

BANFF TRAIL MULTIFAMILY

MODA

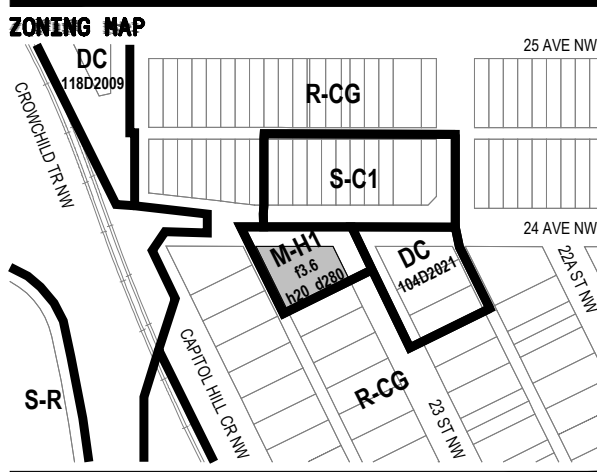
USE: NEW MULTI-FAMILY
ISSUED: ISSUED FOR DR 2 RESPONSE R1
DATE: 2026-07-13

PTD REQ
3
DESIGN REVISIONS



ARTISTIC RENDERING.
MAY NOT REPRESENT UP
TO DATE DP DRAWINGS.

- NOTES**
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 - THE DRAWINGS MUST NOT BE SCALED.



ISSUED	
A	FLUR 2025-08-22
B	IFDP 2025-09-19
C	IFR 2025-10-01
D	IFDP R1 2025-10-17
E	IFR 2025-10-22
F	IFDP - DR1 RESPONSE 2025-04-13
G	IFDP - DR2 RESPONSE 2025-06-23

REVISIONS

STAMP

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

PROJECT

NAME BANFF TRAIL
MULTIFAMILY
NUMBER 29004
ADDRESS 2471 23 ST NW, CALGARY AB T2M 3Y3
LEGAL PLAN B11001 BLOCK 4 LOT 21
DP NO DP2025-05477
DP NO

CONSULTANT

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Design + Architecture
820 12th Avenue SW
Calgary, Alberta
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info@moda.ca
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OWNER GOSWAMI Architects, AAA, Principal
BEN KLUMPER Architect, AAA, Principal

