

Block 11 University Multi for LUXURIA

Development Permit



DEVELOPMENT SHEET LIST

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DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

#	DATE	DESCRIPTION
1	2025 02 05	Issued for AC
2	2025 05 26	Re-issued for AC
3	2025 07 28	Re-issued for AC
4	2025 09 24	DP Submission
5	2026 04 08	DR1 Submission

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PERMIT NUMBERS

PROJECT STATUS

Development Permit

PROJECT

Block 11 University Multi

Kovitz Avenue NW
Lot 1, Block 11, Plan 1935 JK

TITLE
Cover Sheet

PROJECT NUMBER

24-025m

SCALE

DRAWING NUMBER

DP0.0

DESIGNER

NT

DP DRAFTSPERSON

CF

BP DRAFTSPERSON

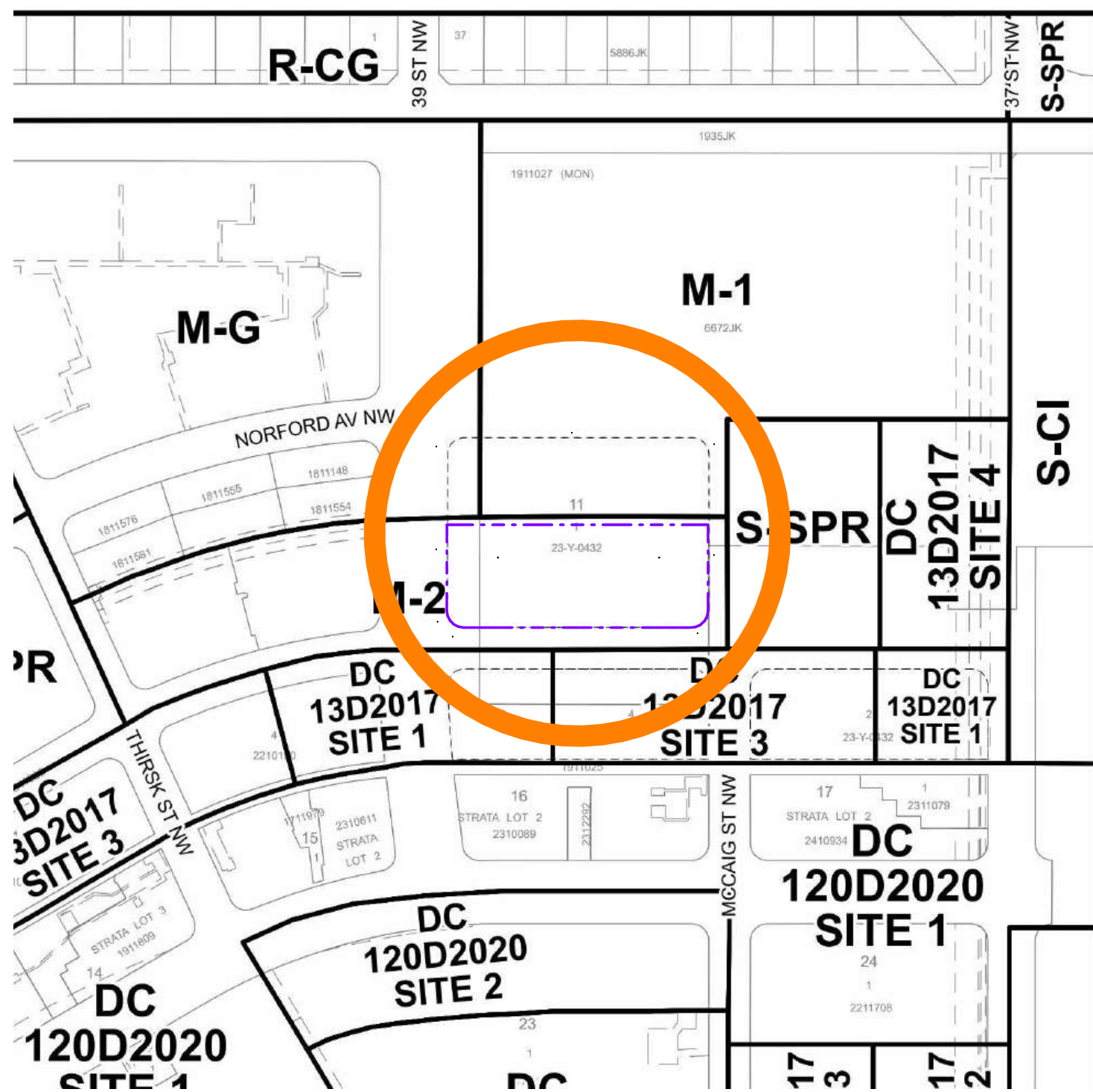
VERSION ISSUE DATE

2026 04 08

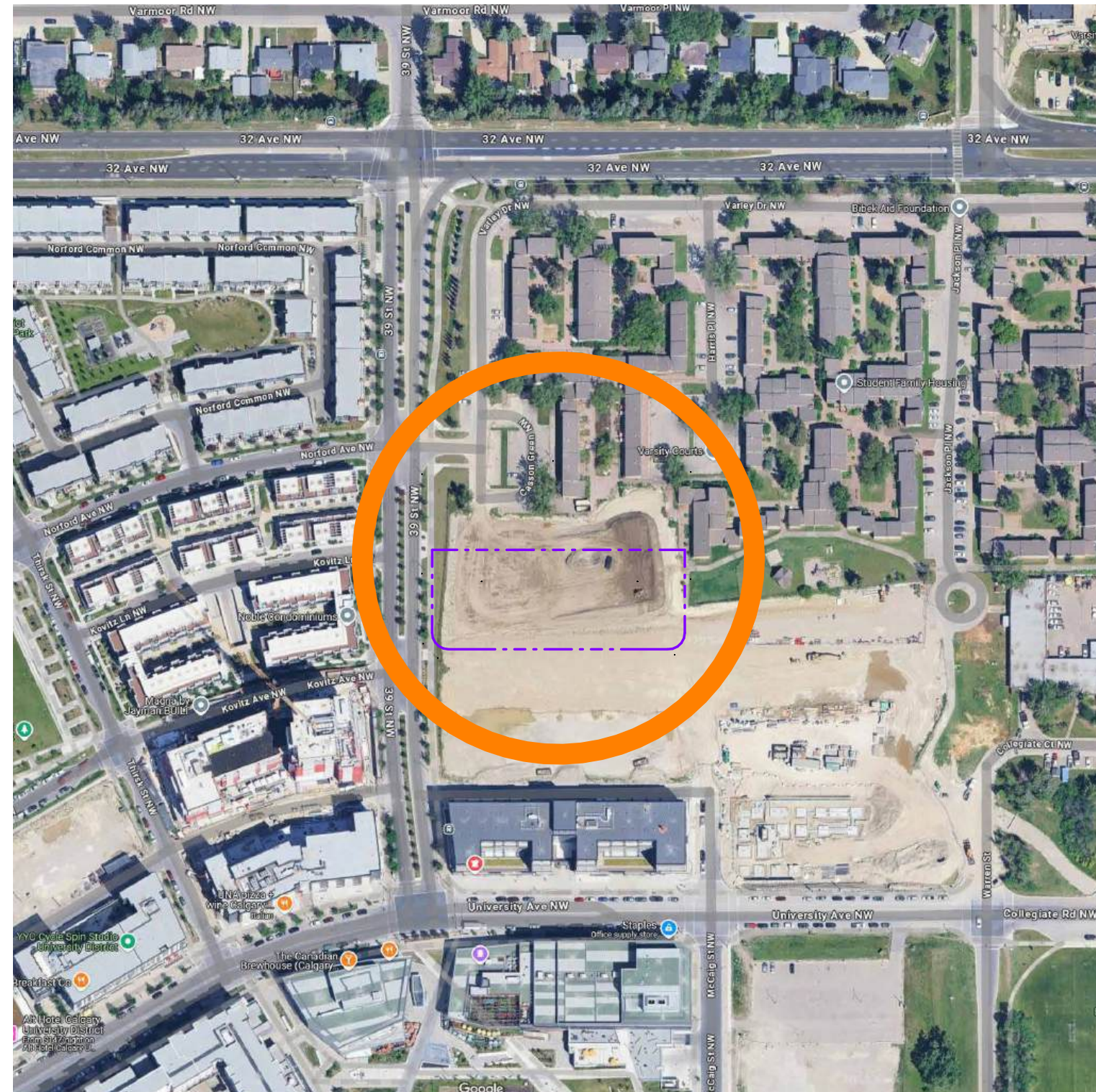
DP CHECKED

CF

BP CHECKED



2 LUB Context
1 : 2500



3 Aerial Context
1 : 2500

Development Statistics			
Land Use District	M-2: Multi-Residential - Medium Profile	0.526 ha	1.30 ac
Proposed Use	Multi-Residential Development, Minor		
Legal Description	Lot 1, Block 11, Plan 1935 JK		
Municipal Address	Kovitz Avenue NW		
Community	University District		
Setbacks	Street-Oriented	0.0 m	✓
	Shared with Lane or Another Parcel	1.2 m	
	Shared with Street	3.0 m	
Density	Minimum (no max)	60 UPH	31 Units
	Proposed 5 Storeys	323 UPH	169 Units
Floor Area Ratio	Maximum	3.0	15,785 m ²
	Proposed 5 Storeys		see GFA
Max Height	Typical		16m
	Within 3.0 m of street PL		10m
	Proposed 5 Storeys		9' Ceilings ~16m

