noted otherwise, lines outside of property are not to scale.

LEGEND:

Acc. - Accessory	Calculation points shown thus:	
A/C - Air Conditioner	Elevations shown thus:	
Bldg - Building	Found Iron Posts shown thus:	
BOC - Back of Curb	Fire Hydrants shown thus:	
BOW - Back of Walk	Lamp Standards shown thus:	
Calc. - Calculated	Manholes shown thus:	
Cont. - Cantilever	Power Poles shown thus:	
Conc. - Concrete	Street Signs shown thus:	
C.S. - Countersunk	Electrical Meter shown thus:	
DH - Drill Hole	Gas Meter shown thus:	
Enc. - Encroaches	Water Valve shown thus:	
ELEV. - Elevation	Property Lines shown thus:	
Fd. - Found	Right of Ways shown thus:	
I. - Iron Post	Eaves shown thus:	
LOG - Lip of Gutter	Fences shown thus:	
M.A. - Maintenance Access	Overhead Lines shown thus:	
M.F. - Main Floor	Gasline shown thus:	
Mk. - Mark	Sanitaryline shown thus:	
O.D. - Overland Drainage	Stormline shown thus:	
Ret. - Retaining	Waterline shown thus:	
R.P. - Roof Peak		
R/W - Right of Way		
W/O - Walkout Basement		
W.W. - Window Well		

Coniferous Tree Deciduous Tree

This plan represents the best information at the time of survey.
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.
All Underground installations should be located by the respective authorities prior to construction.
CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

Tree Schedule

Tree	Type	Ø	Spread	Height
1	Bush	---	1.50	1.50
2	Bush	---	1.50	1.50
3	Deciduous	0.20	2.00	4.00
4	Deciduous	0.20	4.00	6.00
5	Bush	---	1.50	2.00
6	Deciduous	0.10	2.00	3.00
7	Bush	---	2.00	2.00
8	Bush	---	1.50	1.50
9	Deciduous	0.35	5.00	6.00
10	Deciduous	0.20	4.00	5.00
11	Coniferous	0.30	3.50	5.00
12	Deciduous	0.20	3.00	5.00

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CLIENT & PROJECT

CLIENT: XXXX

PROJECT: Proposed Single Dwelling

ADDRESS: 2 HARMON PLACE S.W. CALGARY, AB T2V 2Z9
Lot 3, Block 15, Plan 3184JK
H-GO zoning

JOB NO.: 24-25

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BLOCK PLAN A0.2

ISSUED FOR DEVELOPMENT PERMIT
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CALGARY, AB
Lot 3,Block 15, Plan 3184JK
LAND USE CLASS: H-GO
(ONE BUILDING, 6 UNTEs, 6 SECONDARY SUITES)

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PHOTO 1

PHOTO 2

4 SITE PLAN
1:200

PROPOSED ELEC. LINE -E-E-
PROPOSED CABLE-TELEPHONE LINE -C-C-
PROPOSED WATER LINE -W-W-
PROPOSED SEWER LINE -SW-SW-
PROPOSED GAS LINE -G-G-



PHOTO 1 EXISTING



PHOTO 1 PROPOSED



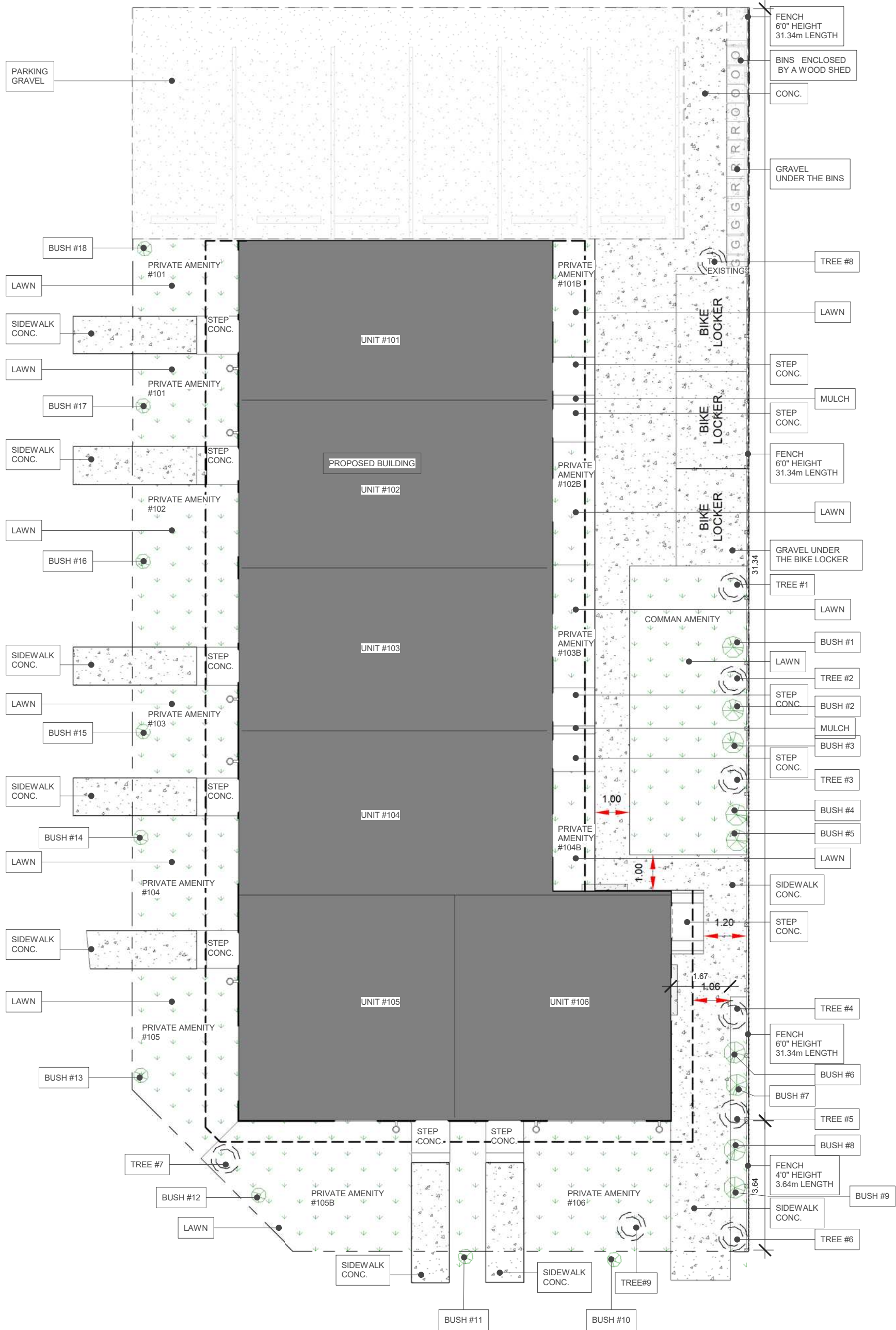
PHOTO 2 EXISTING



PHOTO 2 PROPOSED

LANDSCAPING	LEGEND	PROPOSED TREE LEGEND
BUILDING : 2592SF PARKING: 1091SF WASTE AND RECYCLES: 42SF GARAGE APRON: 0 LANDSCAPING AREA PROVIDED: 2721SF SOFT LANDSCAPING REQUIRED: 30% OF LANDSCAPE (816SF) PROVIDED: 56.96% (1550SF)	PROPERTY LINES: SETBACKS: FENCE: EXISTING BUILDINGS: PROJECTIONS: CONCRETE PATH : 10MM LIMESTONE (GROUND COVER): LAWN: MULCH: NOTE: ALL SOFT LANDSCAPED AREAS ARE IRRIGATED BY UNDERGROUND IRRIGATION SYSTEM MINIMUM OF 300MM TOPSOIL IS PROPOSED TO BE USED FOR ALL ABSORBENT LANDSCAPING AREAS.	<u>NEW TREES CECIDUOUS</u> PARCEL AREA/110SQ.M=5.16 (6) TRESS REQUIRED: 6 (PROVIDED:9) SHRUBS REQUIRED: 18 (PROVIDED:18) <u>NEW T1 (1 PROVIDED)</u> UPRIGHT COLORADO SPRUCE PICEA, PUNGELUS "FASTIGIATA" 1 @ Min. Height 2.0m MATURE H. 23/ MATURE S. 5' <u>NEW T2 (6 PROVIDED)</u> - COLUMNAR, SWEDISH ASPEN POPULUS, TREMULA "ERECTA" 5 @ Min 60mm Calliper <u>NEW SHRUBS 1 (9 PROVIDED)</u> - MUGO PINE PINUS MUGO Min. Height or Spread of 0.60m at time of planting <u>NEW SHRUBS 2 (9 PROVIDED)</u> - ALPINE CURRANT RIBES ALPINUM Min. Height or Spread of 0.60m at time of planting EXISTING TREE T9 AS PER THE SURVEY PLAN

landscaping info
1/4" = 1'-0"