DRAWING INFORMATION

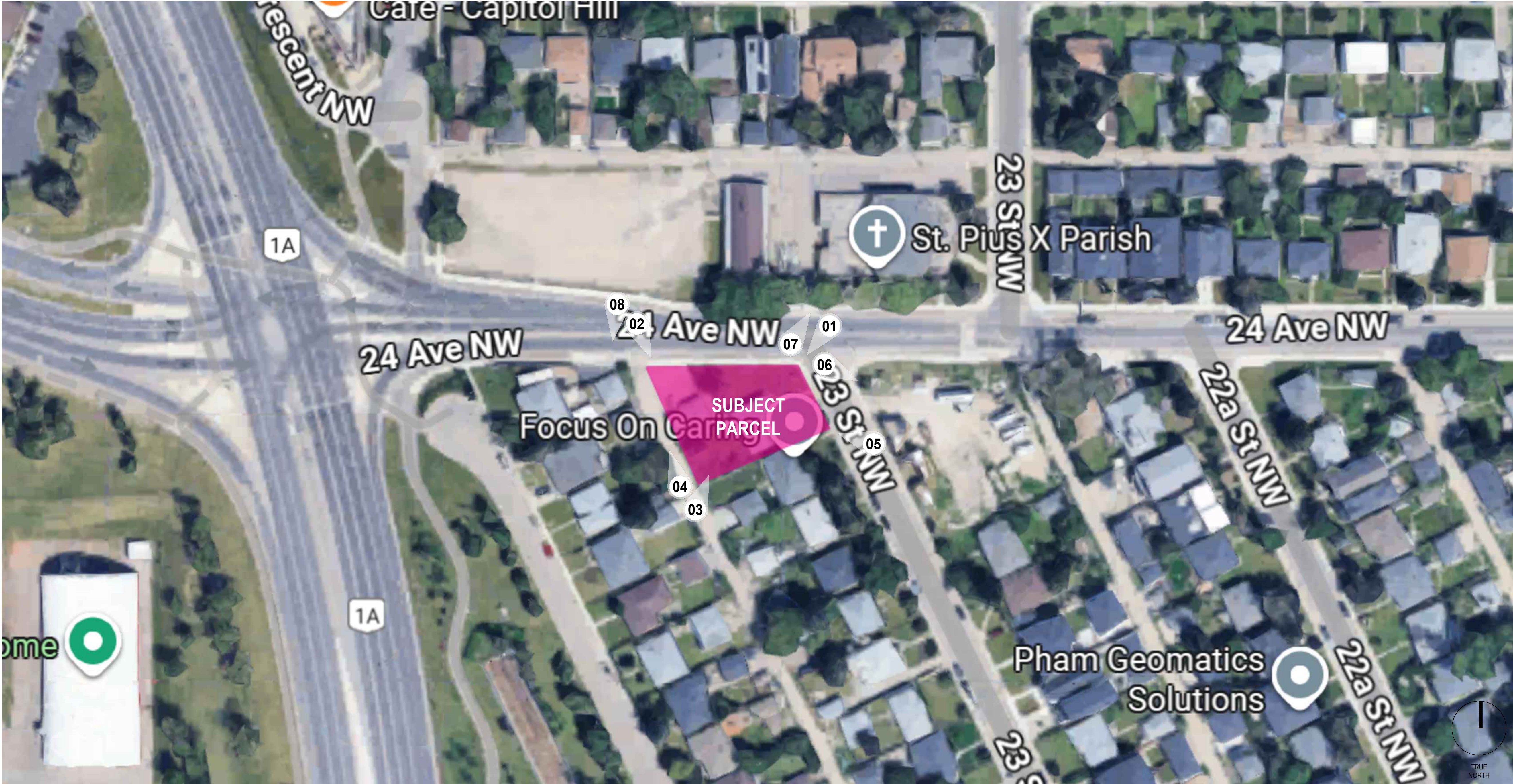
SCALE

DRAWN BY BK

CHECKED BY

TITLE SHEET

A000



MODA

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ZONING MAP



ISSUED

A	IFLUR	2025-08-22
B	IFDP	2025-09-19
C	IFR	2025-10-01
D	IFDP R1	2025-10-17
E	IFR	2025-10-30
F	IFDP - DR1 RESPONSE	2026-04-13
G	IFDP - DR2 RESPONSE	2026-06-23
F	IFDP - DR2 RESPONSE - R2	2026-07-13

REVISIONS

STAMP

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

PROJECT

NAME	BANFF TRAIL MULTIFAMILY
NUMBER	20004
ADDRESS	2471 23 ST NW, CALGARY AB T2M 3Y3
LEGAL	PLAN 91103 BLOCK 4 LOT 21
SP NO	DP0025-06477
SP NO	

CONSULTANT

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DUSTIN COLEMAN Architect, AIA, Principal
REN KLUMPER Architect, AIA, Principal

DRAWING INFORMATION

SCALE	NTS
DRAWN BY	BK
CHECKED BY	BK

SITE PHOTOS

A001



DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 21
Block 4
Plan 9110GI
MUNICIPAL ADDRESS: 2471 23 Street N.W.
Calgary, Alberta
DATE OF SURVEY: August 5th, 2025.

