

Block 11 University Multi for LUXURIA

Development Permit



DEVELOPMENT SHEET LIST

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- DP1.1 Site Plan - Multi
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#	DATE	DESCRIPTION
1	2025 02 05	Issued for AC
2	2025 05 26	Re-issued for AC
3	2025 07 28	Re-issued for AC
4	2025 09 24	DP Submission

GRAVITY ARCHITECTURE

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PERMIT NUMBERS

PROJECT STATUS

Development Permit

PROJECT

Block 11 University Multi

Kovitz Avenue NW
Lot 1, Block 11, Plan 1935 JK

TITLE
Cover Sheet

PROJECT NUMBER

24-025m

SCALE

DRAWING NUMBER

DP0.0

DESIGNER

NT

DP DRAFTSPERSON

CF

BP DRAFTSPERSON

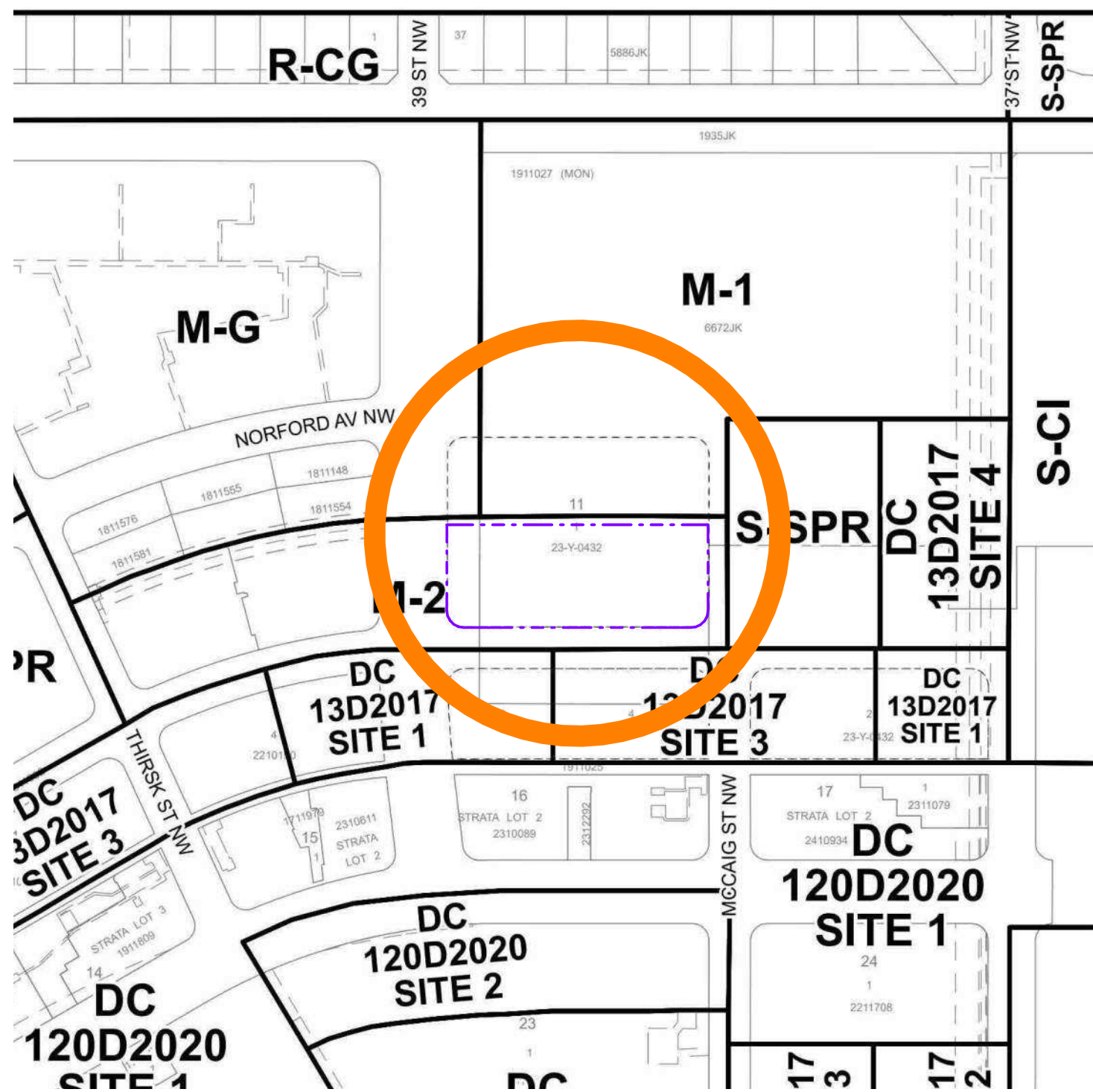
VERSION ISSUE DATE