1 LANDSCAPING PLAN
1:100



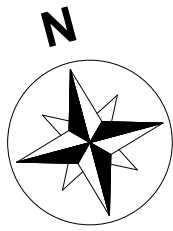
3 LAWN AND MULCH
3/16" = 1'-0"



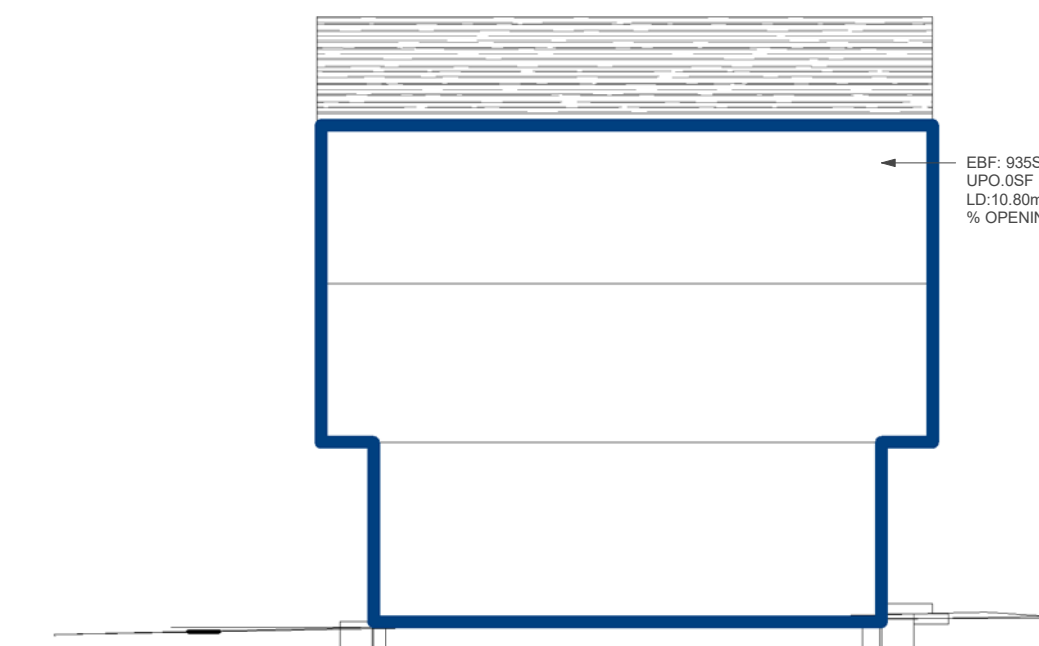
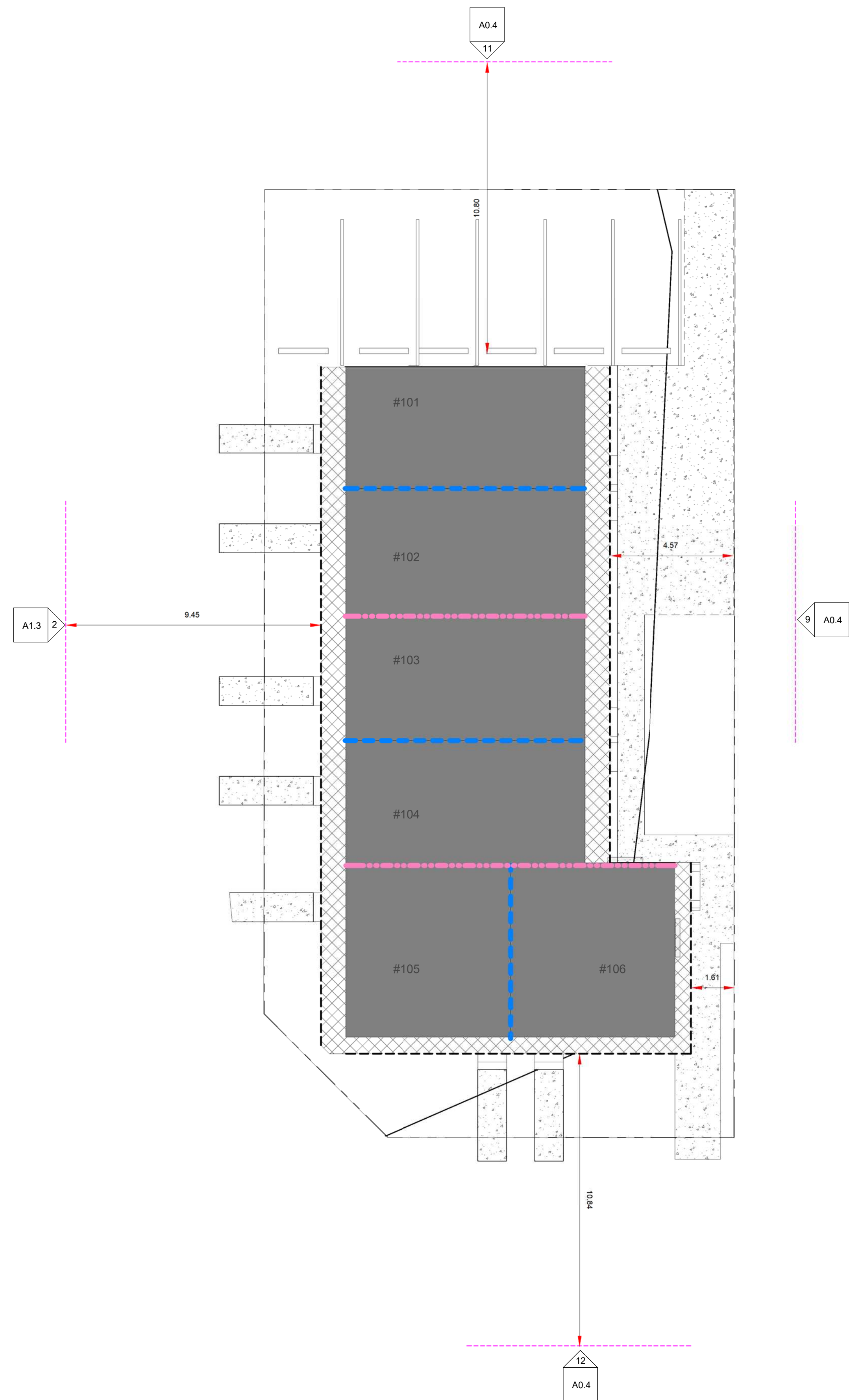
2 BINS WITH SHED
3/16" = 1'-0"