LEGEND
Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
Elevations are referred to ASCM 145045 Elev.=1102.41.
Distances are in metres and decimals thereof.
Bearings are Grid (3TM-114°W) and Derived from GNSS Observations.
Found Iron Posts are shown thus: _____
Drill Holes are shown thus: _____
Found Iron Bars are shown thus: _____
Magnetic Nails are shown thus: _____
Calculation points are shown thus: _____
Fire Hydrants are shown thus: _____
Water Valves are shown thus: _____
Gas Valves are shown thus: _____
Power Poles are shown thus: _____
Manholes are shown thus: _____
Lamp Standards are shown thus: _____
Street Signs are shown thus: _____
Property lines are shown thus: _____
Utility Right of Ways are shown thus: _____
Eaves are shown thus: _____
Fences are shown thus: _____
Streetlight Cables are shown thus: _____
Underground Electrical lines shown thus: _____
Stormline are shown thus: _____
Sanitaryline are shown thus: _____
Combined Storm/Sanitary are shown thus: _____
Telephone Lines are shown thus: _____
Waterline are shown thus: _____
Gasline are shown thus: _____
Overhead Electrical lines shown thus: _____
All fences are within 0.2 metres of the property lines unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise lines outside of property are not to scale.

NOTE:
Title information is based on the C. of T. 241 169 690 which was searched on the 11th day of August, 2025, and is subject to:
Caveat No.: 1358GL, 171 234 403 (Enc. Agreement)

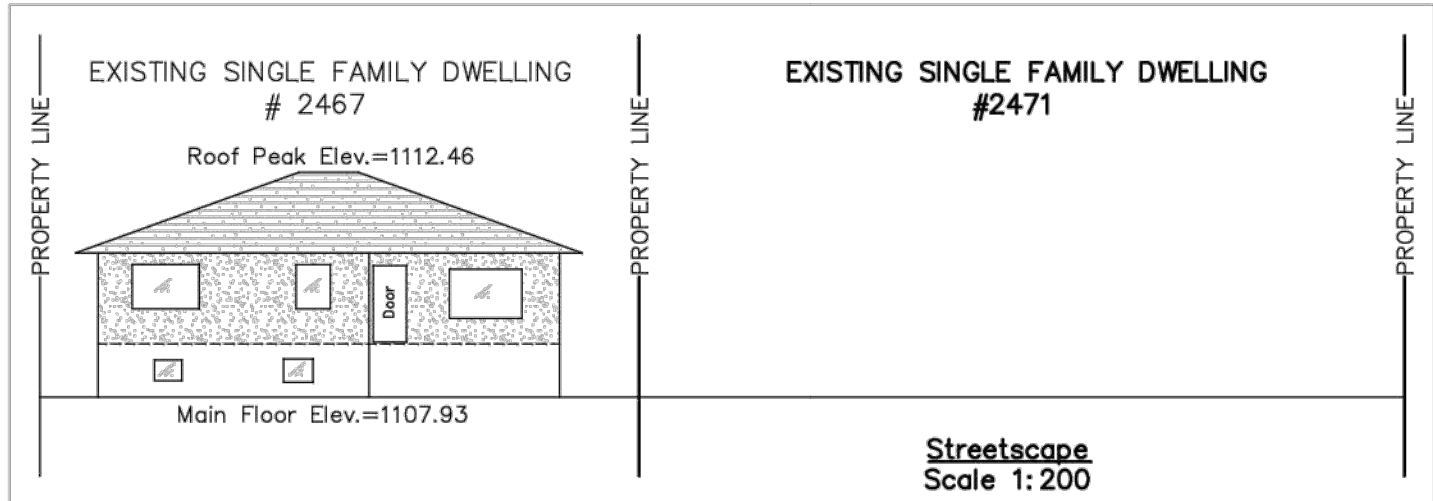
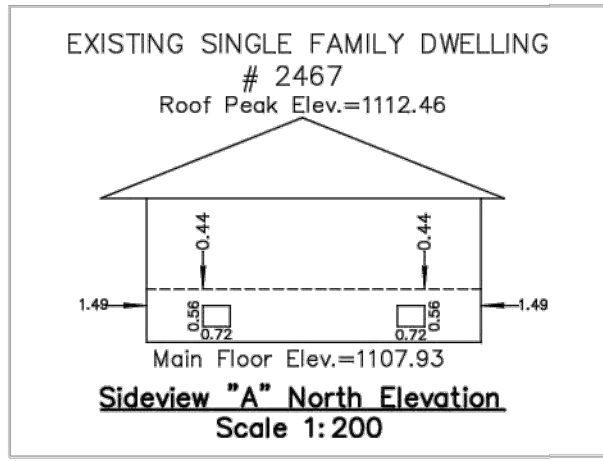
ABBREVIATIONS
A---Arc Length
Acc---Accessory
A/C---Air Conditioner
Bldg---Building
BOC---Back of Curb
BOW---Back of Walk
Calc---Calculated
Cant---Cantilever
Conc---Concrete
C.S---Countersunk
DH---Drill Hole
Enc---Encroaches
Fd---Found
I---Iron Post
I.B---Iron Bar
LDC---Lip of Gutter
M.A---Maintenance Access
Mk---Mark
M.N---Magnetic Nail
O.D---Overland Drainage
R---Radius
Reg---Registration
Ret---Retaining
R/W---Right of Way
W/O---Walkout Basement
W.W---Window Well