2025 10 15

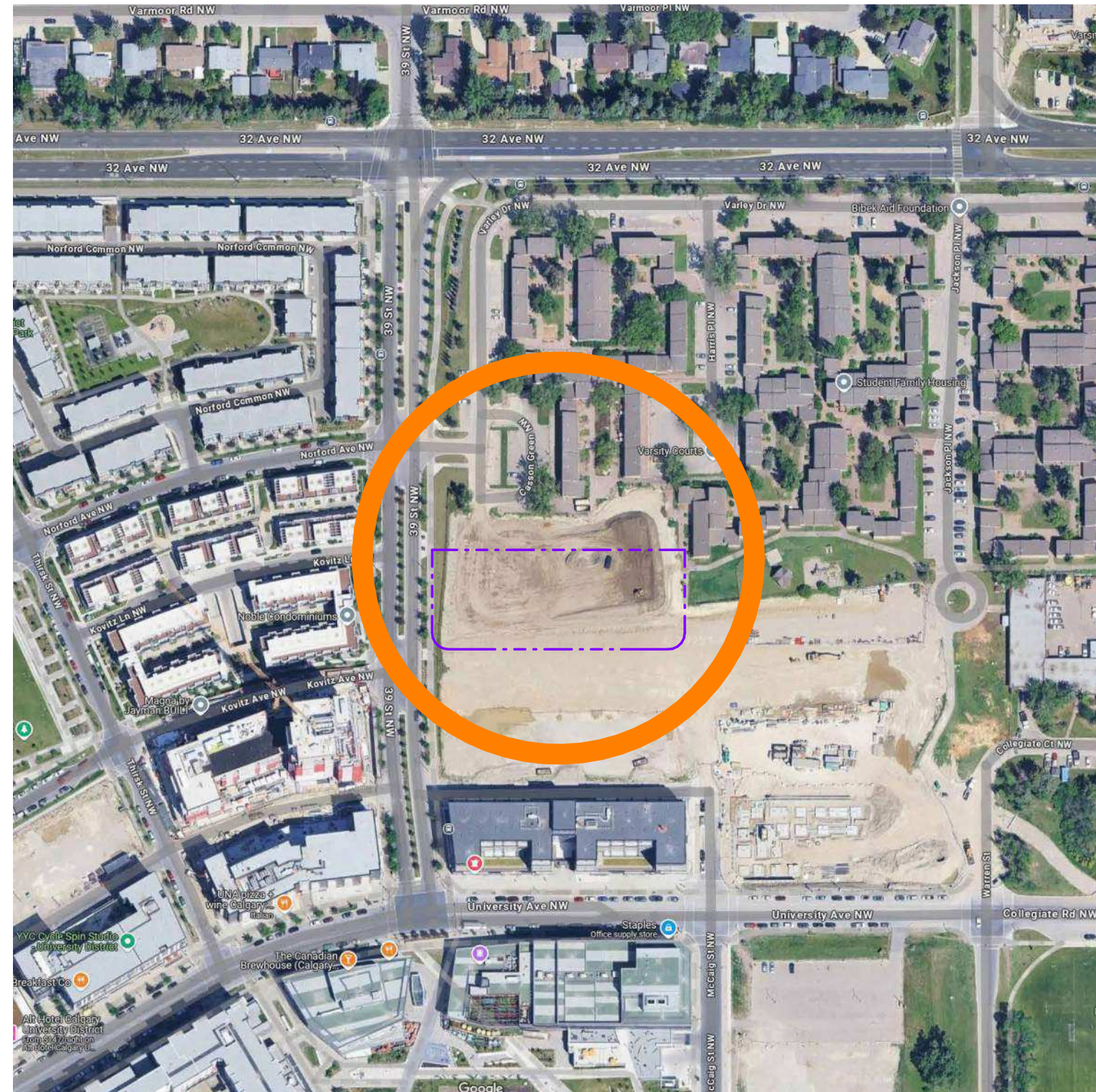
DP CHECKED

CF

BP CHECKED



2 LUB Context
1 : 2500



3 Aerial Context
1 : 2500

Development Statistics			
Land Use District	M-2: Multi-Residential - Medium Profile	0.45 ha	1.11 ac
Proposed Use	Multi-Residential Development, Minor		
Legal Description	Lot 1, Block 11, Plan 1935 JK		
Municipal Address	Kovitz Avenue NW		
Community	University District		
Setbacks	Street-Oriented	0.0 m	✓
	Shared with Lane or Another Parcel	1.2 m	
	Shared with Street	3.0 m	
Density	Minimum (no max)	60 UPH	24 Units
	Proposed 5 Storeys	323 UPH	156 Units
Floor Area Ratio	Maximum	3.0	14,554 m ²
	Proposed 5 Storeys		see GFA
Max Height	Typical		16m
	Within 3.0 m of street PL		10m
	Proposed 5 Storeys		9' Ceilings ~16m