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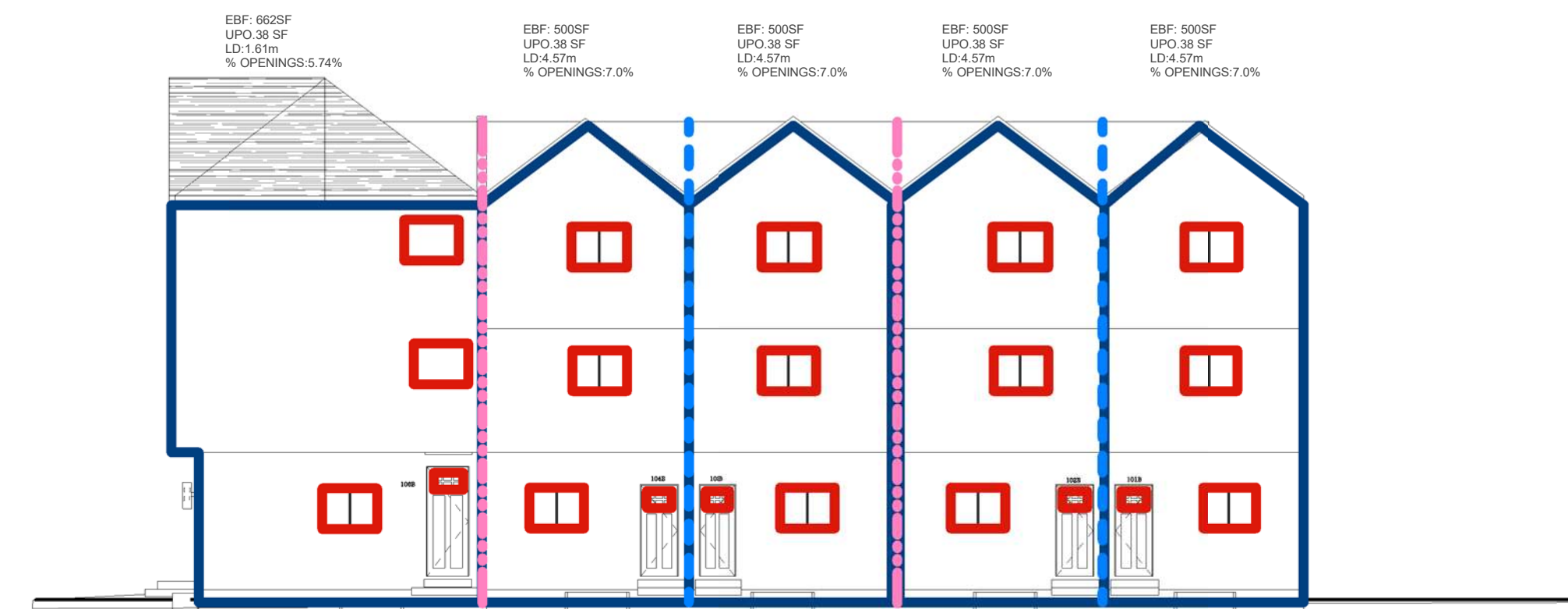
5 FIRE ACCESS PLAN
1:100



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ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z9 Lot 3, Block 15, Plan 3162JK H-GO zoning	
JOB NO.:	24-25	
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LANDSCAPE & FIRE ACCESS		A0.3



11 North Elevation B CODE
1" = 10'-0"



9 East Elevation CODE
1" = 10'-0"



10 West Elevation CODE
1" = 10'-0"



12 South Elevation A CODE
1" = 10'-0"

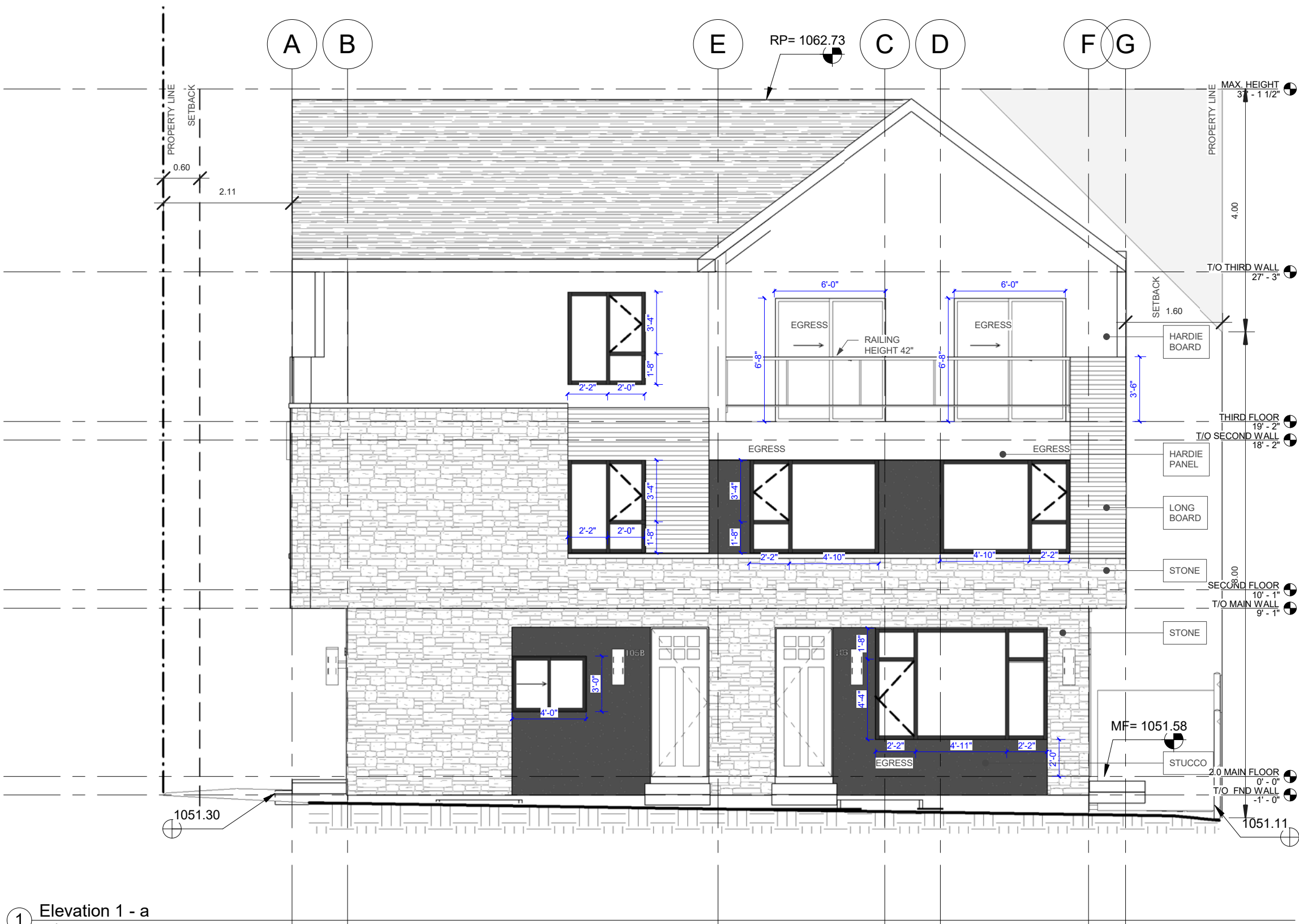
CODE LEGEND	
	SMOKE SEPARATION
	45 MIN FIRE SEPARATION
	1 HOUR FIRE SEPARATION
	2.0 HOUR FIRE SEPARATION
	EXPOSING BUILDING FACE
	UNPROTECTED OPENINGS
	45 MIN. FRR FOR EXPOSING BUILDING FACE
	1HR FRR FOR EXPOSING BUILDING FACE
	SPRINKLER PROTECTION

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ADDRESS:	2 HARMON PLACE S.W. CALGARY, AB T2V 2Z9 Lot 3, Block 15, Plan 3156JK H-GO zoning	
JOB NO.:	24-25	
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CODE PLAN-UPO		A0.4



② Elevation 4 - a
3/16" = 1'-0"



① Elevation 1 - a
3/16" = 1'-0"

