



PROPOSED COMMERCIAL/INDUSTRIAL EQUIPMENT MAINTAINANCE: ISSUED FOR RE ISSUED FOR DEVELOPMENT PERMIT_2026-06-30

DRAWING LIST

ARCHITECTURAL

- A0.00 - COVER SHEET
- A0.01 - EXISTING SITE PHOTOS
- A0.02 - EXISTING SITE PHOTOS
- A0.03 - RENDERING FOR NOTICE POSTING
- A0.04 - RENDERINGS
- A1.00 - EXISTING SITE PLAN
- A1.01 - PROPOSED SITE PLAN
- A1.02 - PROPOSED FIRE TRUCK ROUTE
- A1.03 - PROPOSED W&R TRUCK ROUTE
- A1.04 - PROPOSED SEMITRAILER ROUTE
- A1.05 - PROPOSED PASSENGER PARKING ROUTE
- A1.06 - PROPOSED LOADING TRUCK ROUTE
- A1.07 - PROPOSED LANDSCAPE PLAN
- A1.08 & A1.09 - YARD DETAILS
- A2.01 - PROPOSED FLOOR PLAN
- A3.01 - WEST & EAST ELEVATION
- A3.02 - SOUTH & NORTH ELEVATION
- A3.03 - SITE SECTION

ELECTRICAL

- E1.0 - SITE LIGHTING PLAN ISO LINES
- E2.0 - LIGHTING CALCULATION AND RENDERING
- E3.0 - LUMINAIRE SPECIFICATIONS



b2d
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DECISION
RENDERED
ON THIS PLAN



WIEBE'S
STEEL
STRUCTURES

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Revision Schedule			
Rev. No.	Revision	By	Date

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5076 26 AVE SE
CALGARY, AB

COVER PAGE

JOB NUMBER

SCALE

DATE
2025-09-08

DRAWN
ED

CHECKED
AG

APPD

REV. NO

DWG NUMBER

A0.00



A - SOUTH CORNER LOT VIEW



B - SOUTHWEST CORNER LOT VIEW



LOCATION PLAN SCALE: N.T.S.



C - SOUTHEAST VIEW

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EXISTING SITE
PHOTOS

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D - SOUTHEAST CORNER LOT VIEW



E - EAST CORNER LOT VIEW



LOCATION PLAN SCALE: N.T.S.



F - EAST VIEW

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EXISTING SITE
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A0.02



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5076 26 AVE SE
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RENDERING FOR
NOTICE POSTING

JOB NUMBER			
SCALE		DATE 2025-09-08	
DRAWN ED		CHECKED AG	
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DWG NUMBER

A0.03



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RENDERINGS

JOB NUMBER

SCALEDATE2025-09-08

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APPDREV. NO

DWG NUMBER

A0.04

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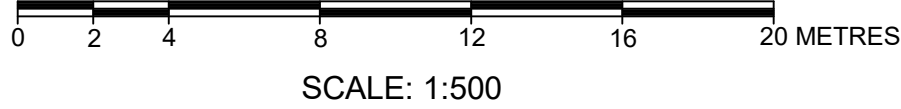
SITE PLAN

MUNICIPAL ADDRESS:
5048 & 5076 26th Avenue S.E.
Calgary, Alberta

LEGAL DESCRIPTION:
Unit 2 & 4
Condominium Plan 201 2087

PREPARED FOR: Wiebe's Steel Structures Ltd.