Development Statistics			
Amenity Area	Min, private amenity per unit	5.0 m ²	54 R ²
	Min, common amenity space (optional)	50 m ²	538 R ²
Landscaping	Minimum site area to be landscaped*	40%	1941 m ²
	Minimum landscaped area to be at grade	90%	1747 m ²
	Maximum area to be landscaped (street-oriented)	50%	971 m ²
	Maximum landscaped area to be concrete	30%	291 m ²
	*Landscaped Area Reductions available	10%	485 m ²
Parking		Required	Provided
	Min, Motor Vehicle Parking Stalls (0.625 / Unit)	97.5	156
	Min, Visitor Motor Vehicle Stalls (Zero / Unit)	0	15
	Min, Loading Stalls (1 / 9300m ² of GFA)	2	2
Bicycle Parking			
	Min, Class 1 Stalls (1 / Unit)	156	118
	Min, Class 2 Stalls (0.1 / Unit)	15.6	16

Gross Floor Area			
Level	Imperial	Metric	
Building 1			
Level 1	11700 R ²	1086.94 m ²	
Level 2	11737 R ²	1090.39 m ²	
Level 3	11724 R ²	1090.39 m ²	
Level 4	11640 R ²	1081.42 m ²	
Level 5	11640 R ²	1081.39 m ²	
	58454 R ²	5430.52 m ²	
Building 2			
Level 1	11651 R ²	1082.44 m ²	
Level 2	11725 R ²	1089.25 m ²	
Level 3	11724 R ²	1090.23 m ²	
Level 4	11627 R ²	1080.19 m ²	
Level 5	11627 R ²	1080.22 m ²	
	58355 R ²	5421.33 m ²	
Grand total	116808 R ²	10851.86 m ²	

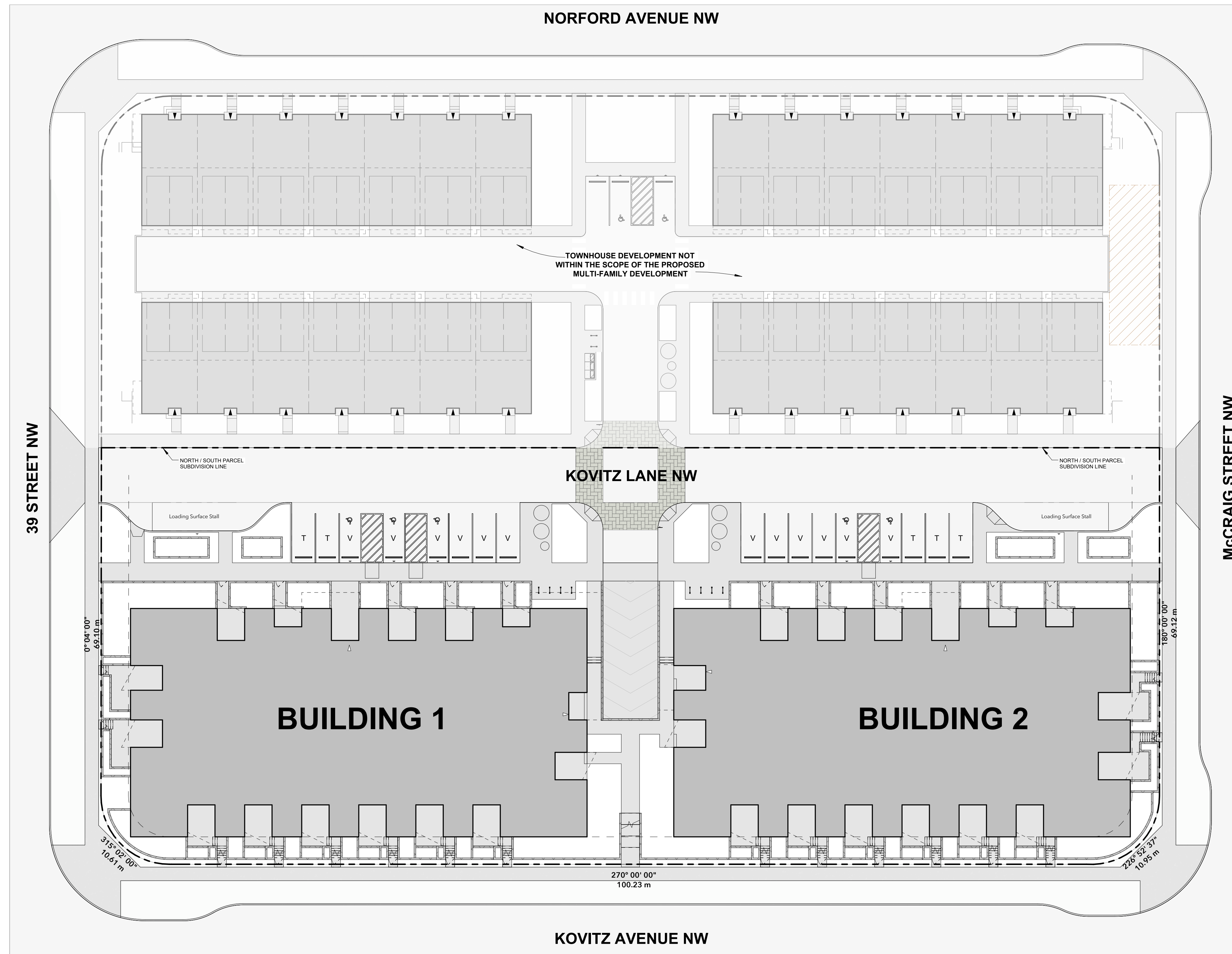
Landscaping Area Schedule			
Name	Imperial	Metric	
Landscaped			
Landscaped	15999 R ²	1486.34 m ²	
Landscaped Area	15999 R ²	1486.34 m ²	
Non-Landscaped			
Parking / Driveways	6121 R ²	568.69 m ²	
Waste & Recycling	122 R ²	11.33 m ²	
Building 1 Footprint	13455 R ²	1250.00 m ²	
Building 2 Footprint	13455 R ²	1250.00 m ²	
	33153 R ²	3080.02 m ²	
Total Parcel			
South Parcel Area	49152 R ²	4566.37 m ²	
	49152 R ²	4566.37 m ²	