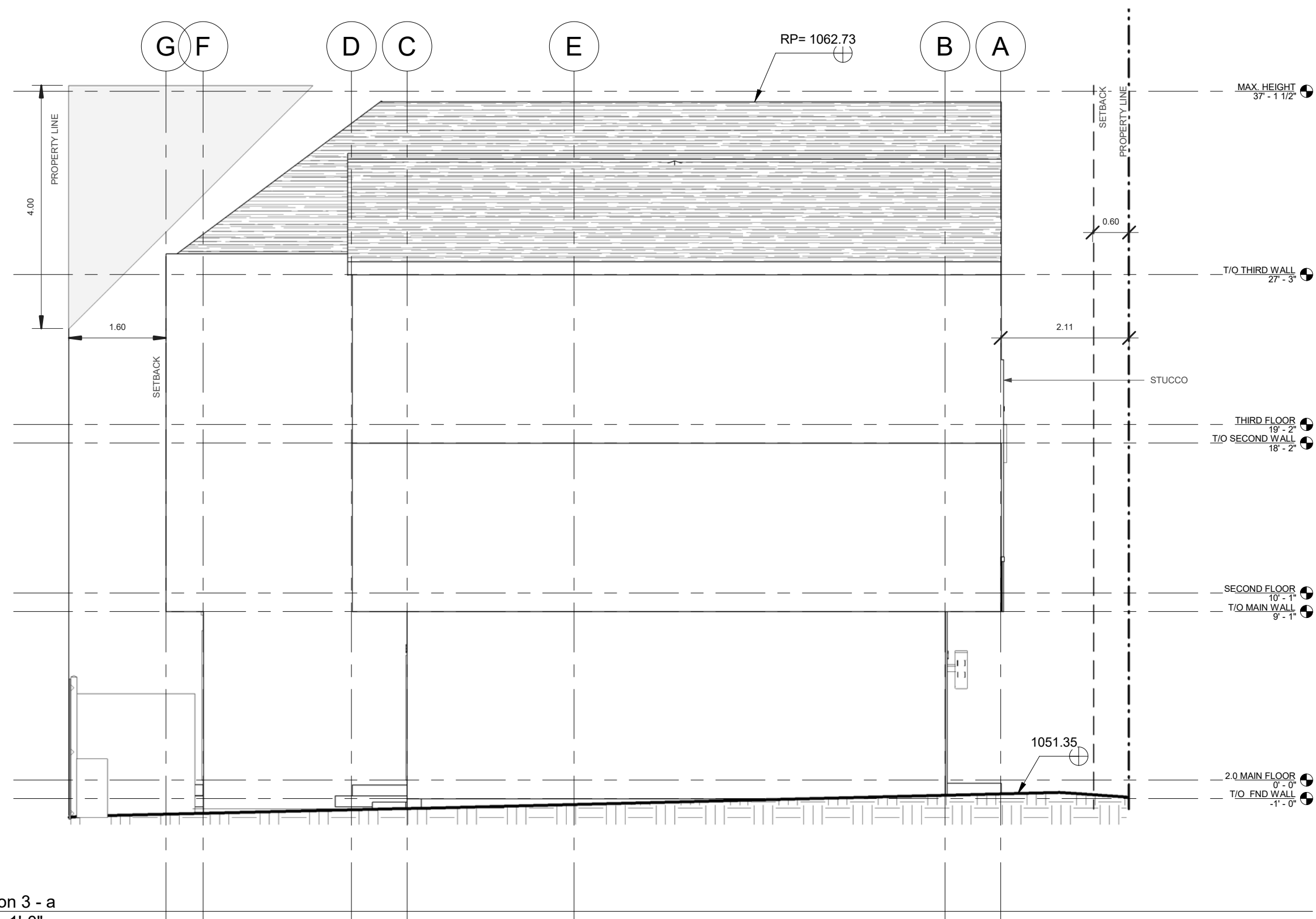
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ELEVATION 1		
A1.3		



EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS	
ROOF	ASPHALT - Black
WALL	STUCCO # 1 - DARK GRAY
	STUCCO # 2 - NA
	STUCCO # 3 - NA
FASCIA	ALUMINUM - Black 3"
SOFFIT	ALUMINUM - Black
RAILINGS	BLACK GLASS
STONE	LIGHT GRAY
WINDOWS	BLACK
TRIM/BATT	NA
LONG BOARD	CEDAR COLOR
HARDIE BOARD	WHITE (P)
HARDIE PANEL	WHITE
PAVING	NATURAL

② Elevation 2 - a
3/16" = 1'-0"

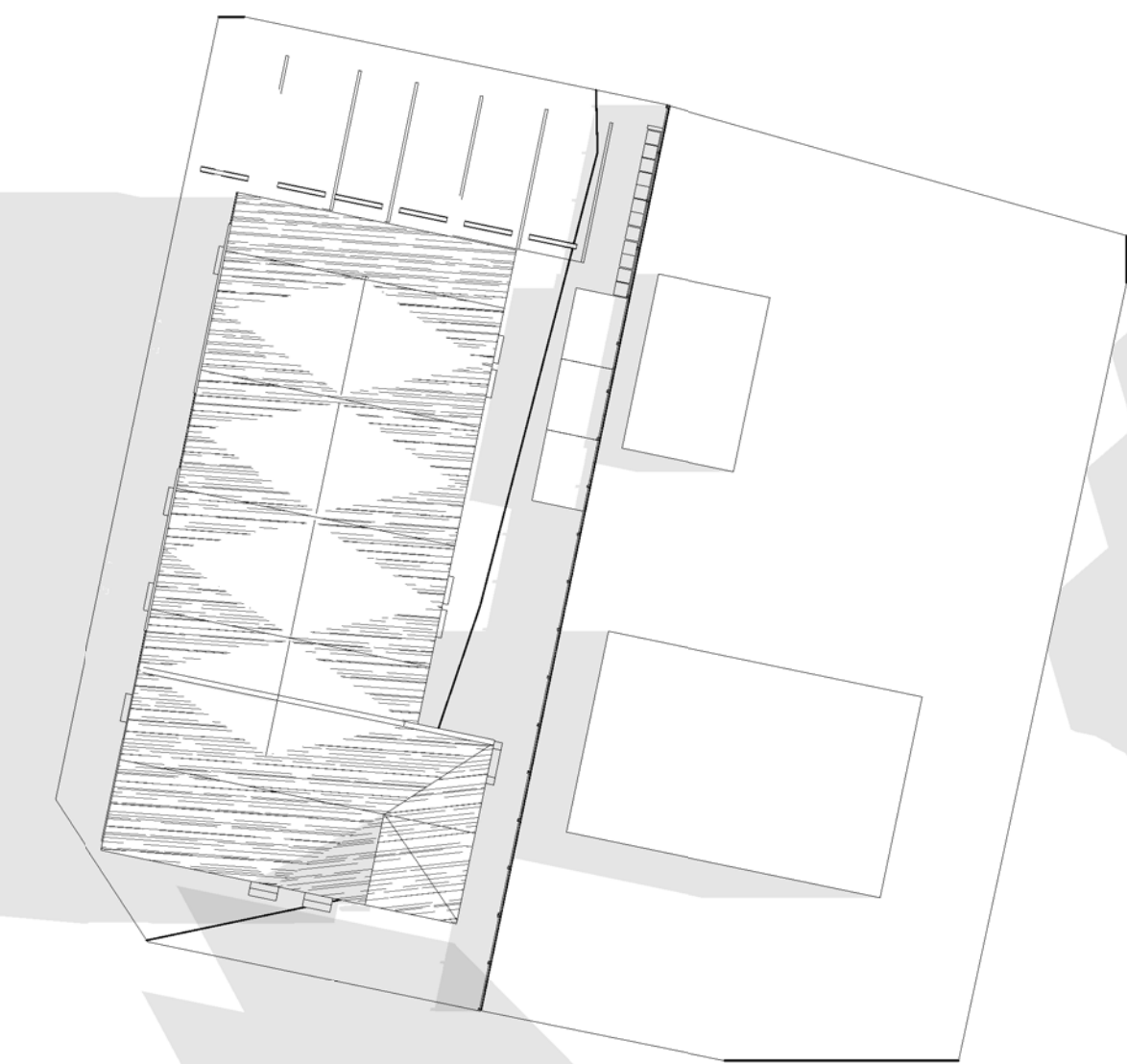


① Elevation 3 - a
3/16" = 1'-0"