Development Statistics			
Amenity Area	Min, private amenity per unit	5.0 m ²	54 R ²
	Min, common amenity space (optional)	50 m ²	538 R ²
Landscaping	Minimum site area to be landscaped*	40%	1941 m ²
	Minimum landscaped area to be at grade	90%	1747 m ²
	Maximum area to be hardscaped (street-oriented)	50%	971 m ²
	Maximum hardscaped area to be concrete	30%	291 m ²
	*Landscaped Area Reductions available	10%	485 m ²
Parking	Required	Provided	
	Min, Motor Vehicle Parking Stalls (0.625 / Unit)	97.5	156
	Min, Visitor Motor Vehicle Stalls (Zero / Unit)	0	7
	Min, Loading Stalls (1 / 9300m ² of GFA)	2	2
Bicycle Parking	Min, Class 1 Stalls (1 / Unit)	156	156
	Min, Class 2 Stalls (0.1 / Unit)	15.6	16

Gross Floor Area			
Level	Imperial	Metric	
Building 1			
Level 1	11635 R ²	1080.93 m ²	
Level 2	11727 R ²	1089.43 m ²	
Level 3	11729 R ²	1089.43 m ²	
Level 4	11630 R ²	1080.46 m ²	
Level 5	11630 R ²	1080.43 m ²	
	58348 R ²	5420.68 m ²	
Building 2			
Level 1	11585 R ²	1076.25 m ²	
Level 2	11714 R ²	1088.29 m ²	
Level 3	11714 R ²	1088.27 m ²	
Level 4	11617 R ²	1079.22 m ²	
Level 5	11617 R ²	1079.25 m ²	
	58247 R ²	5411.28 m ²	
Grand total	116594 R ²	10831.96 m ²	

Landscaping Area Schedule			
Name	Imperial	Metric	
Landscaped	15999 R ²	1486.34 m ²	
Landscaped Area	15999 R ²	1486.34 m ²	
Non-Landscaped			
Parking / Driveways	6121 R ²	568.69 m ²	
Waste & Recycling	122 R ²	11.33 m ²	
Building 1 Footprint	13455 R ²	1250.00 m ²	
Building 2 Footprint	13455 R ²	1250.00 m ²	
	33153 R ²	3080.02 m ²	
Total Parcel			
South Parcel Area	56638 R ²	5261.86 m ²	
	56638 R ²	5261.86 m ²	

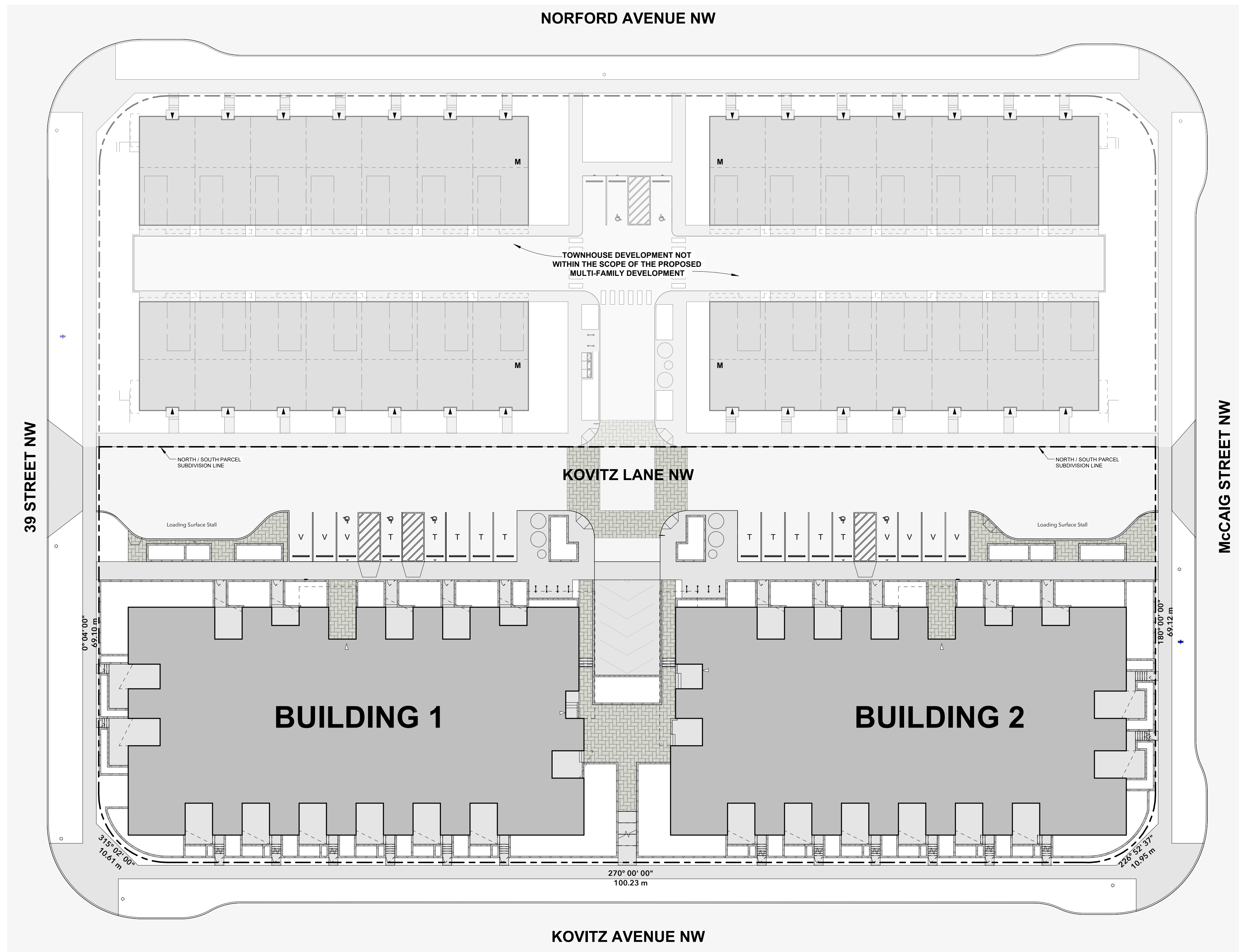
Parking Count Multi			
Type	W	L	Qty.
Loading			
Loading Surface Stall	3.10 m	9.20 m	2
Residence			
Barrier Free Surface Stall	2.40 m	5.40 m	3
Parkade Stall	2.50 m	5.40 m	128
Parkade Stall	2.85 m	5.40 m	18
Titled Surface Stall	2.60 m	5.40 m	7
			156
Visitor			
Barrier Free Surface Stall	2.40 m	5.40 m	2
Visitor Surface Stall	2.60 m	5.40 m	5
			7

Bicycle Parking			
Description	Type	Qty.	
Class 1 - Secure			
Bike Room - Building 1	Wall Mounted	16	
Bike Room - Building 2	Wall Mounted	24	
Parkade	Floor Mounted	116	
Class 2 - Unsecure			
CLASS 2 BIKE STALLS	Floor Mounted	16	
		16	

Storage Lockers		
Type	Qty.	
Storage Locker - 2500 x 1500	36	
Storage Locker - 3500 x 1500	2	
	38	

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

1 Overall Site Plan
1 : 2500



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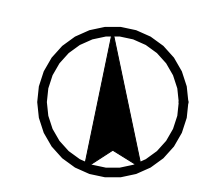