Parking Count Multi			
Type	W	L	Qty.
Loading			
Loading Surface Stall	3.10 m	9.20 m	2
Residence			
Parkade Stall	2.50 m	5.40 m	133
Parkade Stall	2.85 m	5.40 m	18
Tiled Surface Stall	2.60 m	5.40 m	5
			156
Visitor			
Visitor Accessible Surface Stall	2.40 m	5.40 m	5
Visitor Surface Stall	2.60 m	5.40 m	7
			12

Bicycle Parking		
Description		Qty.
Class 1 Bicycle Parking		
Bike Room - Building 1		16
Bike Room - Building 2		22
Parkade		56
		94
Class 2 Bicycle Parking		
CLASS 2 BIKE PARKING U RACK		16
		16
TOTAL BICYCLE STALLS		110

Storage Lockers		
Type		Qty.
Storage Locker - 2500 x 1500		36
Storage Locker - 3500 x 1500		2
		38

1 Overall Site Plan
1 : 250



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PROJECT STATUS

Development Permit

PROJECT

Block 11 University Multi

Kovitz Avenue NW
Lot 1, Block 11, Plan 1935 JK

TITLE
Site Context & Bylaw

PROJECT NUMBER
24-025m

DRAWING NUMBER

SCALE
As indicated DP1.0

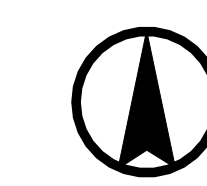
DESIGNER
NT

VERSION ISSUE DATE
2025 10 15

DP DRAFTERPERSON
CF

DP CHECKED
CF

BP DRAFTERPERSON
BP CHECKED





1 North Elevation
1 : 200



2 East Elevation
1 : 200



3 West Elevation
1 : 200

Materials

#	Description	Manufacturer	Colour	Material Image
1	Board & Batten - Spaced 600 James Hardie O.C.		Arctic White - Smooth	
2	Vertical Metal Siding & Soffits Cascadia Metals		Light Pine	
3	Cementitious Infill Panels & Fascias		Black	
4	Metal-clad Vinyl Windows & Doors		Black	
5	Face-mount Metal Picket Guards		Black	
6	Concrete		Natural	
7	Metal Canopy		Black	
8	Flashing		To Match Adjacent Colour / Tone	
9	Brick Endicott - Face Brick Autumn Sands Square Edge (No Texture) Size - Slim Kings		Autumn Sands	

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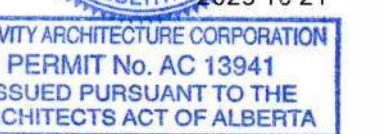
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PROJECT