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ELEVATION 2		
A1.4		

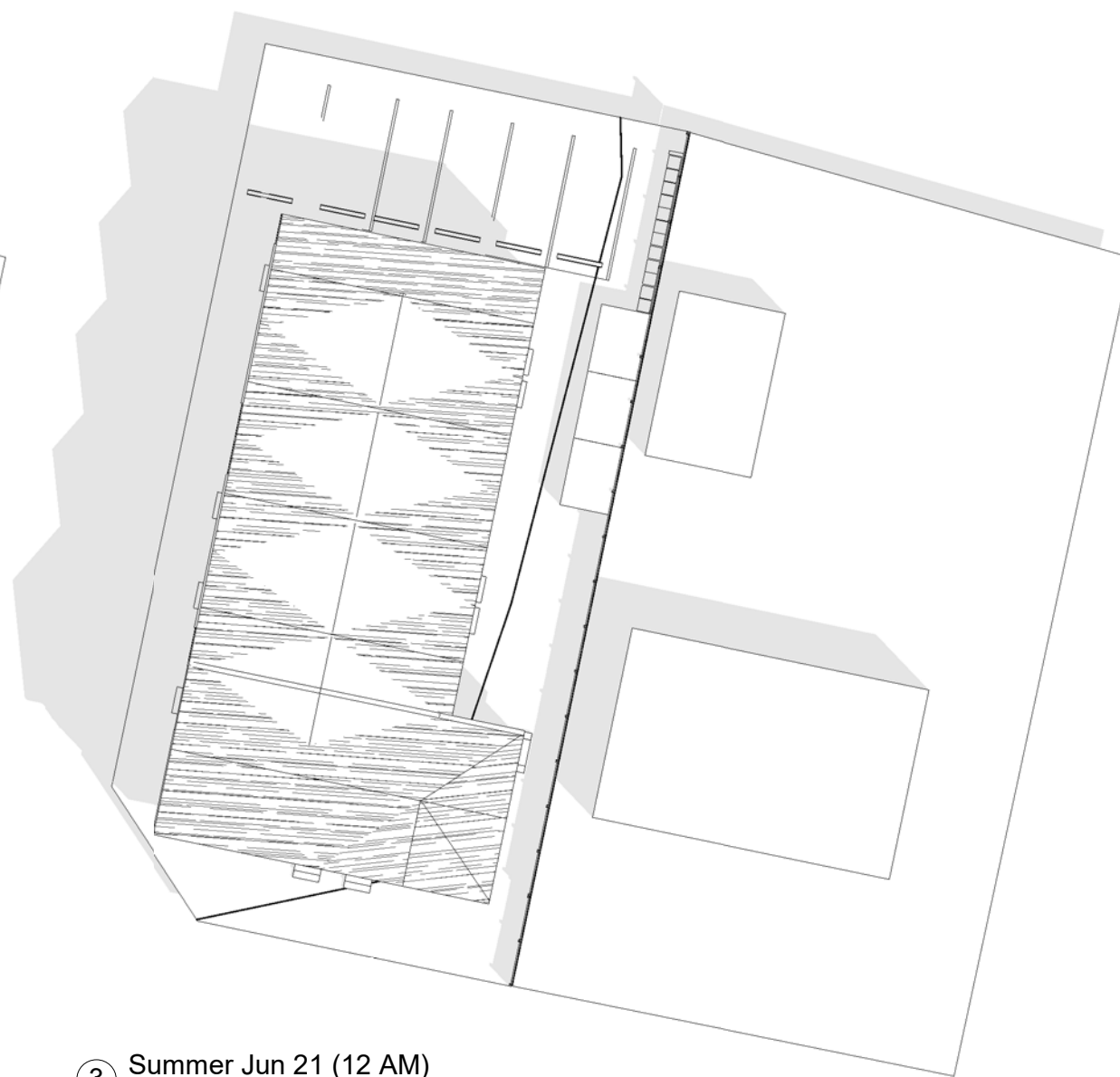
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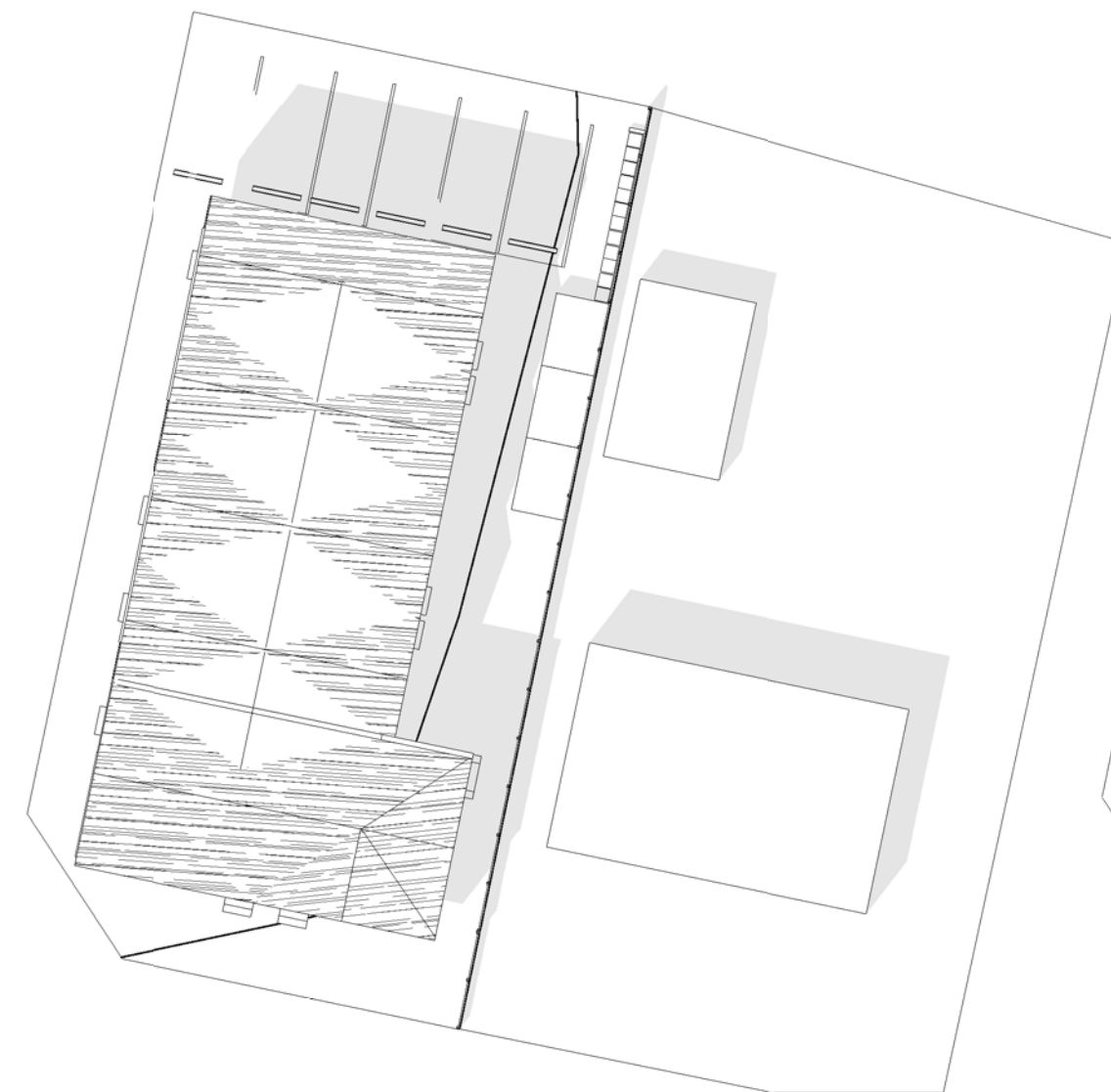
④ Summer Jun 21 (8AM)