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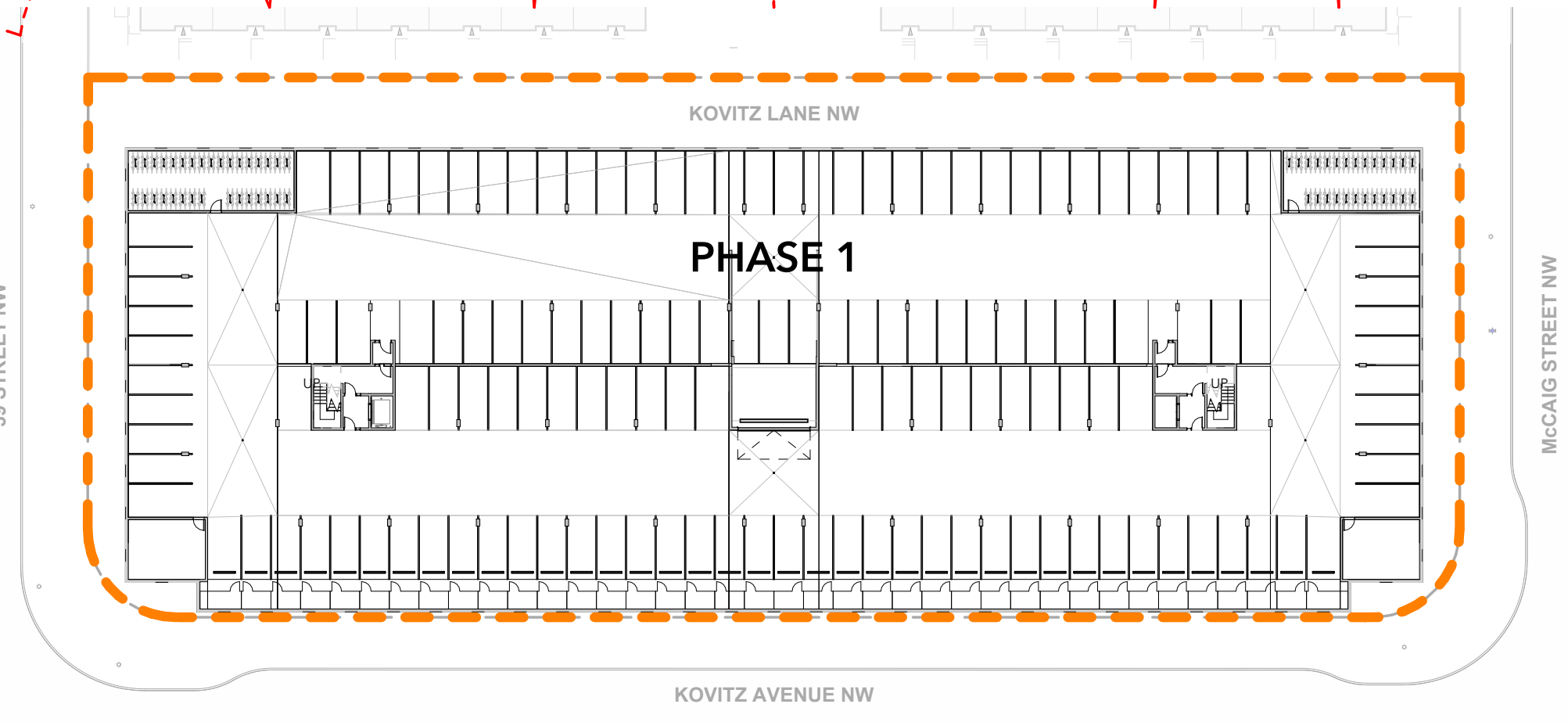
PROJECT STATUS
Development Permit
PROJECT
Block 11 University Multi

Kovitz Avenue NW
Lot 1, Block 11, Plan 1935 JK
TITLE
Site Context & Bylaw

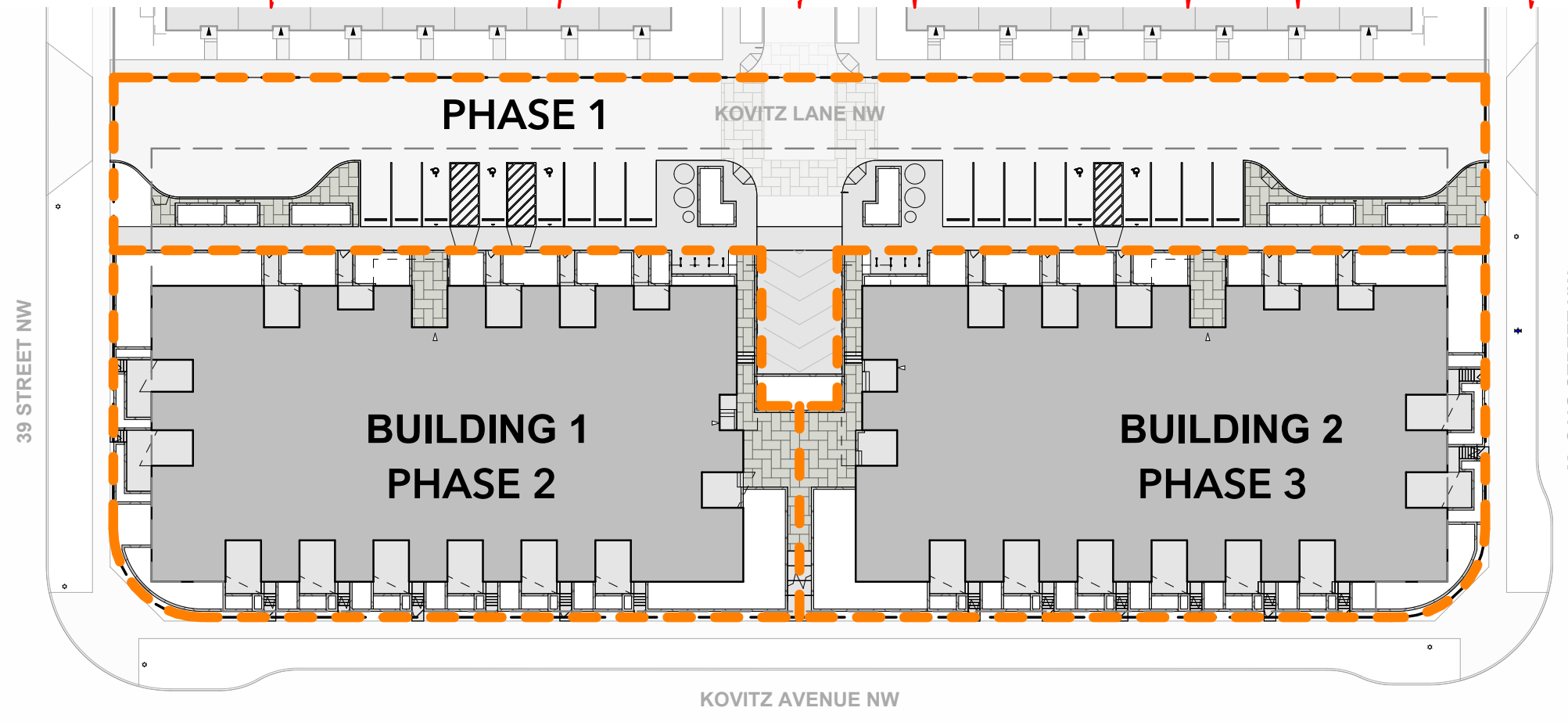
PROJECT NUMBER	DRAWING NUMBER
24-025m	
SCALE	DP1.0
As indicated	
DESIGNER	VERSION ISSUE DATE
NT	2026 04 08
DP DRAFTSPERSON	DP CHECKED
CF	CF
BP DRAFTSPERSON	BP CHECKED



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7 Phase 1
1: 500



8 Phase 2 & 3
1: 500

PHASING LEGEND

PHASING BOUNDARY LINE

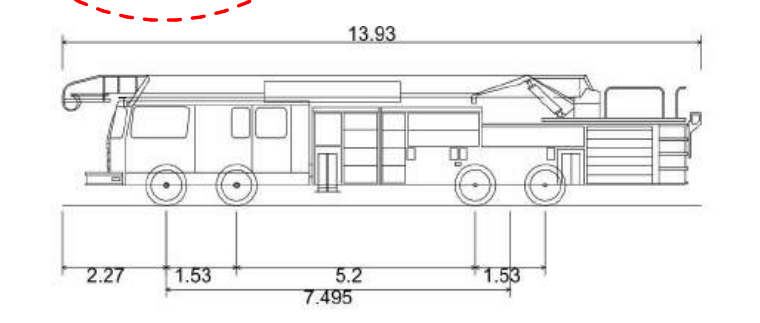
PHASE 1 to be the first phase of construction of this development, which will include: Parkade, roadways, soft and hard landscaping surrounding and above Parkade. Make, surface vehicle parking stalls and sidewalks adjacent to the buildings as per the phasing site plan.

PHASE 2 to be the second phase of construction of this development, which will include Building 1, soft and hard landscaping and bike racks.

PHASE 3 to be the second phase of construction of this development, which will include Building 2, soft and hard landscaping and bike racks.

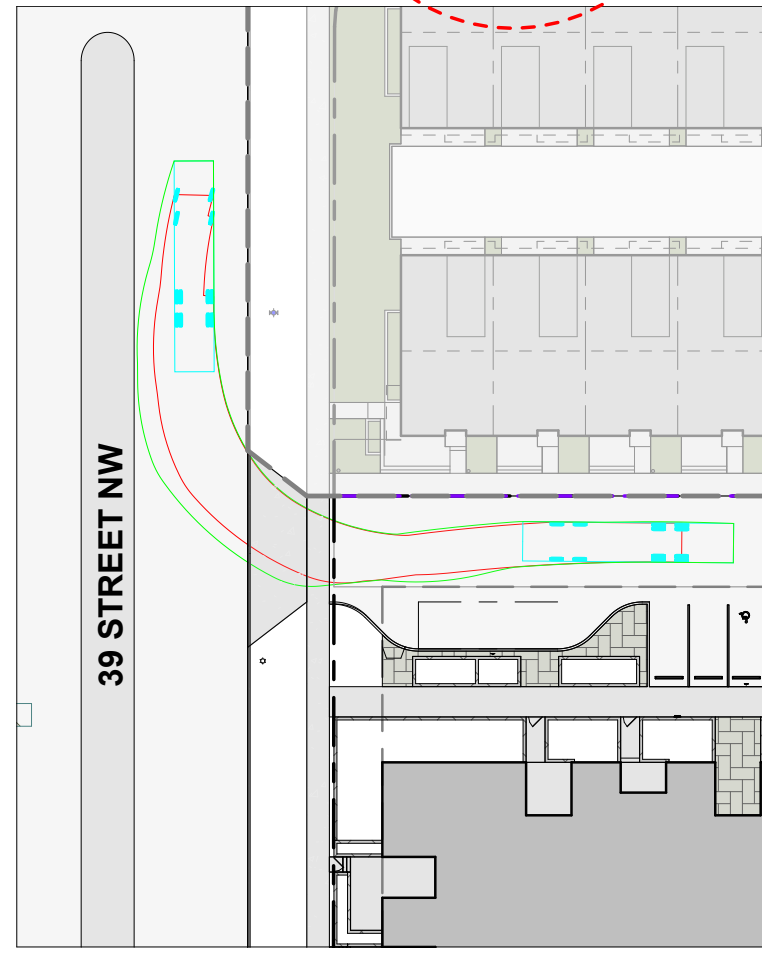
Barrier free pedestrian access, access to permanent or temporary waste and recycling facilities and access to public streets and pathways will be available at each phase of the development for the occupancy of its associated building.