Block 11 University Multi

Kovitz Avenue NW
Lot 1, Block 11, Plan 1935 JK

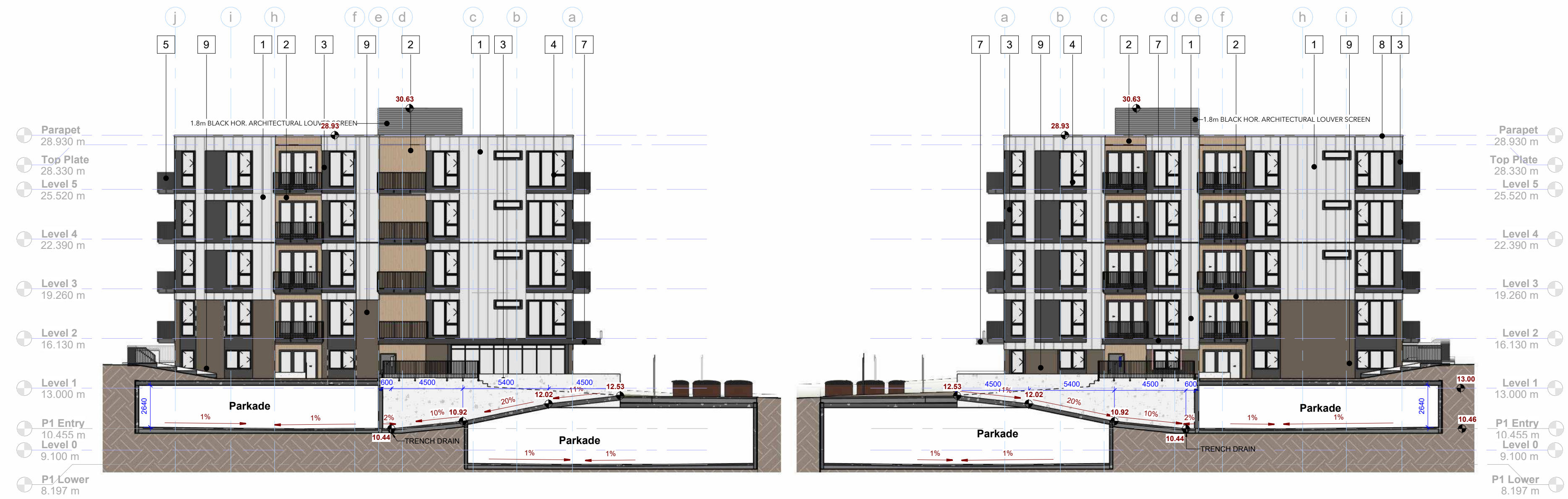
TITLE
Elevations

PROJECT NUMBER 24-025m	DRAWING NUMBER DP3.0
SCALE 1 : 200	DESIGNER NT
DESIGNER NT	VERSION / ISSUE DATE 2025 10 15
DP DRAFTSPERSON CF	DP CHECKED CF
BP DRAFTSPERSON	BP CHECKED

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1 South Elevation
1 : 200



2 East Elevation Building 1
1 : 200

3 West Elevation Building 2
1 : 200

Materials

#	Description	Manufacturer	Colour	Material Image
1	Board & Batten - Spaced 600 James Hardie O.C.		Arctic White - Smooth	
2	Vertical Metal Siding & Soffits Cascadia Metals		Light Pine	
3	Cementitious Infill Panels & Fascias		Black	
4	Metal-clad Vinyl Windows & Doors		Black	
5	Face-mount Metal Picket Guards		Black	
6	Concrete		Natural	
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PROJECT

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Kovitz Avenue NW
Lot 1, Block 11, Plan 1935 JK