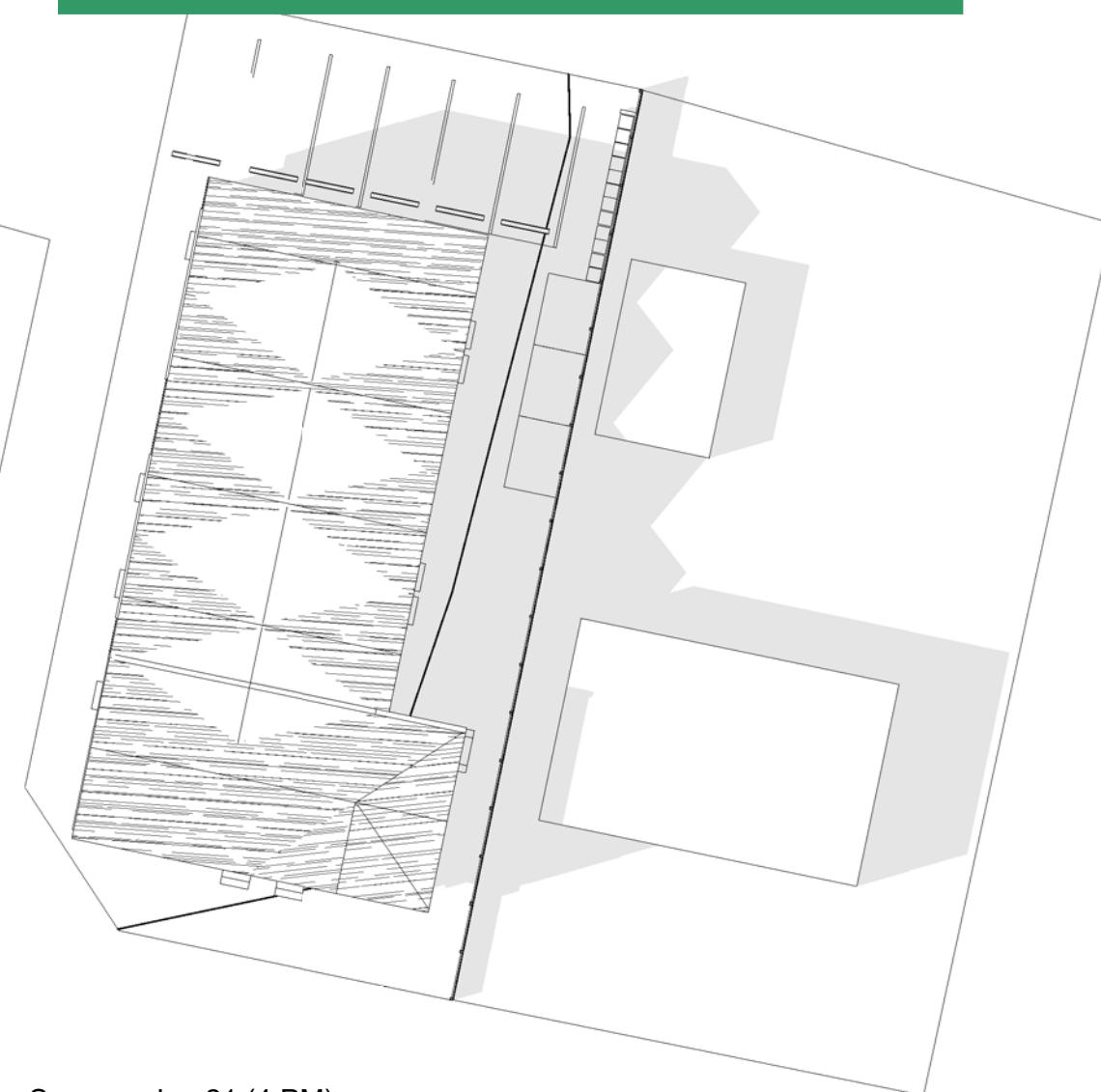
② Summer Jun 21 (10 AM)



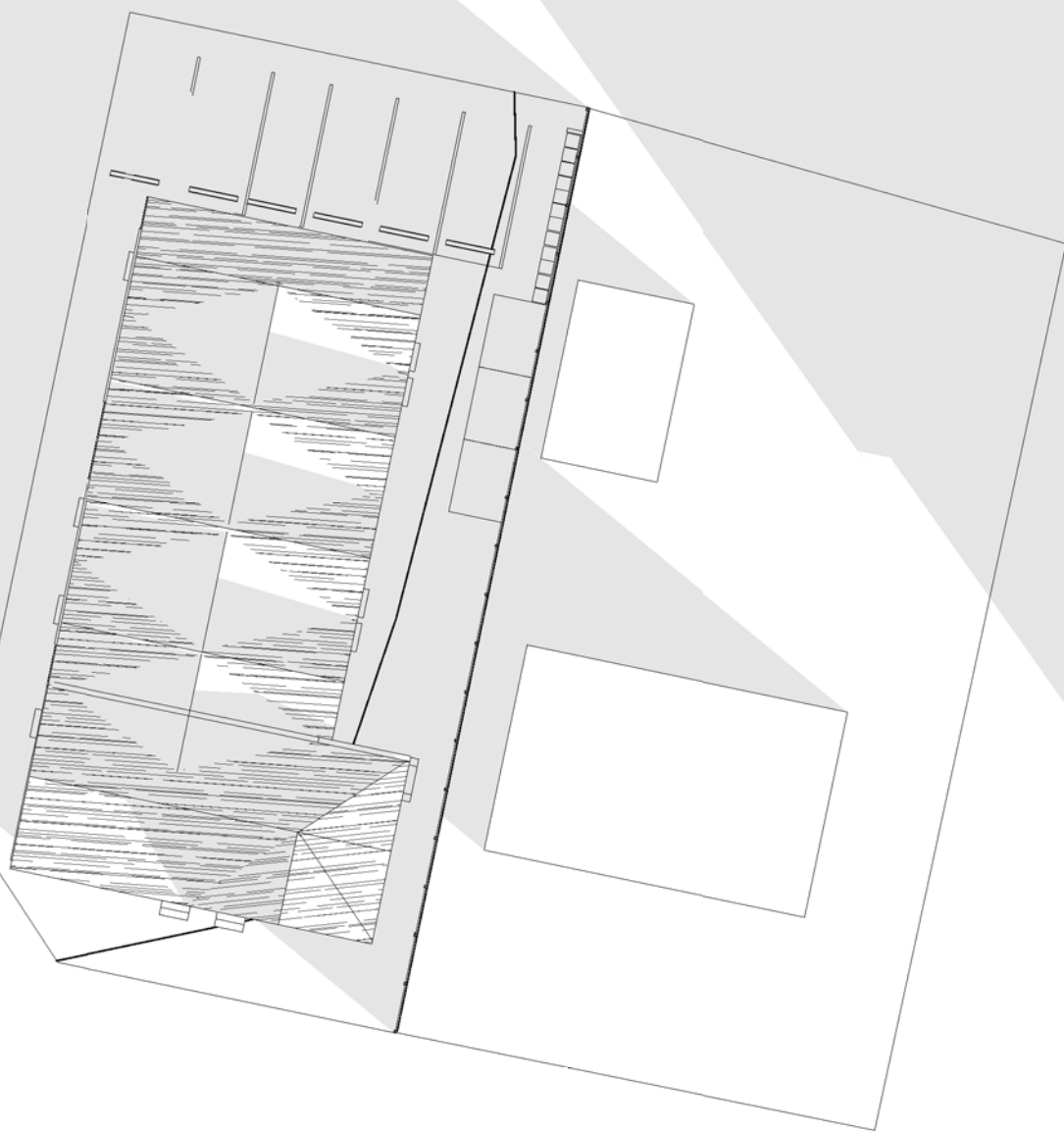
③ Summer Jun 21 (12 AM)