DATE OF SURVEY: August 8th, 2025



- LEGEND:
- Property Line
 - Right of Way Line
 - Fence Line
 - Water Valve
 - Fire Hydrant
 - Manhole
 - Catch Basin
 - Check Valve
 - Tree
 - Calculation points
 - Sanitary Line
 - Storm Line
 - Water Line
 - Gas Line
 - Overhead Wire
 - A.G.T. Line

1.00m Major Contour Line
0.20m Minor Contour Line

'L'—Length of Arc
'BC'—Back of Curb
'BOW'—Bottom of Wall
'BW'—Back of Walkway
'Cont.'—Cantilever

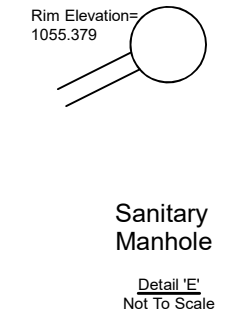
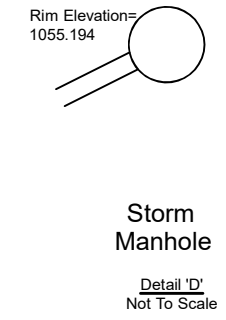
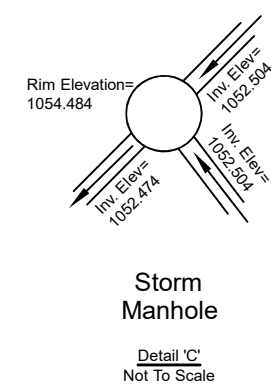
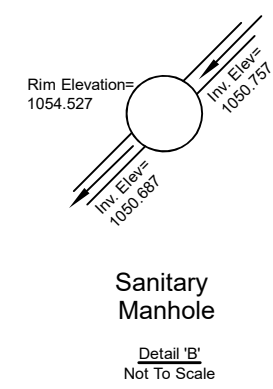
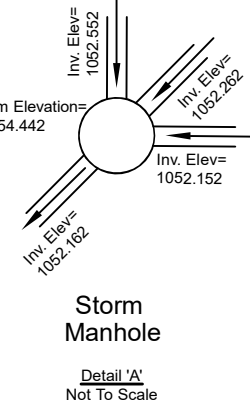
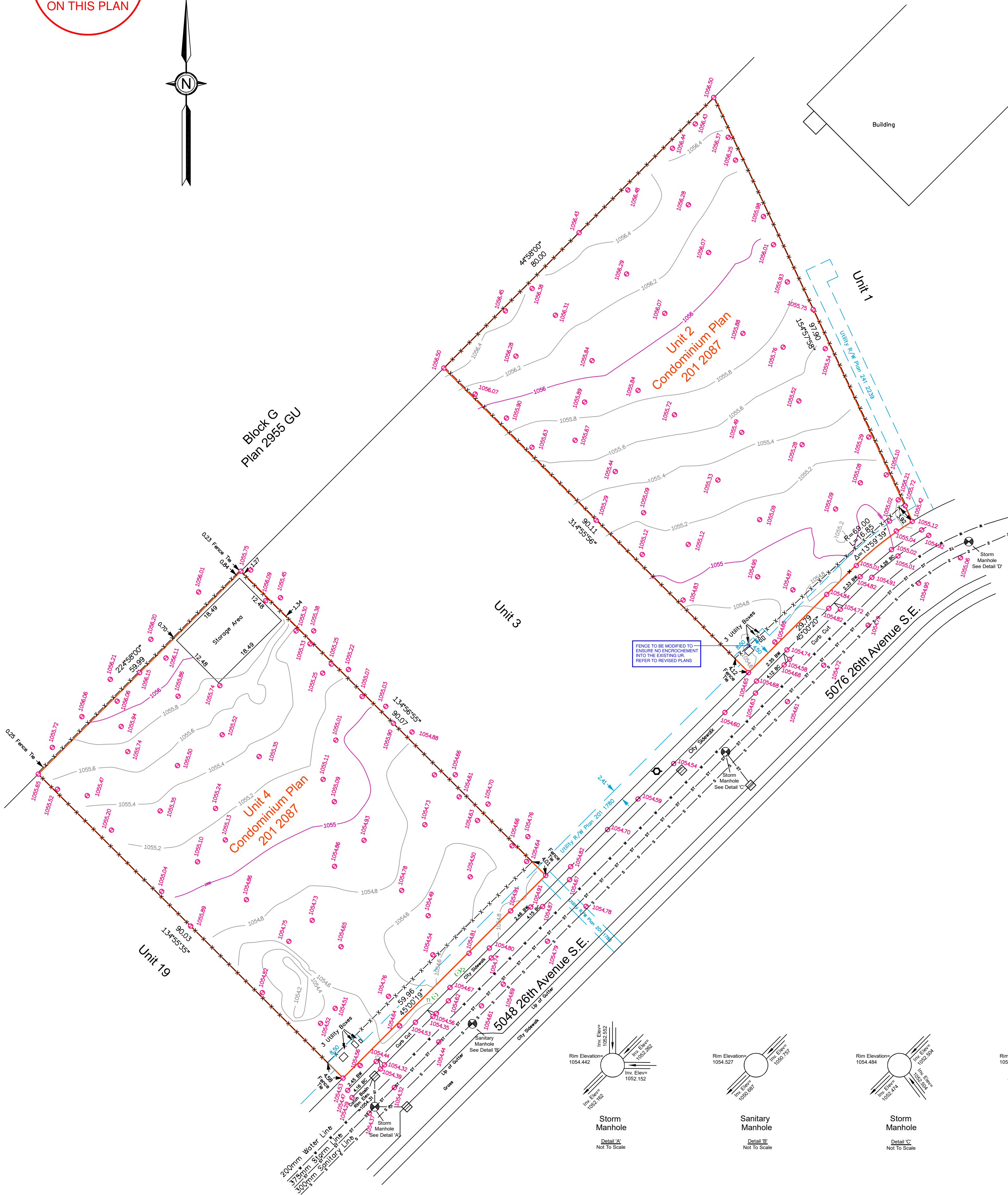
'Conc.'—Concrete
'Elev.'—Elevation
'Enc.'—Encroach(es)
'LOC'—Lip of Gutter
'R.'—Radius