TITLE

Elevations

PROJECT NUMBER

24-025m

SCALE

1 : 200

DESIGNER

NT

DP DRAFTSPERSON

CF

BP DRAFTSPERSON

DRAWING NUMBER

DP3.1

VERSION

ISSUE DATE

2025 10 15

DP CHECKED

CF

BP CHECKED



4 South Sunken Patio Entry 1
1 : 200



5 South Sunken Patio Entry 2
1 : 200



6 South Sunken Patio
1 : 200



BUILDING 1 NORTH ENTRY



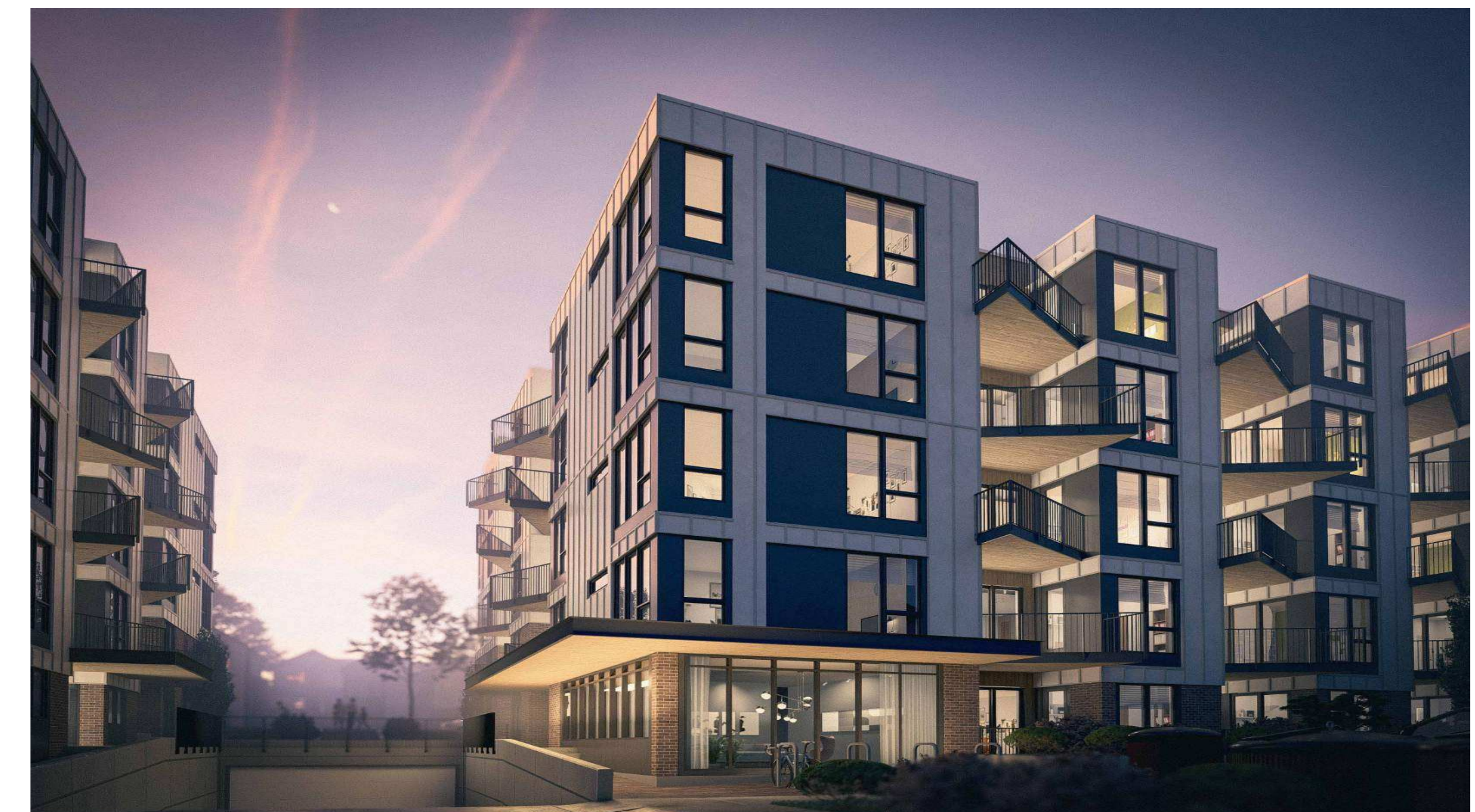
BUILDING 1 NORTHWEST CORNER



BUILDING 1 & 2 COURTYARD SOUTH



BUILDING 1 SOUTHWEST CORNER



BUILDING 1 & 2 NORTH RAMP ENTRY

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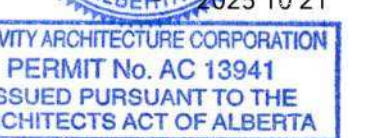
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PROJECT