This plan represents the best information at the time of survey.
Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.
Call Alberta One-Call: 1-800-242-3447

--- denotes Coniferous
--- denotes Deciduous

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Deciduous	0.10	1.00	2.50
2	Deciduous	0.15	4.00	3.00
3	Deciduous	0.60	10.00	8.00
4	Deciduous	0.45	8.00	8.00
5	Deciduous	0.10	1.00	1.50
6	Deciduous	0.05	1.50	2.50
7	Deciduous	0.10	6.00	6.00
8	Bush	---	2.00	2.00
9	Bush	---	2.00	2.00
10	Bush	---	1.50	1.20
11	Bush	---	2.00	1.50
12	Bush	---	1.00	1.20
13	Bush	---	1.00	0.80
14	Bush	---	1.60/1.70	1.60



EXISTING SINGLE FAMILY DWELLING
#2471

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#202, 337 41 Avenue N.E.
Calgary, Alberta T2E 2N4
Ph.: 403-277-1272
Fax: 403-277-1275
www.arcsurveys.ca

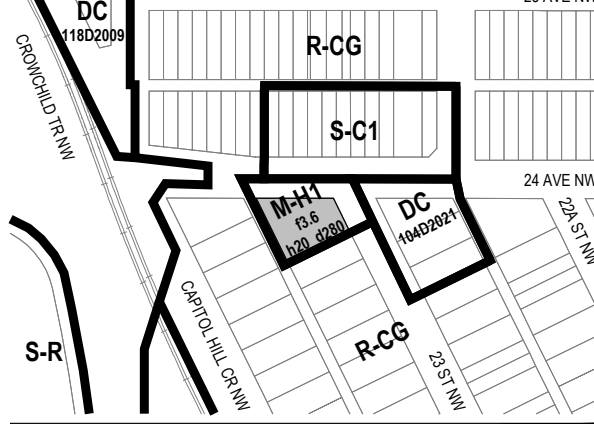
Surveyed: SS Drawn: QM/JH Checked by: RB Scale: 1:200 File No.: 253264

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NOTES

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ZONING MAP



ISSUED

A	FILED	2025-08-22
B	FILED	2025-09-19
C	FILED	2025-10-01
D	FILED	2025-10-17

REVISIONS

STAMP

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

PROJECT

NAME: BANFF TRAIL MULTIFAMILY
NUMBER: 25004
ADDRESS: 2471 23 ST NW, CALGARY AB T2M 3Y3
LEGAL: PLAN 9110GI BLOCK 4 LOT 21
EP NO: DP2025-08477
BP NO:

CONSULTANT

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info@moda.ca
403 288 2182
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DAVID COZZINE Architect, AAA, Principal
BEN KLUMPER Architect, AAA, Principal