Final Lift of asphalt, line paint and curb stops on all roads and parking stalls to be completed with the last phase of construction that includes a building.

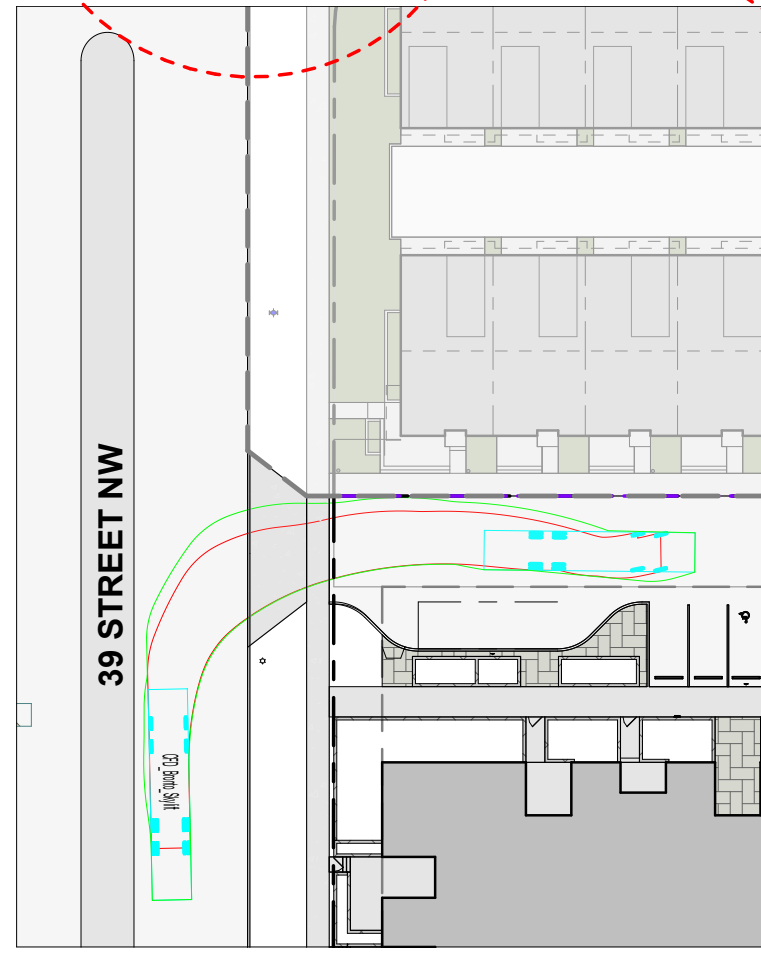


CFD Bronto Skylift Fire Truck
 Overall Length 13.930m
 Overall Width 2.570m
 Overall Body Height 2.853m
 Min Body Ground Clearance 0.308m
 Track Width 2.570m
 Lock-to-lock time 6.00s
 Max Wheel Angle 47.50°