Block 11 University Multi

Kovitz Avenue NW
 Lot 1, Block 11, Plan 1935 JK

TITLE
 Visualizations

PROJECT NUMBER

24-025m

SCALE

DRAWING NUMBER

DP4.0

DESIGNER

NT

DP DRAFTSPERSON

CF

BP DRAFTSPERSON

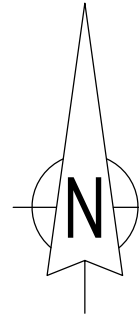
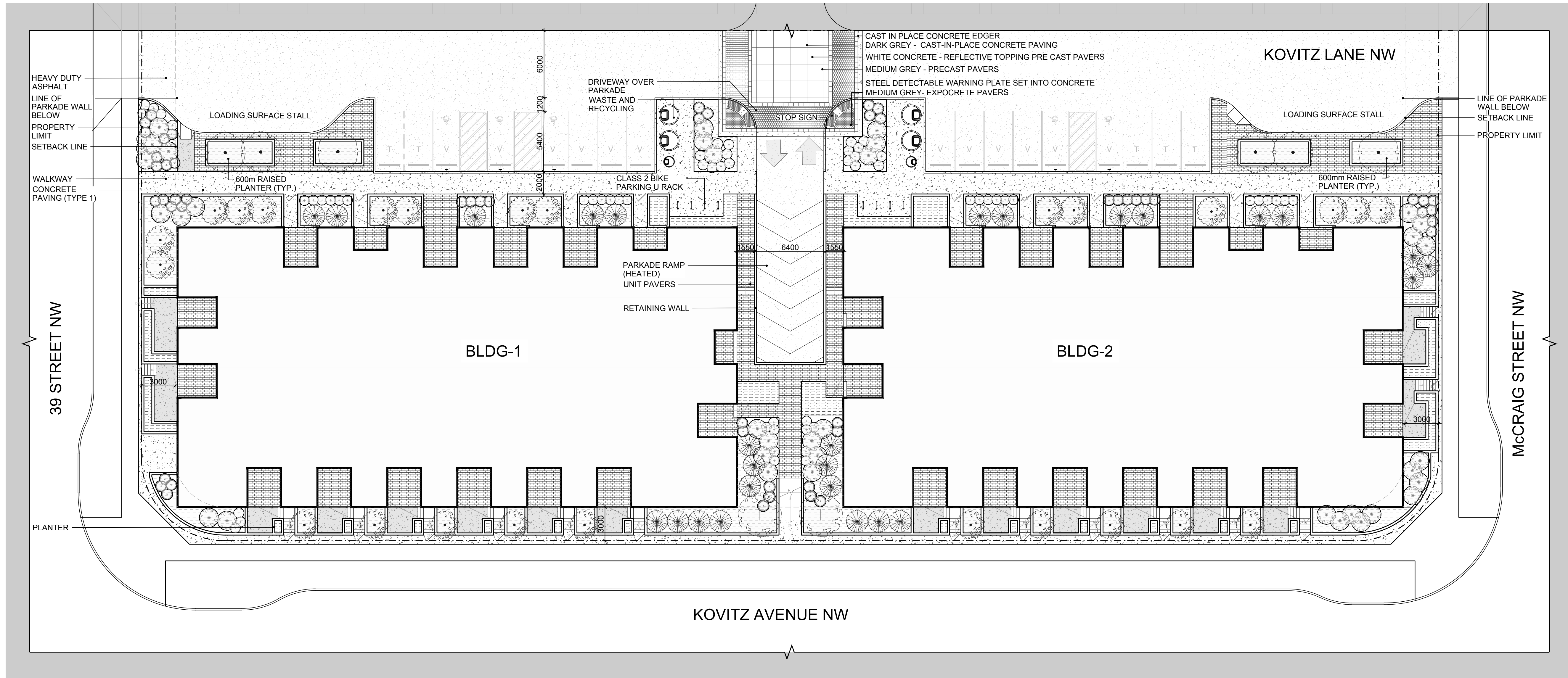
VERSION ISSUE DATE

2025 10 15

DP CHECKED

CF

BP CHECKED



CLIENT
Luxuria Homes Ltd.

PROJECT MANAGEMENT
Gravity Architecture

CONSULTANT

GEORGE HARRIS COLLABORATIVE INC.
 Landscape Architecture / Urban Design

SUB CONSULTANT

GENERAL LEGEND:

- PROPERTY LIMIT
- BUILDING OUTLINE
- RETAINING WALL (REFER TO CIVIL)
- BUILDING ENTRY
- SETBACK LIMIT
- ROAD CURB
- VEHICULAR ACCESS
- PARKADE

HARDSCAPE LEGEND:

- CONCRETE PAVING (TYPE 1)
- CONCRETE PAVING (TYPE 2)
- UNIT PAVERS
- HEAVY DUTY ASPHALT
- DARK GREY - CAST-IN-PLACE CONCRETE PAVING
- MEDIUM GREY - CONCRETE PAVERS
- STEEL DETECTABLE WARNING PLATE SET
- MEDIUM GREY - EXPROCRETE PAVERS

FURNITURE LEGEND:

- WASTE AND RECYCLING MOLOKS
- BIKE RACKS

REV	DATE	ISSUED FOR	DRAWN	CHECK	DESIGN
04	2025.09.17	DEVELOPMENT PERMIT	DM	JB	JB
03	2025.09.08	DEVELOPMENT PERMIT	DM	JB	JB
02	2025.05.27	DEVELOPMENT PERMIT	LG	SM	JB
01	2025.01.29	CONCEPT FOR REVIEW	DM	JB	JB

PROJECT
Block 11 Multi – Kovitz Lane
Block 11, Plan 1935 JK University District Calgary