DRAWING INFORMATION

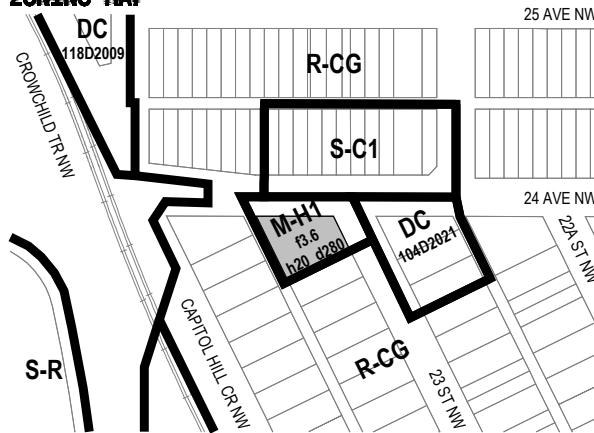
SCALE: 1:150
DRAWN BY: DV
CHECKED BY:

SITE
SURVEY

A051

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ZONING MAP



ISSUED

A	IFUR	2025-09
B	IFDP	2025-09
C	IFR	2025-10
D	IFDP R1	2025-10
E	IFR	2025-10
F	IFDP - DR1 RESPONSE	2026-04
G	IFDP - DR2 RESPONSE	2026-06
F	IFDP - DR2 RESPONSE - R2	2026-07

REVISIONS

STAND

DEVELOPMENT
PERMIT
DECISION
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ON THIS PLAN

PROJECT

NAME BANFF TRAIL
MULTIFAMILY

NUMBER	25004
ADDRESS	2471 23 ST NW, CALGARY AB T2M 3Y1
LEGAL	PLAN 9110GI BLOCK 4 LOT 21
DP NO	DP2025-05477
BP NO	

CONSULTANT

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DUSTIN COUZENS Architect, AAA, Principal
 BEN KUNIGER Architect, AAA, Principal

DRAWING INFORMATION

SCALE 10° = 1"

DRAWN BY

CHECKF

**SOUTH
ELEVATION**

A301

KEY LEGEND

- 1 FLUTED METAL PANEL CLADDING - BLACK
- 2 HORIZONTAL PREFINISHED METAL PLANK - WHITE
- 3 PREFINISHED METAL FLASHING - COLOUR TO MATCH ADJACENT CLADDING
- 4 ARCHITECTURAL BUILD OUT - WHITE
- 5 PREFINISHED METAL PICKET GARDEN RAIL - WHITE
- 6 NATURAL CONCRETE FINISH
- 7 PREFINISHED VERTICAL ALUMINUM FINS - WHITE
- 8 ALUMINUM CLAD VINYL WINDOW - COLOUR TO MATCH ADJACENT CLADDING
- 9 PREFINISHED INSULATED OVERHEAD DOOR - WHITE
- 10 STAINED WOOD FENCE - GREY
- 11 POWDER COATED STEEL CHANNEL CANOPY - GREEN
- 12 FLUTED METAL PANEL CLADDING - WHITE
- 13 HORIZONTAL PREFINISHED METAL PLANK - GREEN



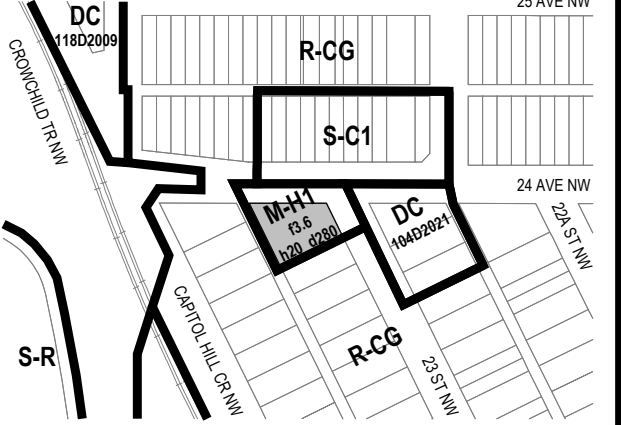
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ZONING MAP