'R/W'—Right of Way
'Ret.'—Retaining
'TOW'—Top of Wall

- NOTE:
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999738
 - Distances are in ground and are shown in metres and decimals thereof.
 - Distances along curves are arc distances.
 - Elevations are derived from ASCM 28167.
 - Existing spot elevations are shown thus: 1000.00
 - a The Certificate of Title 241 048 217 was searched on the 10th day of July, 2025, and includes the following instruments:
Caveat No. 201 151 930
Utility Right of Way No. 201 193 404
Agreement No. 201 227 204
Easement No. 201 227 206
Caveat No. 211 053 094
Agreement No. 211 115 494
Mortgage No. 241 048 218
Caveat No. 241 048 219
 - b The Certificate of Title 251 028 449 was searched on the 10th day of July, 2025, and includes the following instruments:
Caveat No. 201 151 930
Utility Right of Way No. 201 193 404
Agreement No. 201 227 204
Easement No. 201 227 206
Caveat No. 211 053 094
Agreement No. 211 115 494

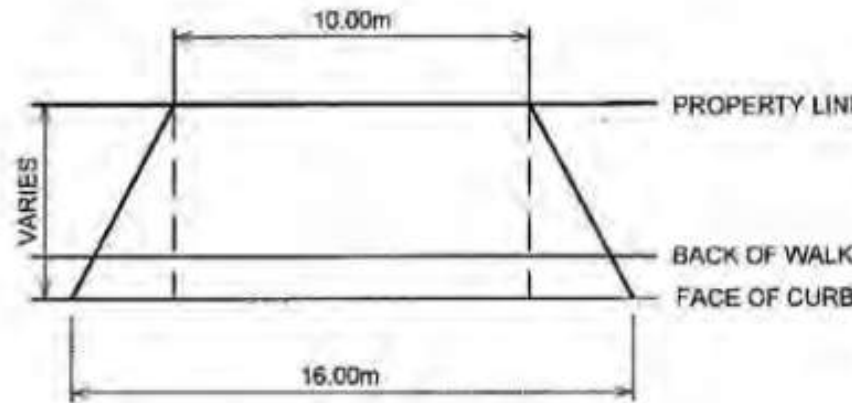
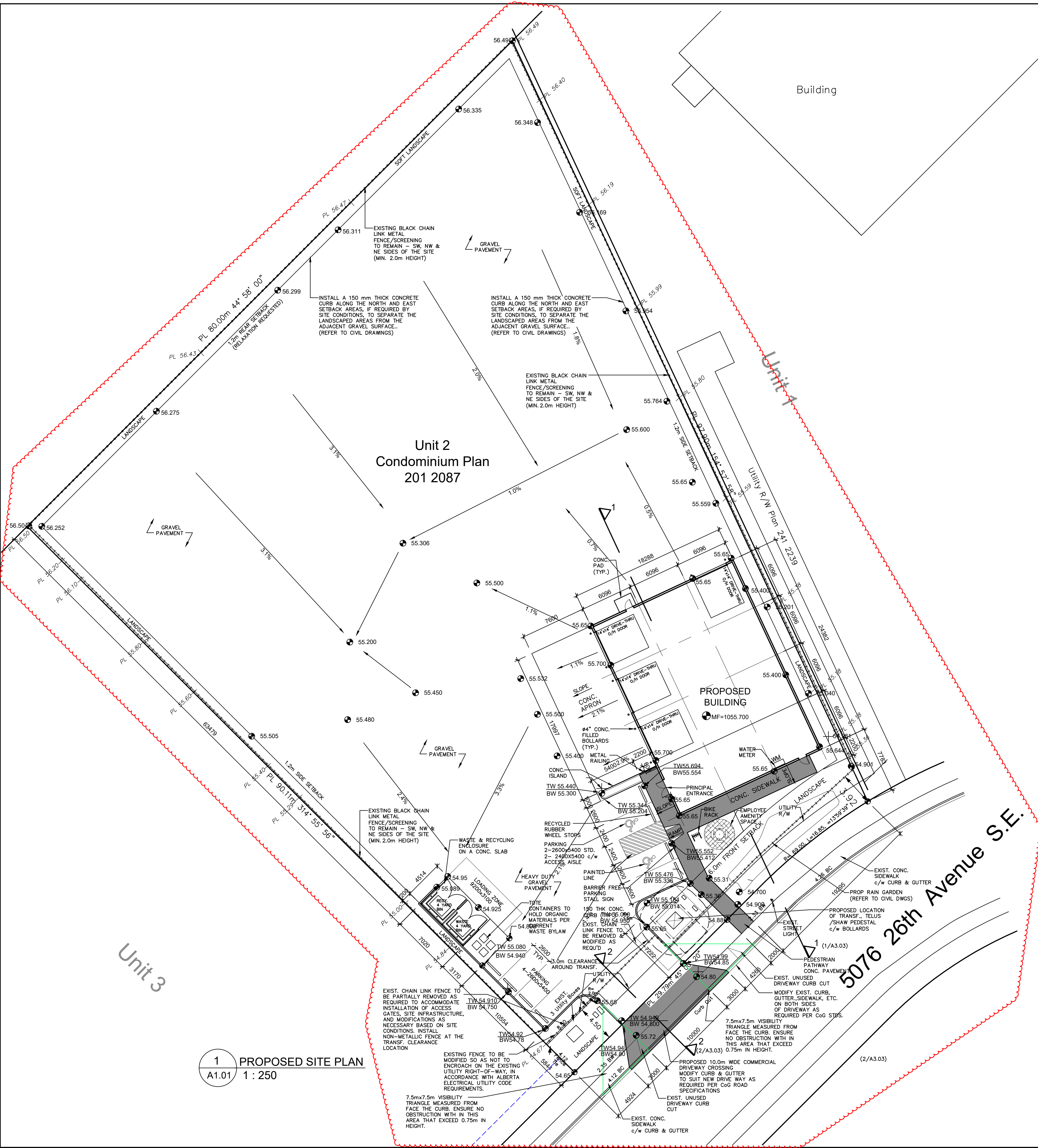
TREE SCHEDULE:

Tree No.	Variety	Caliper (±)	Canopy (±)	Height (±)	Location
T1	Deciduous Tree	0.10	1.00	4.00	In City Property
T2	Deciduous Tree	0.10	1.00	4.00	In City Property



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File No.: 250887	Date: 9/Aug/2025
Surveyed: IM	Drawn: LS/EM
Horizon Land Surveys Inc.	
130 Bowness Centre N.W. P. 403-719-0272	
Calgary, Alberta, T3B 5M5 F. 403-775-4171	



- 10.00m COMMERCIAL**
- FOR USES SUCH AS LARGE DEVELOPMENTS, SHOPPING CENTRES, APARTMENT COMPLEXES ETC.
 - FOR TRUCK ACCESS
 - TWO WAY TRAFFIC
- NOTES:**
1. ALL SIGNALIZED DRIVEWAYS SHALL HAVE CURB RETURNS.
 2. ALL DRIVEWAYS ARE TO TIE TO BACK OF WALK. IF NO WALK IS REQUIRED THEN THE DRIVEWAY IS TO TIE TO BACK OF CURB. THE ADJACENT DEVELOPMENT IS RESPONSIBLE FOR THE TIE.
 3. THE DRIVEWAY FLARE SHALL NOT EXTEND BEYOND THE PROJECTION OF THE COMMON PROPERTY LINE.
 4. DRIVEWAY DIMENSIONS INDICATED ARE MINIMUMS.
 5. DRIVEWAY FLARES CAN BE INCREASED TO FACILITATE MOVEMENT OF LARGE TRUCKS.
 6. EXIT DIRECTIONAL TO BE REVERSE OF 7.20m OR 10.00m ENTRANCE DIRECTIONAL.
 7. FOR BACK TO BACK DIRECTIONAL DRIVEWAYS, AN ISLAND IS REQUIRED BETWEEN THE TWO DRIVEWAYS. THE ISLAND SHALL BE CONSTRUCTED WITH STANDARD CURB AND GUTTER WITH CONCRETE FILL.