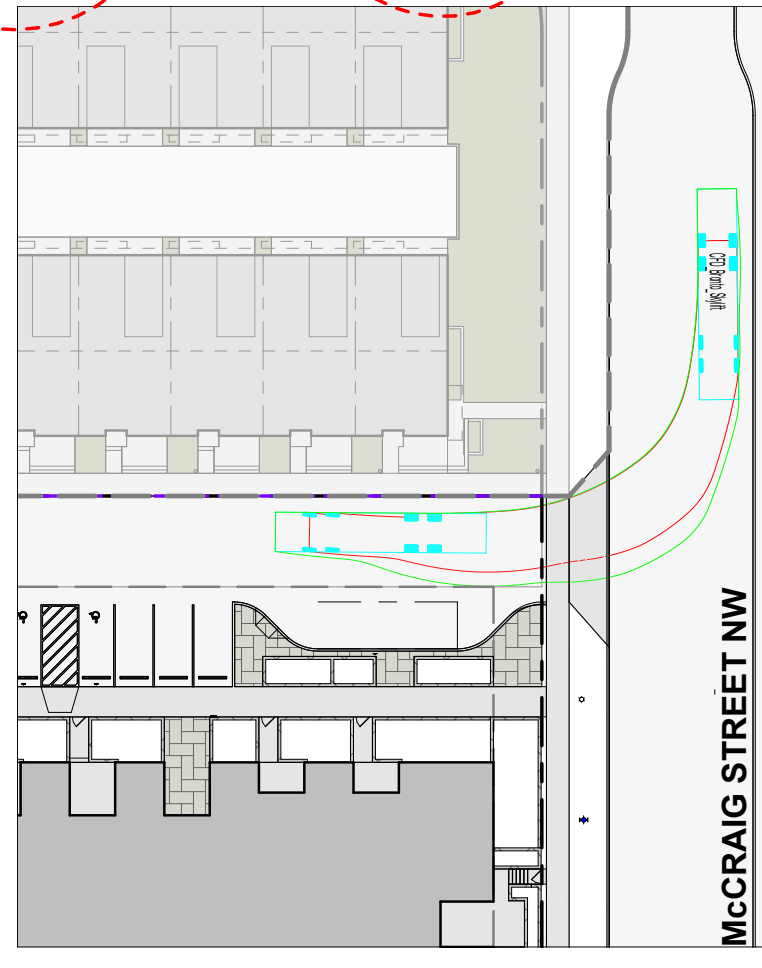
Fire Access Truck Profile



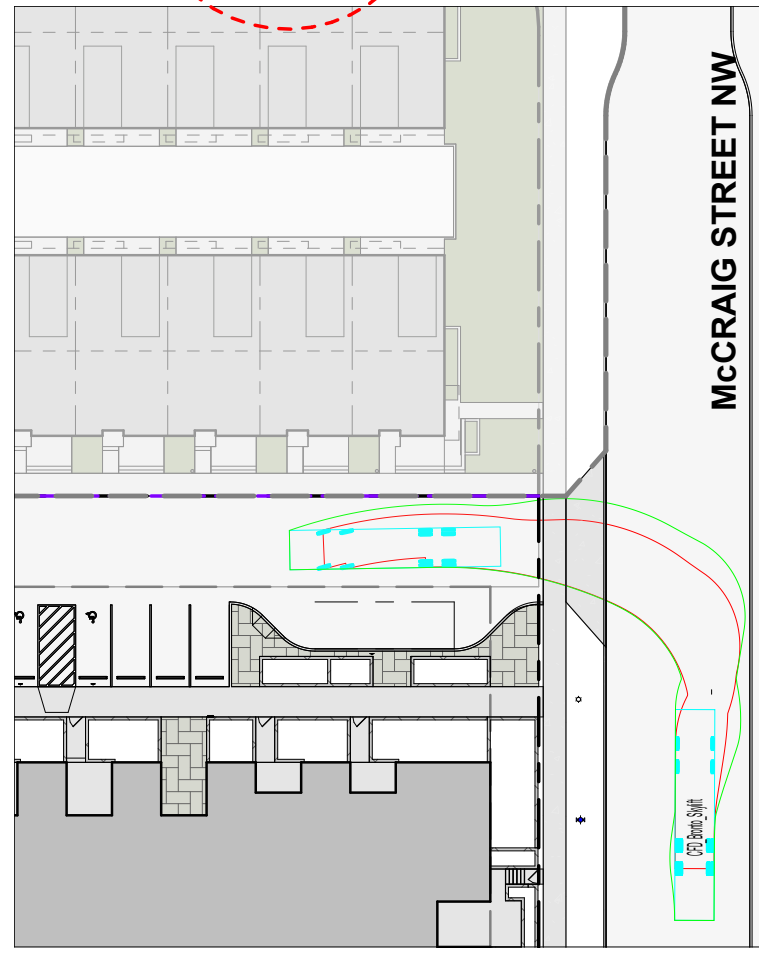
1 Fire Vehicle Sweep - West Exit
1: 500



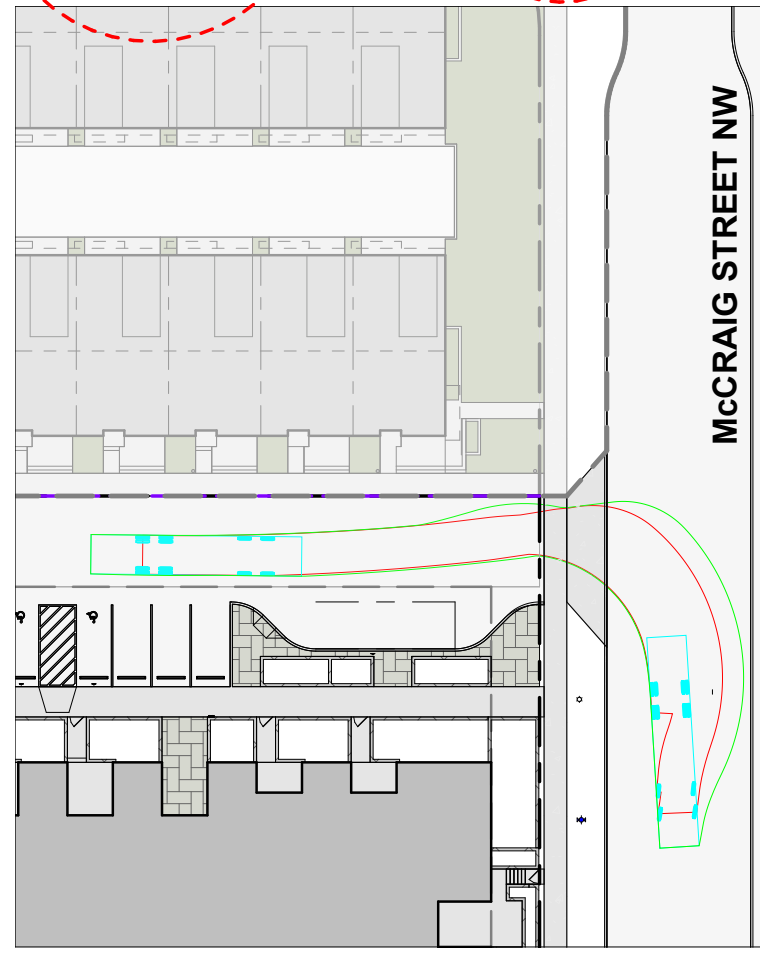
2 Fire Vehicle Sweep - West Entry
1: 500



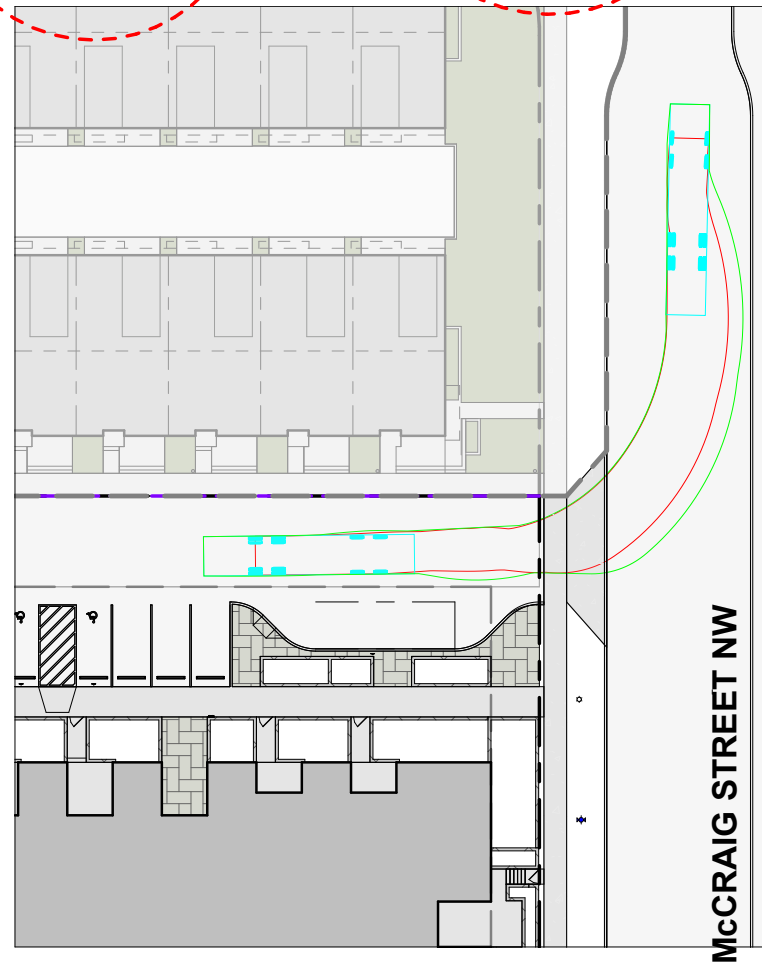
3 Fire Vehicle Sweep - Southbound East Entry
1: 500



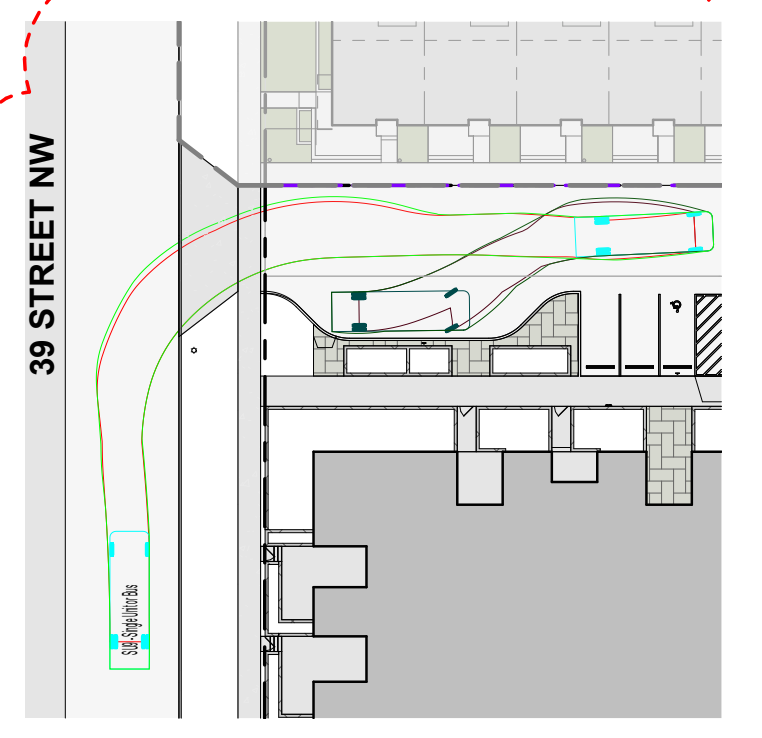
4 Fire Vehicle Sweep - Northbound East Entry
1: 500



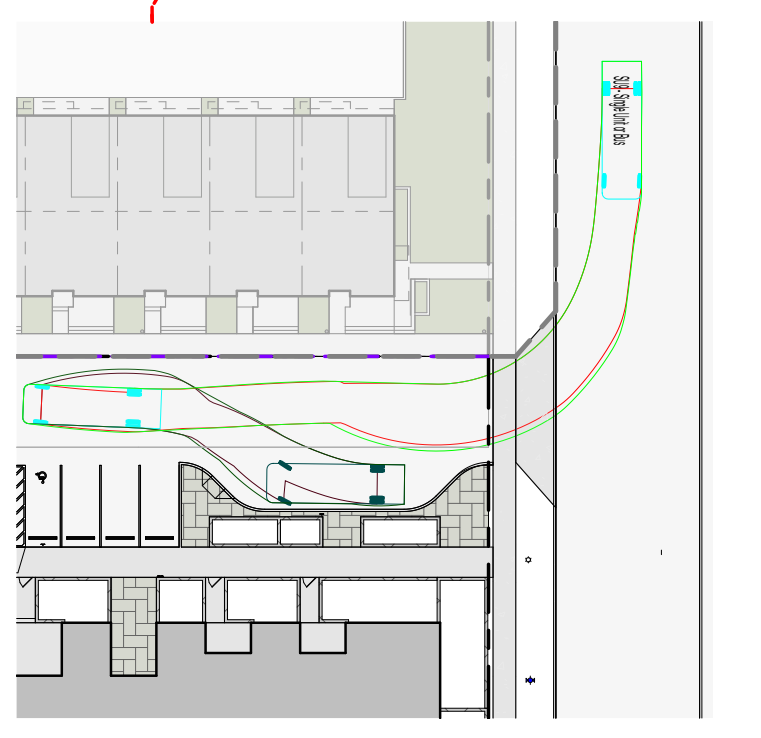
5 Fire Vehicle Sweep - East Exit Southbound
1: 500



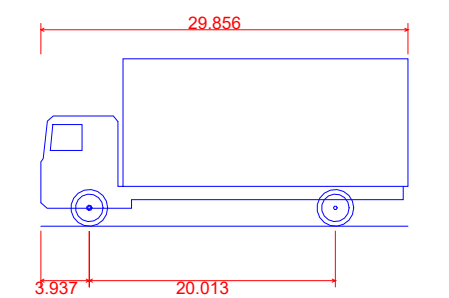
6 Fire Vehicle Sweep - East Exit Northbound
1: 500



9 SU9 Vehicle Sweep - West Entry
1: 500



10 SU9 Vehicle Sweep - Southbound East Entry
1: 500



SU9 - Single Unit or Bus
 Overall Length 29.856m
 Overall Width 8.530m
 Overall Body Height 13.615m
 Min Body Ground Clearance 1.460m
 Track Width 8.530m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 41.995ft