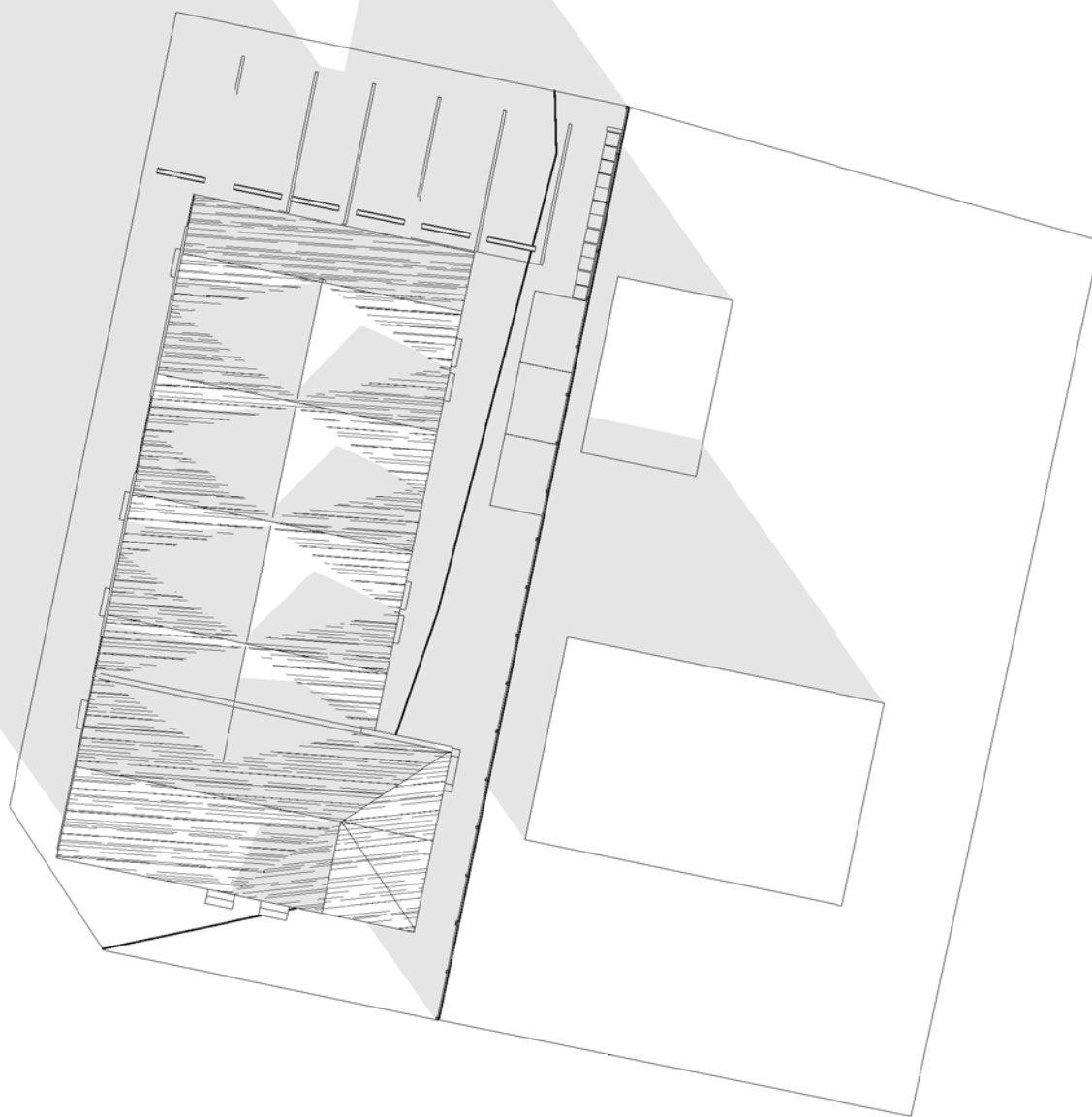
① Summer Jun 21 (2 PM)



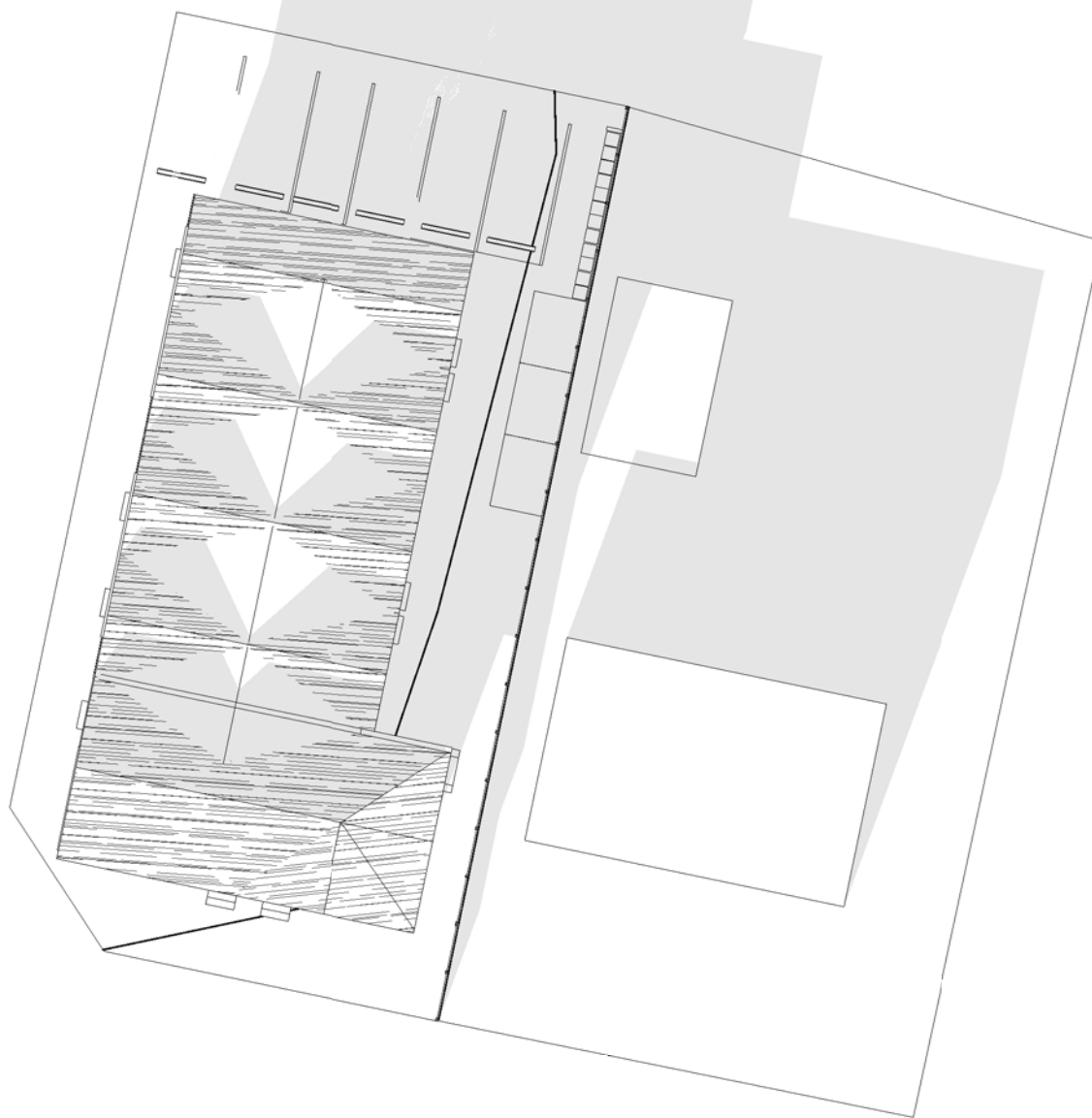
⑤ Summer Jun 21 (4 PM)