ISSUED

A	IFD - R	2025-08-22
B	IFD - P	2025-09-19
C	IFR	2025-10-01
D	IFD - R1	2025-10-17
E	IFR	2025-10-22
F	IFD - DR1 RESPONSE	2026-04-13
G	IFD - DR2 RESPONSE	2026-06-23
F	IFD - DR2 RESPONSE - R2	2026-07-13

REVISIONS

STAMP

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

PROJECT

NAME	BANFF TRAIL MULTIFAMILY
NUMBER	2504
ADDRESS	2471 23 ST NW, CALGARY AB T2M 3Y3
LEGAL	PLAN 9110G1 BLOCK 4 LOT 21
CP NO	DP2025-08477
BP NO	

CONSULTANT

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moda.ca
DUSTIN COZZINE Architect, AAA, Principal
BEN KLUMPER Architect, AAA, Principal

DRAWING INFORMATION

SCALE	1/8" = 1'-0"
DRAWN BY	BK
CHECKED BY	

EAST
ELEVATION

A302



KEY LEGEND

- 1 FLUTED METAL PANEL CLADDING - BLACK
- 2 HORIZONTAL PREFINISHED METAL PLANK - WHITE
- 3 PREFINISHED METAL FLASHING - COLOUR TO MATCH ADJACENT CLADDING
- 4 ARCHITECTURAL BUILD-OUT - WHITE
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- 10 STAINED WOOD FENCE - GREY
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- 12 FLUTED METAL PANEL CLADDING - WHITE
- 13 HORIZONTAL PREFINISHED METAL PLANK - GREEN

PTD REQ
3
DESIGN REVISIONS

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B	IFDP	2025-09-19
C	IFR	2025-10-01
D	IFDP R1	2025-10-17
E	IFR	2025-10-22
F	IFDP - DR1 RESPONSE	2026-04-13
G	IFDP - DR2 RESPONSE	2026-06-23
F	IFDP - DR2 RESPONSE - R2	2026-07-13

REVISIONS

STAMP

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

PROJECT

NAME BANFF TRAIL
MULTIFAMILY
NUMBER 2504
ADDRESS 2471 23 ST NW, CALGARY AB T2M 3Y3
LEGAL PLAN 911051 BLOCK 4 LOT 21
CP NO DP2025-08477
EP NO

CONSULTANT

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DUSTIN COZZENS Architect, AAA, Principal
BEN KLUMPER Architect, AAA, Principal

DRAWING INFORMATION

SCALE 1/8" = 1'-0"
DRAWN BY BK
CHECKED BY

NORTH
ELEVATION

A303

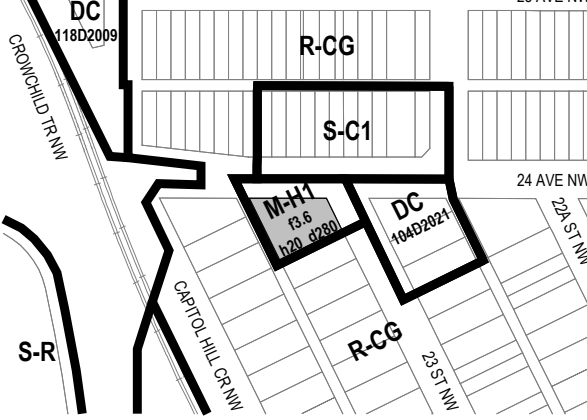
KEY LEGEND

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- 2 HORIZONTAL PREFINISHED METAL PLANK - WHITE
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F	IFD - DR2 RESPONSE - R2	2026-07-13

REVISIONS

STAMP

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PROJECT

NAME BANFF TRAIL
MULTIFAMILY
NUMBER 25004
ADDRESS 2471 23 ST NW, CALGARY AB T2M 3Y3
LEGAL PLAN 911051 BLOCK 4 LOT 21
CP NO DP2025-08477
BP NO

CONSULTANT

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DUSTIN COZZENS Architect, AAA, Principal
BEN KLUMPER Architect, AAA, Principal

DRAWING INFORMATION

SCALE 1/8" = 1'-0"
DRAWN BY BK
CHECKED BY

WEST
ELEVATION

A304