SU9 Truck Profile

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PROJECT STATUS

Development Permit

PROJECT

Block 11 University Multi

Kovitz Avenue NW
 Lot 1, Block 11, Plan 1935 JK

TITLE
Site Phasing Plan & Fire Access

PROJECT NUMBER 24-025m DRAWING NUMBER

SCALE: As indicated **DP1.4**

DESIGNER NT VERSION ISSUE DATE 2026 04 08
 DP DRAFTSPERSON CF DP CHECKED
 CF CF
 BP DRAFTSPERSON BP CHECKED

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1 North Elevation
1 : 200

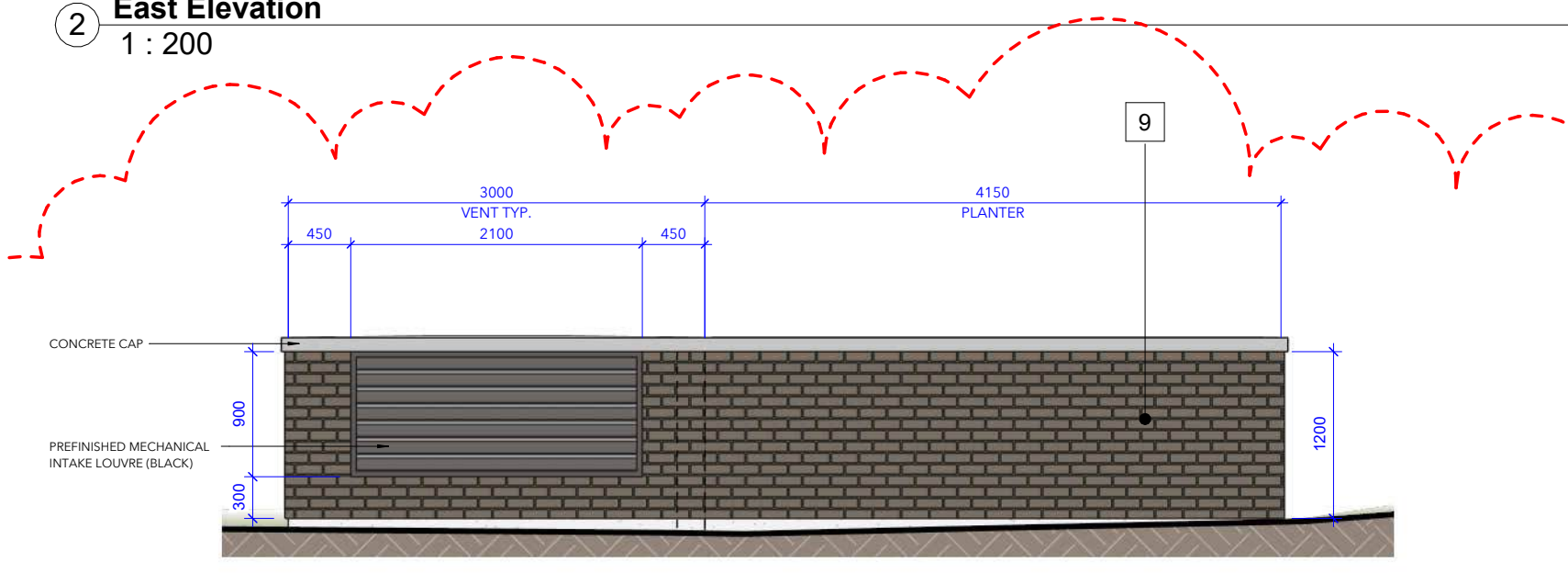


2 East Elevation
1 : 200

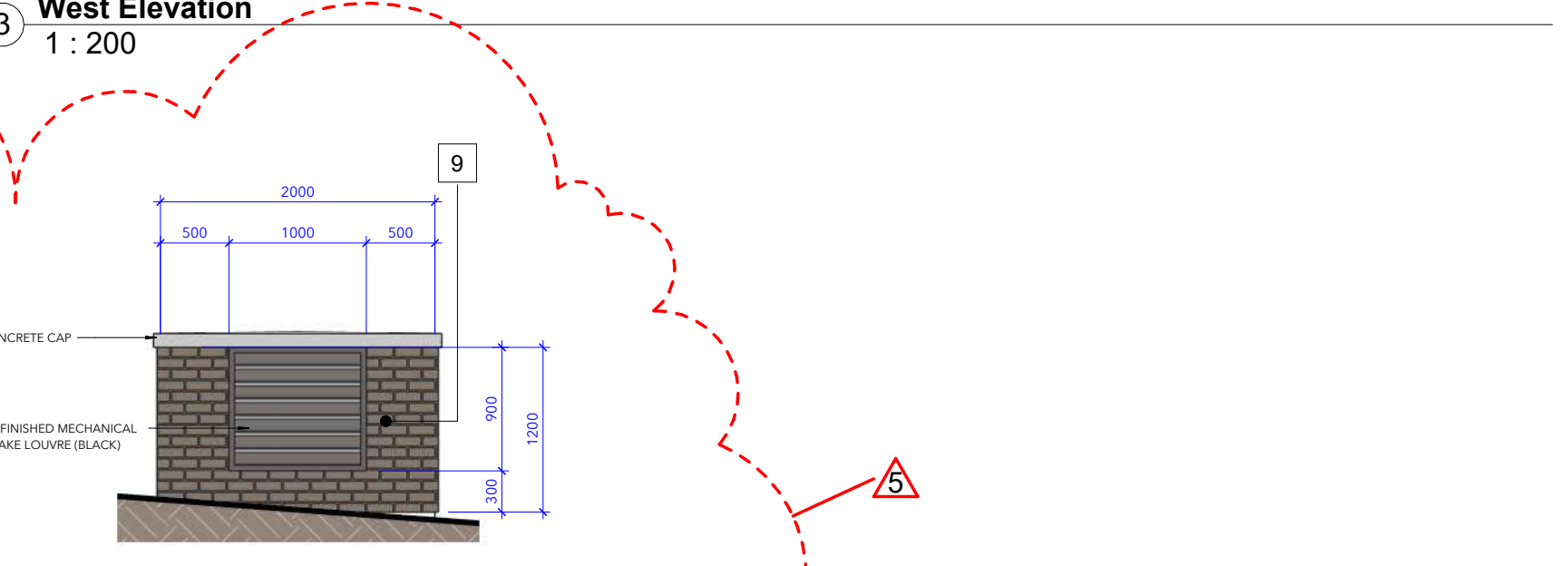


3 West Elevation
1 : 200

#	Description	Manufacturer	Colour	Material Image
1	Board & Batten - Spaced 600	James Hardie	Arctic White - Smooth	
2	Vertical Metal Siding & Soffits	Cascadia Metals	Light Pine	
3	Cementitious Infill Panels & Fascias		Black	
4	Metal-clad Vinyl Windows & Doors		Black	
5	Face-mount Metal Picket Guards		Black	
6	Concrete		Natural	
7	Metal Canopy		Black	
8	Flashing		To Match Adjacent Colour / Tone	
9	Brick	Endicott - Face Brick Square Edge (No Texture) Size - Slim Kings	Autumn Sands	