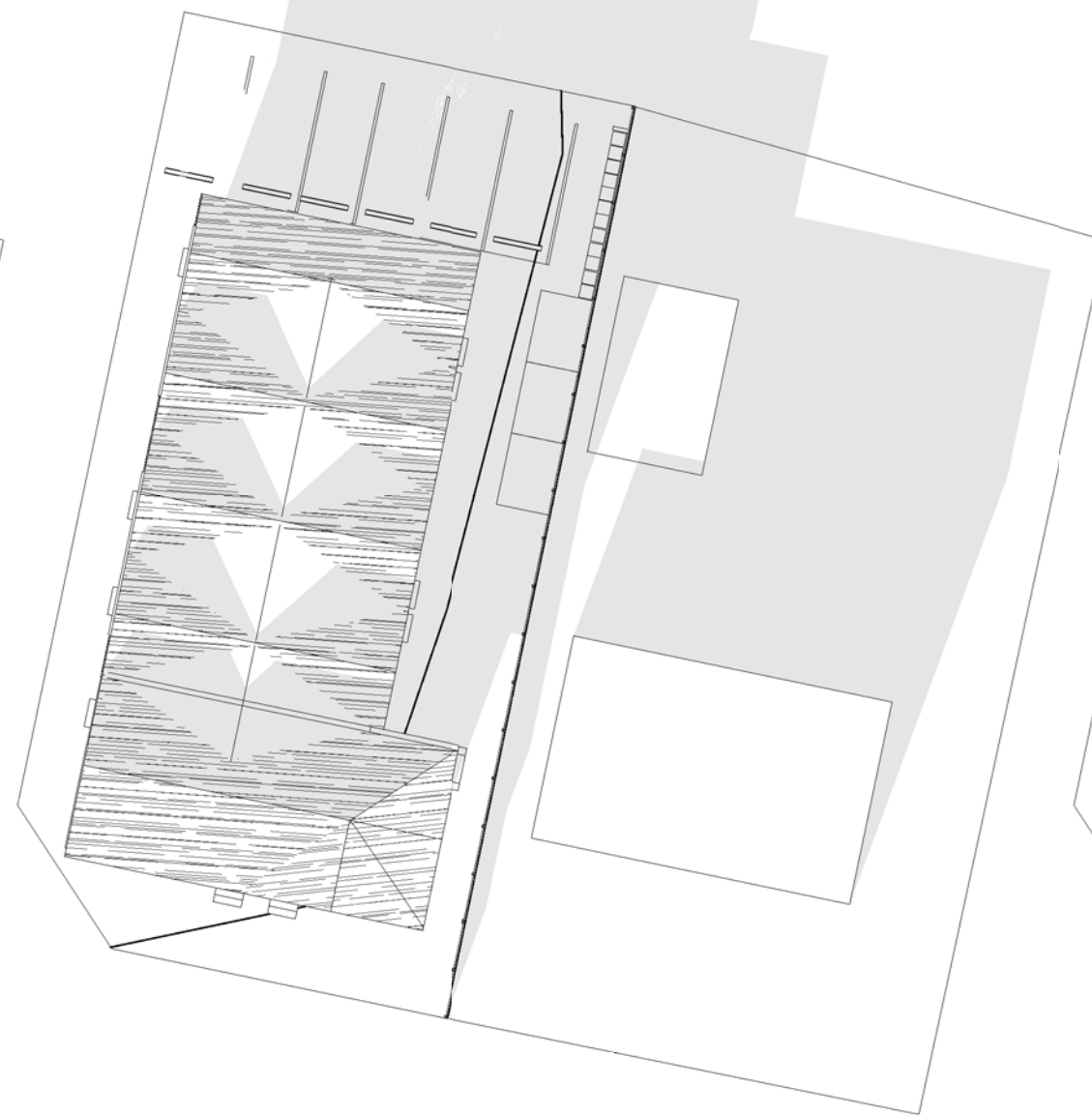
⑥ Winter Dec 21 (8AM)



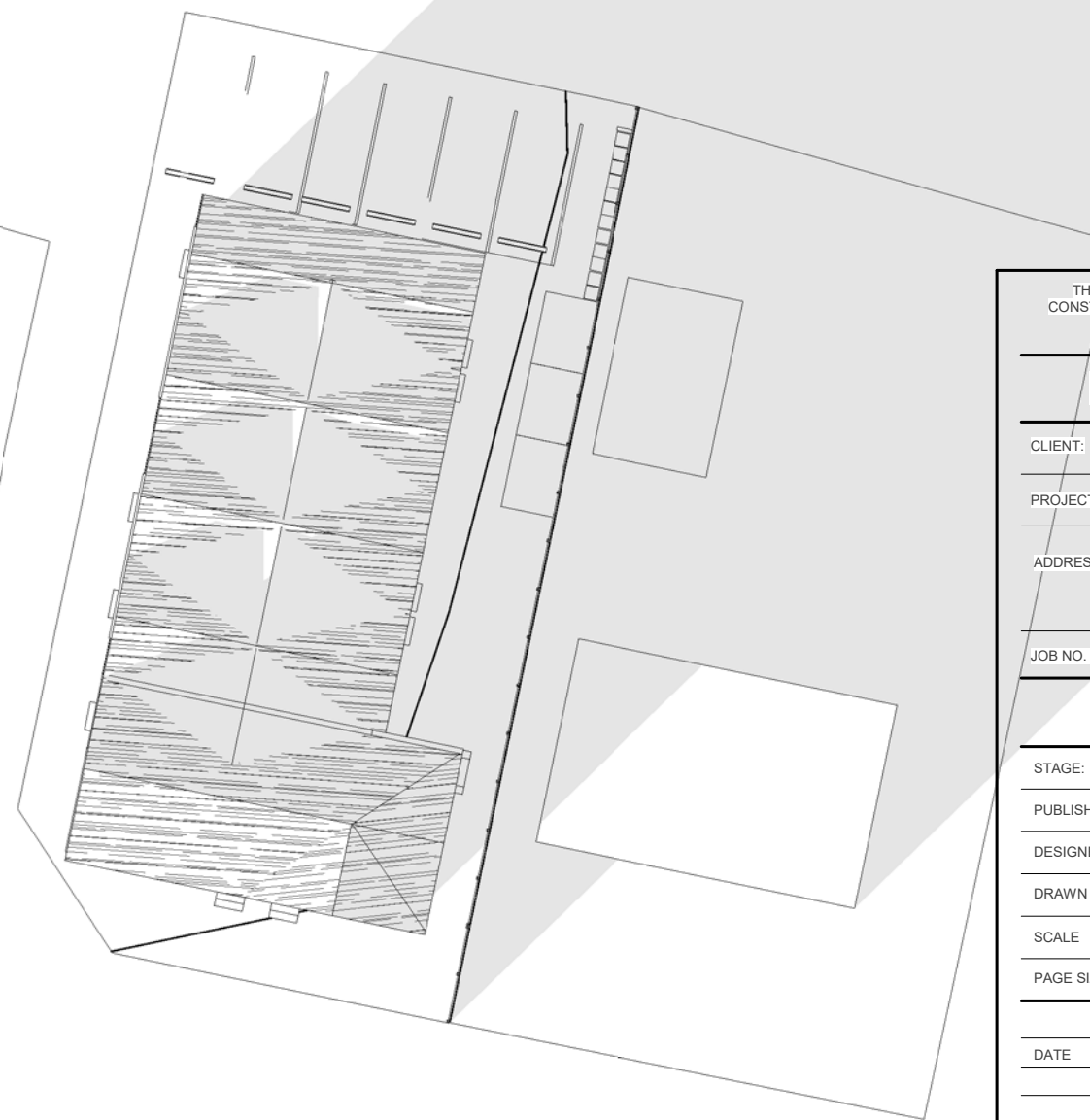
⑦ Winter Dec 21 (10AM)



⑧ Winter Dec 21 (12PM)



⑨ Winter Dec 21 (2PM)



⑩ Winter Dec 21 (4PM)

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SHADE STUDY		A0.5