DISCIPLINE
LANDSCAPE

SHEET TYPE
DEVELOPMENT PERMIT

SHEET TITLE
MASTER PLAN LANDSCAPE LAYOUT

SCALE	PROJECT NO.	SHEET NO.	REV
1:200	24-766	DP101	04

01 LANDSCAPE PLAN
DP101 SCALE 1:200

PLANTING SCHEDULE

DECIDUOUS TREES

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
02	TC		Thunderchild Crabapple	<i>Malus 'Thunderchild'</i>	50mm Cal.	HEIGHT:4800mm SPREAD:4000mm
06	PK		Princess Kay Plum	<i>Prunus nigra 'Princess Kay'</i>	50mm Cal.	HEIGHT:4000mm SPREAD:1800mm
25	GC		Guardin Columnar Aspen	<i>Fraxinus pennsylvanica</i>	75mm Cal.	HEIGHT:12000mm SPREAD:3000mm

EVERGREEN TREES

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
27	WW		Weeping White Spruce	<i>Picea glauca 'Pendula'</i>	3000mm MIN. HEIGHT	HEIGHT: 14000mm SPREAD: 2000mm

DECIDUOUS SHRUBS

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
36	BE		Black Elderberry	<i>Sambucus canadensis</i>	5 Gal.	HEIGHT:1800mm SPREAD:1800mm
53	WS		Western Snowberry	<i>Cornus sericea</i>	5 Gal.	HEIGHT:900mm SPREAD:900mm
61	WW		Wolf Willow	<i>Elaeagnus commutata</i>	5 Gal.	HEIGHT:3000mm SPREAD:1500mm

GRASSES AND GROUND COVERS LEGEND

QTY	KEY	SYMBOL	COMMON NAME
499.26 m ²	WM		WOOD MULCH
82.07m ²	NG		NATIVE GRASSES

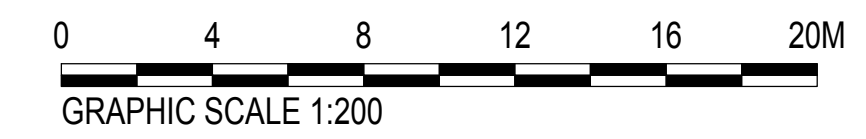
LANDSCAPE CALCULATIONS:
TOTAL LOT AREA = 5261.72m² OR 100%

- PROPOSED BUILDINGS = 2500 m² OR 47.50%
- ASPHALT LANE = 1220.11 m² OR 23.18%
- WASTE AND RECYCLING MOLOKS = 11.22 m² OR 0.44%
- HEAVY DUTY UNIT PAVERS = 57.90m² OR 1.10%
- TOTAL PROVIDED LANDSCAPE AREA = 837.83 + 581.33 = 1419.16m² OR 26.9%
- TOTAL PAVING MATERIAL = 837.83m² OR 15.92%
 1. CONCRETE PAVING TYPE 01 = 473.17m² OR 56.47% OF PAVING
 2. CONCRETE PAVING TYPE 02 = 109.57 m² OR 13.07% OF PAVING
 3. UNIT PAVERS = 255.09 m² OR 30.44% OF PAVING
- TOTAL SOFTSCAPE AREA = 581.33 m² OR 11.04%
 1. WOOD MULCH = 499.26m² OR 85.88 OF SOFTSCAPE AREA
 2. NATIVE GRASSES = 82.07 m² OR 13.72% OF SOFTSCAPE AREA

- PLANTING REQUIREMENTS:**
1. A MINIMUM OF (1.0) TREES AND (2.0) SHRUBS PLANTED FOR EVERY (45.00 sq.m.) OF LANDSCAPED AREA PROVIDED.
TOTAL REQUIRED IS (40) TREES AND (80)SHRUBS.
 2. A MINIMUM OF (25.0) PERCENT OF ALL TREES PROVIDED MUST BE CONIFEROUS.
 3. DECIDUOUS TREES MUST HAVE A MINIMUM CALIPER OF (50) MILLIMETERS AND AT LEAST (50%) OF THE PROVIDED DECIDUOUS TREES MUST HAVE A MINIMUM CALIPER OF (75) MILLIMETERS AT THE TIME OF PLANTING.
 4. CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 2.0 METERS AND AT LEAST (50%) OF THE PROVIDED CONIFEROUS TREES MUST BE A MINIMUM OF 3.0 METERS IN HEIGHT AT THE TIME OF PLANTING.

PROVIDED PLANTING:

- TOTAL TREES: 60
 - (33) DECIDUOUS TREES (MIN 75 mm CALIPER)
 - (27) CONIFEROUS TREES (MIN 3 m HEIGHT AT TIME OF PLANTING)
 - TOTAL SHRUBS: 150
- ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN THE CITY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION AND BE PHYTOSANITARY. THE FOLLOWING PLANTING REQUIREMENTS SHALL BE MET IN ALL LANDSCAPED AREAS IN MULTI-ATTACHED WELLING, COMMERCIAL AND INDUSTRIAL DISTRICTS.



SHEET SIZE - ARCH D (36.00"X 48.00" INCHES)

50mm

10mm

SCANNING SCALE