4 North / South Typ. Parkade Vent Elevation
1 : 50



5 East Typ. Parkade Vent Elevation
1 : 50

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

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PROJECT

Block 11 University Multi

Kovitz Avenue NW
Lot 1, Block 11, Plan 1935 JK

TITLE
Elevations

PROJECT NUMBER 24-025m DRAWING NUMBER

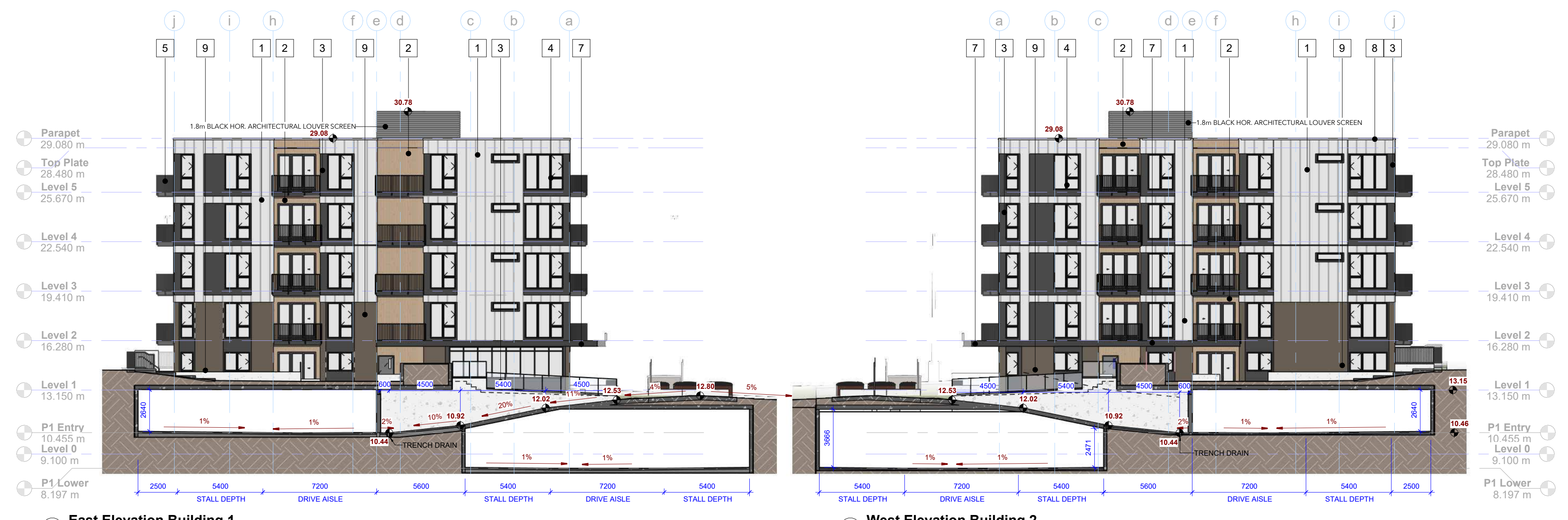
SCALE As indicated **DP3.0**

DESIGNER NT VERSION ISSUE DATE 2026 04 08
DP DRAFTERPERSON CF DP CHECKED
BP DRAFTERPERSON BP CHECKED

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1 South Elevation
1 : 200



2 East Elevation Building 1
1 : 200

3 West Elevation Building 2
1 : 200

#	Description	Manufacturer	Colour	Material Image
1	Board & Batten - Spaced 600 James Hardie O.C.		Arctic White - Smooth	
2	Vertical Metal Siding & Soffits Cascadia Metals		Light Pine	
3	Cementitious Infill Panels & Fascias		Black	
4	Metal-clad Vinyl Windows & Doors		Black	
5	Face-mount Metal Picket Guards		Black	
6	Concrete		Natural	
7	Metal Canopy		Black	
8	Flashing	Endicott - Face Brick	To Match Adjacent Colour / Tone	
9	Brick	Siga Edge (No Texture) Size - 5 1/2 Kings	Autumn Sands	

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Kovitz Avenue NW
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TITLE
Elevations

PROJECT NUMBER
24-025m

SCALE
1 : 200

DESIGNER
NT

DP DRAFTERPERSON
CF

BP DRAFTERPERSON
BP

DRAWING NUMBER
DP3.1

VERSION ISSUE DATE
2026 04 08

DP CHECKED
CF

BP CHECKED
BP



4 South Sunken Patio Entry 1
1 : 200



5 South Sunken Patio Entry 2
1 : 200



6 South Sunken Patio & Intake
1 : 200



BUILDING 1 NORTH ENTRY



BUILDING 1 NORTHWEST CORNER



BUILDING 1 & 2 COURTYARD SOUTH



BUILDING 1 SOUTHWEST CORNER



BUILDING 1 & 2 NORTH RAMP ENTRY

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24-025 DP

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 PERMIT No. AC 13941
 ISSUED PURSUANT TO THE
 ARCHITECTS ACT OF ALBERTA

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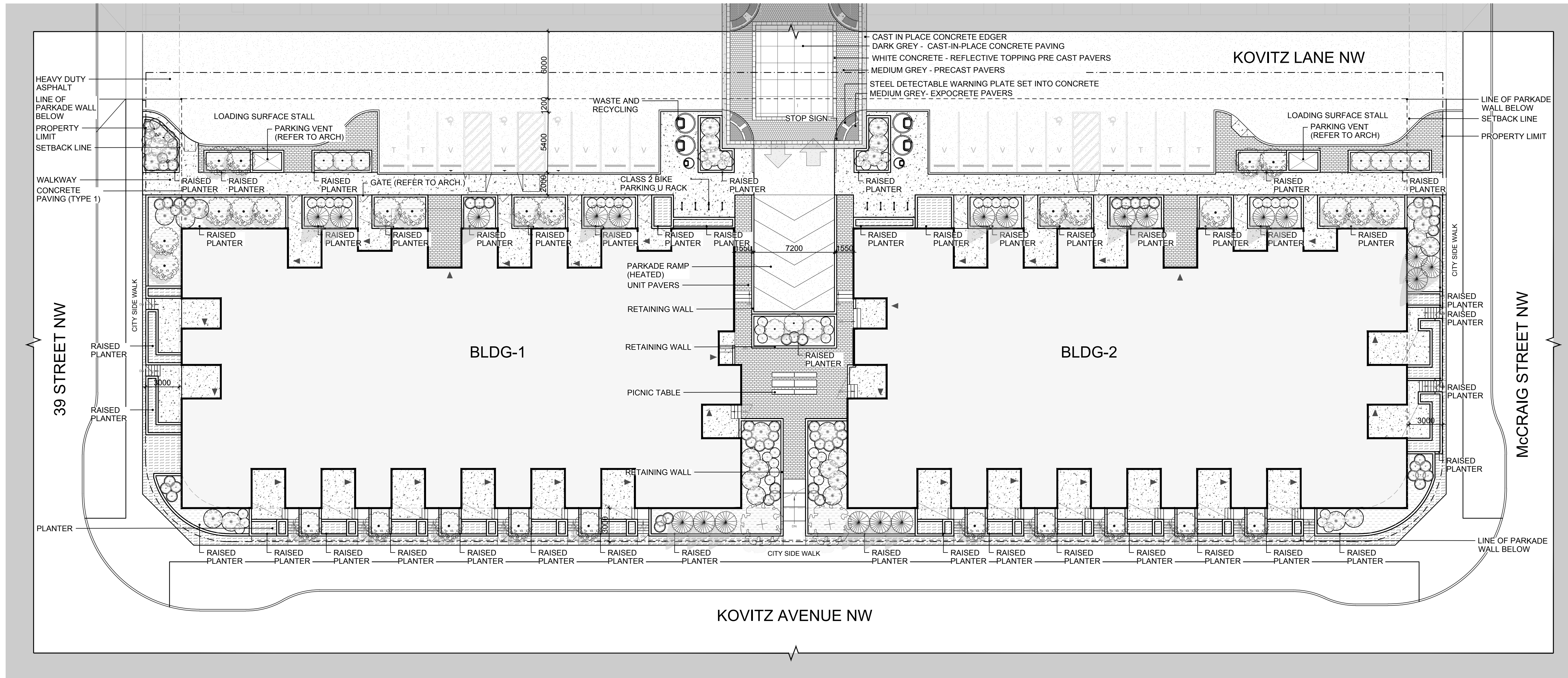
PROJECT STATUS
 Development Permit

PROJECT
 Block 11 University Multi

Kovitz Avenue NW
 Lot 1, Block 11, Plan 1935 JK

TITLE
 Visualizations

PROJECT NUMBER 24-025m	DRAWING NUMBER DP5.0
SCALE	
DESIGNER NT	VERSION ISSUE DATE 2026 04 08
DP DRAFTSPERSON CF	DP CHECKED CF
BP DRAFTSPERSON	BP CHECKED

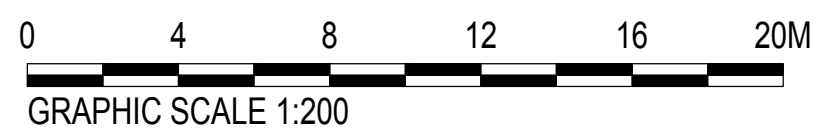


CLIENT
Luxuria Homes Ltd.

LANDSCAPE CONSULTANT
GEORGE HARRIS COLLABORATIVE INC.
Landscape Architecture / Urban Design

- GENERAL LEGEND:**
- PROPERTY LIMIT
 - BUILDING OUTLINE
 - RETAINING WALL (REFER TO CIVIL)
 - BUILDING ENTRY
 - SETBACK LIMIT
 - ROAD CURB
 - ENTRANCE
 - PARKADE
 - PEDESTRIAN RAMP
- HARDSCAPE LEGEND:**
- CONCRETE PAVING (TYPE 1)
 - PEDESTRIAN GRADE
 - CONCRETE PAVING (TYPE 2)
 - PEDESTRIAN GRADE
 - DECORATIVE PAVING
 - HEAVY DUTY ASPHALT
 - HEAVY DUTY PEDESTRIAN PAVERS
- FURNITURE LEGEND:**
- WASTE AND RECYCLING MOLOKS
 - BIKE RACKS
 - PICNIC TABLE
 - SIGNAGE

01 LANDSCAPE PLAN
DP101 SCALE 1:200



PLANTING SCHEDULE

DECIDUOUS TREES

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
02	TC		Thunderchild Crabapple	<i>Malus 'Thunderchild'</i>	50mm Cal.	HEIGHT:4800mm SPREAD:4000mm
10	PK		Princess Kay Plum	<i>Prunus nigra 'Princess Kay'</i>	50mm Cal.	HEIGHT:4000mm SPREAD:1800mm
29	GC		Guardin Columnar Aspen	<i>Fraxinus pennsylvanica</i>	75mm Cal.	HEIGHT:12000mm SPREAD:3000mm

EVERGREEN TREES

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
20	WW		Weeping White Spruce	<i>Picea glauca 'Pendula'</i>	3000mm MIN.HEIGHT	HEIGHT: 14000mm SPREAD: 2000mm

DECIDUOUS SHRUBS

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
31	BE		Black Elderberry	<i>Sambucus canadensis</i>	5 Gal.	HEIGHT:1800mm SPREAD:1800mm
65	WS		Western Snowberry	<i>Cornus sericea</i>	5 Gal.	HEIGHT:900mm SPREAD:900mm
54	WW		Wolf Willow	<i>Elaeagnus commutata</i>	5 Gal.	HEIGHT:3000mm SPREAD:1500mm

GRASSES AND GROUND COVERS LEGEND

QTY	KEY	SYMBOL	COMMON NAME
484.91 m ²	WM		WOOD MULCH
214.54 m ²	NG		ORNAMENTAL GRASSES

LANDSCAPE CALCULATIONS:
TOTAL LOT AREA = 5261.72m² OR 100%

- PROPOSED BUILDINGS = 2500 m² OR 47.51%
- ASPHALT LANE = 1203.42 m² OR 22.87%
- HEAVY DUTY PEDESTRIAN PAVERS = 87.76 m² OR 1.66%
- WASTE AND RECYCLING MOLOKS = 11.22 m² OR 0.21%
- TOTAL PROVIDED LANDSCAPE AREA = 898.53 + 698.05 = 1596.58m² OR 30.34%
- TOTAL PAVING MATERIAL = 898.53m² OR 56.29%
 - 1. CONCRETE PAVING TYPE 01 = 694.34m² OR 77.27% OF PAVING
 - 2. DECORATIVE PAVING = 204.2 m² OR 33.1% OF PAVING
- TOTAL SOFTSCAPE AREA = 668.09 m² OR 42.60%
 - 1. WOOD MULCH = 483.51 m² OR 69.26% OF SOFTSCAPE AREA
 - 2. NATIVE GRASSES = 214.54 m² OR 30.73% OF SOFTSCAPE AREA

PROVIDED PLANTING:

- TOTAL TREES: 61
- (41) DECIDUOUS TREES
- (20) CONIFEROUS TREES
- TOTAL SHRUBS: 150

PLANTING REQUIREMENTS:

- A MINIMUM OF (1.0) TREES AND (2.0) SHRUBS PLANTED FOR EVERY (45.00 sq.m.) OF LANDSCAPED AREA PROVIDED. A MINIMUM DEPTH OF 300mm TOPSOIL FOR ALL SODDED AREAS AND 600mm FOR SHRUB AND TREES MUST BE PROVIDED AT THE TIME OF PLANTING. TOTAL REQUIRED IS (40) TREES AND (80)SHRUBS.
- A MINIMUM OF (25.0) PERCENT OF ALL TREES PROVIDED MUST BE CONIFEROUS.
- DECIDUOUS TREES MUST HAVE A MINIMUM CALIPER OF (50) MILLIMETERS AND AT LEAST (50%) OF THE PROVIDED DECIDUOUS TREES MUST HAVE A MINIMUM CALIPER OF (75) MILLIMETERS AT THE TIME OF PLANTING.
- ALL SHRUBS MUST HAVE A MINIMUM HEIGHT OR SPREAD OF 600mm AT THE TIME OF PLANTING.
- CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 2.0 METERS AND AT LEAST (50%) OF THE PROVIDED CONIFEROUS TREES MUST BE A MINIMUM OF 3.0 METERS IN HEIGHT AT THE TIME OF PLANTING.
- ALL SOFT SURFACED LANDSCAPED AREAS MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS A LOW WATER IRRIGATION SYSTEM IS PROVIDED.
- FOR LANDSCAPED AREAS WITH A BUILDING BELOW (PARKADE), PLANTING AREAS MUST HAVE THE FOLLOWING MIN SOIL DEPTHS (A) 1.2M FOR TREES, (B) 0.6M FOR SHRUBS AND (C) 0.3M FOR ALL OTHER PLANTING AREAS.
- ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN THE CITY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION AND BE PHYTOSANITARY. THE FOLLOWING PLANTING REQUIREMENTS SHALL BE MET IN ALL LANDSCAPED AREAS IN MULTI-ATTACHED WELLING, COMMERCIAL AND INDUSTRIAL DISTRICTS

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

REV	DATE	ISSUED FOR	DRAWN	CHECK	DESIGN
05	2026.03.23	DEVELOPMENT PERMIT - REVISION	DM	JB	JB
04	2025.09.17	DEVELOPMENT PERMIT	DM	JB	JB
03	2025.09.08	DEVELOPMENT PERMIT	DM	JB	JB
02	2025.05.27	DEVELOPMENT PERMIT	LG	SM	JB
01	2025.01.29	CONCEPT FOR REVIEW	DM	JB	JB

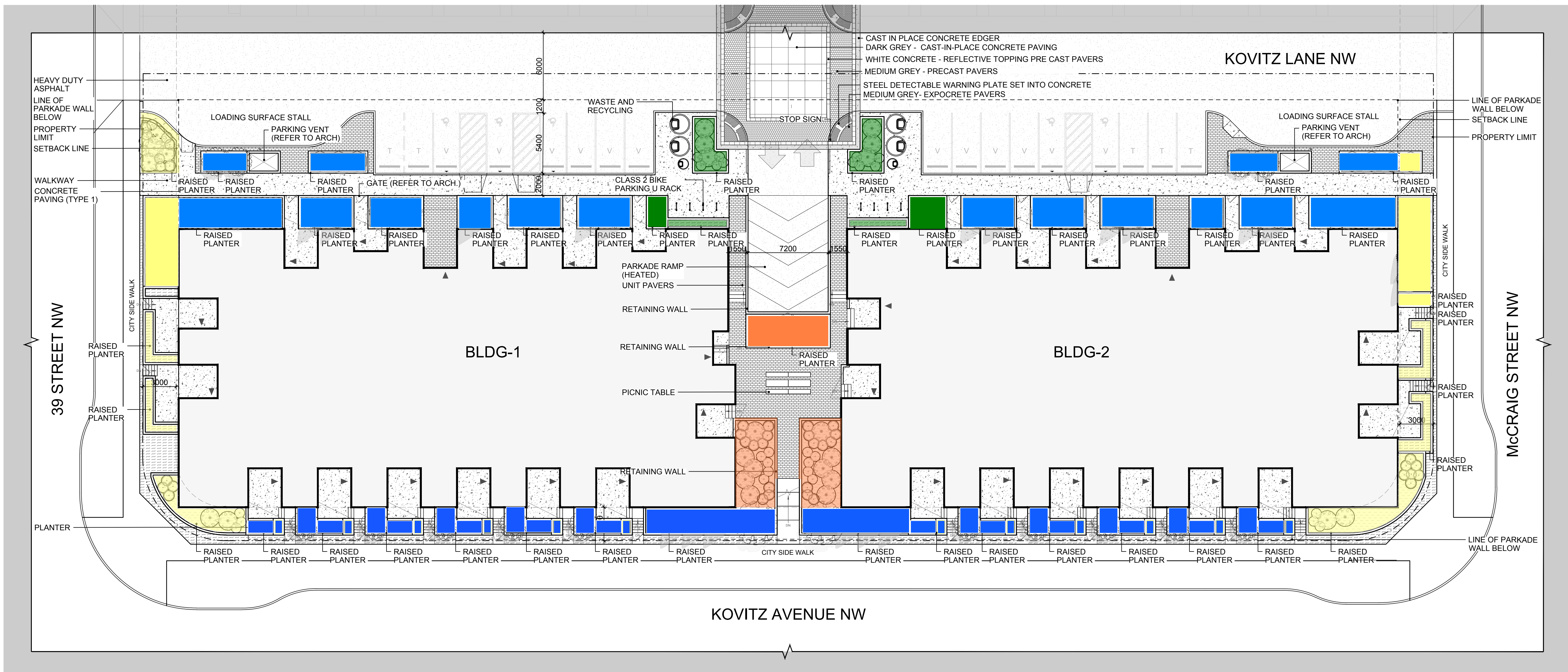
Block 11 Multi – Kovitz Lane
Block 11, Plan 1935 JK University District Calgary

DISCIPLINE
LANDSCAPE

SHEET TYPE
DEVELOPMENT PERMIT

SHEET TITLE
MASTER PLAN
LANDSCAPE LAYOUT

SCALE	PROJECT NO.	SHEET NO.	REV
1:200	24-766	DP101	05



01 LANDSCAPE PLAN
 DP101 SCALE 1:200

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

CLIENT
 Luxuria Homes Ltd.

LANDSCAPE CONSULTANT
GEORGE HARRIS COLLABORATIVE INC.
 Landscape Architecture / Urban Design

PLANTER SECTION TYPES

- PLANTER TYPE 1
- PLANTER TYPE 2
- PLANTER TYPE 3
- PLANTER TYPE 4

01	CONCEPT FOR REVIEW	DM	JB	JB
REV	DATE	ISSUED FOR	DRAWN	CHECK
PROJECT				
Block 11 Multi – Kovitz Lane Block 11, Plan 1935 JK University District Calgary				
DISCIPLINE				
LANDSCAPE				
SHEET TYPE				
DEVELOPMENT PERMIT				
SHEET TITLE				
PLANTER SECTION TYPES				
SCALE	PROJECT NO.	SHEET NO.	REV	
1:200	24-766			

SHEET SIZE - ARCH D (36.00" x 48.00" INCHES)

SCANNING SCALE

50mm

10mm