**2/A1.01 - TYPICAL DRIVEWAY LAYOUT
FOR MONOLITHIC SIDEWALK (NTS)**
ROADS SPEC 454.1010.005

SITE INFORMATION	
LEGAL DESCRIPTION PLAN: 2012087, BLOCK: LOT UNIT 2	
MUNICIPAL ADDRESS 5076 26th Avenue S.E. CALGARY, ALBERTA	
ZONING INDUSTRIAL - COMMERCIAL I.C. LAND USE BYLAW 1P2007	
PERMITTED USES GENERAL INDUSTRIAL, LIGHT: (SUB PART 1 DIV 2, 303.2(A)) IN THE CLEANING, REPAIRING, OR MAINTENANCE OF INDUSTRIAL OR COMMERCIAL GOODS AND EQUIPMENT; (3) THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; PROPOSED USE: COMMERCIAL INDUSTRIAL EQUIPMENT MAINTENANCE. GROSS FLOOR AREA = 10,055.700 m ²	
LOT AREA 35,780.7 (17,42) sqm	
LOT COVERAGE 7.3%	
FLOOR AREA RATIO (SUB PART 8, DIV 5, 956) 10.0 MAX PERMITTED: 0.08 PROPOSED	
BUILDING HEIGHT (SUB PART 8, DIV 5, 959) MAXIMUM HEIGHT LIMIT: 12m (PROPOSED HEIGHT: 7.5m)	
SITE AREAS BUILDING AREA = 1,448 m ² PARKING AREA = 1,478 m ² LANDSCAPE AREA = 1,538 m ² TOTAL AREA = 4,464 m ²	
BUILDING SETBACKS (SUB PART 8, DIV 5, 961-963) SUB PART 8, DIV 5, 961 - FRONT SETBACK TO STREET = 1.0m SUB PART 8, DIV 5, 962 (A) - REAR SETBACK TO LINE = 1.0m SUB PART 8, DIV 5, 963 (A) - SIDE SETBACK TO ADJACENT PARCEL = 1.2m	
PARKING (SUB PART 3, DIV 6, 1211) REQUIRED: THE MINIMUM PARKING STALLS REQUIRED FOR CALCULATING BARRIER FREE STALLS: GENERAL INDUSTRIAL - LIGHT 4800' (100' x 48') STALLS BASED ON ABC TABLE 3.8.2.2 1 BARRIER FREE STALL REQUIRED FOR 2-10 PARKING STALLS PROVIDED: 6 REGULAR STALLS (2000 x 5400) TOTAL = 4 STALLS	
LOADING STALLS (SUB PART 3, DIV 6, 1215/1216) REQUIRED: LOADING ZONE REQUIRED FOR INDUSTRIAL: 25 LOADING STALLS WHERE THE CUMULATIVE GROSS FLOOR AREA OF ALL BUILDINGS ON A PARCEL IS LESS THAN OR EQUAL TO 930,000 SQUARE METRES LOADING ZONE PROVIDED: 1 LOADING STALL (2100 x 1000) BICYCLE PARKING STALLS REQUIRED: A MINIMUM OF 1 BICYCLE PARKING STALLS - CLASS 2 PER 2000.0 SQUARE METRES OF GROSS USABLE FLOOR AREA. PROVIDED: 4 BICYCLE PARKING STALLS	

- GENERAL NOTES**
1. ALL DIMENSIONS ARE IN MILLIMETERS EXCEPT CONC. CURB RADIUS WHICH ARE NOTED IN METERS.
 2. ALL CONSTRUCTION WITHIN THE PROPERTY LINES IS NEW UNLESS NOTED OTHERWISE.
 3. DRAWING IS NOT TO BE SCALED.
 4. THIS SITE PLAN WAS CREATED FROM SURVEY DRAWING FILE NO. 220887 BY HORIZON LAND SURVEYING INC. THE SURVEY CONDUCTED ON JULY 15, 2025. CONTRACTOR TO CONFIRM ALL EXISTING SITE INFORMATION PRIOR TO START OF CONSTRUCTION. SHOULD SUBSTANTIAL DISCREPANCIES BECOME APPARENT, CONTACT THE CONSULTANT.
 5. ALL DIMENSIONS TO BE CHECKED & VERIFIED ON THE SITE, BY SURVEY, PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING.
 6. CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION ON MUNICIPAL PROPERTY IS TO THE LATEST MUNICIPAL STANDARDS.
 7. THE TRAVEL PATH OF THE WASTE AND RECYCLING VEHICLE TO BE PAVED WITH ASPHALT SURFACE DESIGN TO STRUCTURALLY SUPPORT A MINIMUM OF 25,000KG LOAD.
 8. ELECTRICAL SUPPLY TO SITE SIGN TO BE LOCATED UNDERGROUND.
 9. WHEEL STOPS TO BE CONSTRUCTED FROM RECYCLED RUBBER & BE A MAXIMUM 100mm HIGH. WHEEL STOPS TO BE POSTIONED 600mm FROM THE FRONT OF THE PARKING STALL (AS PER CITY OF CALGARY STANDARDS). WHEEL STOPS TO BE SECURED TO THE ASPHALT GRAVEL SURFACE AS PER THE MANUFACTURER'S RECOMMENDATIONS.

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	ADDED GRADING ELEV.	AG	2026-07-20

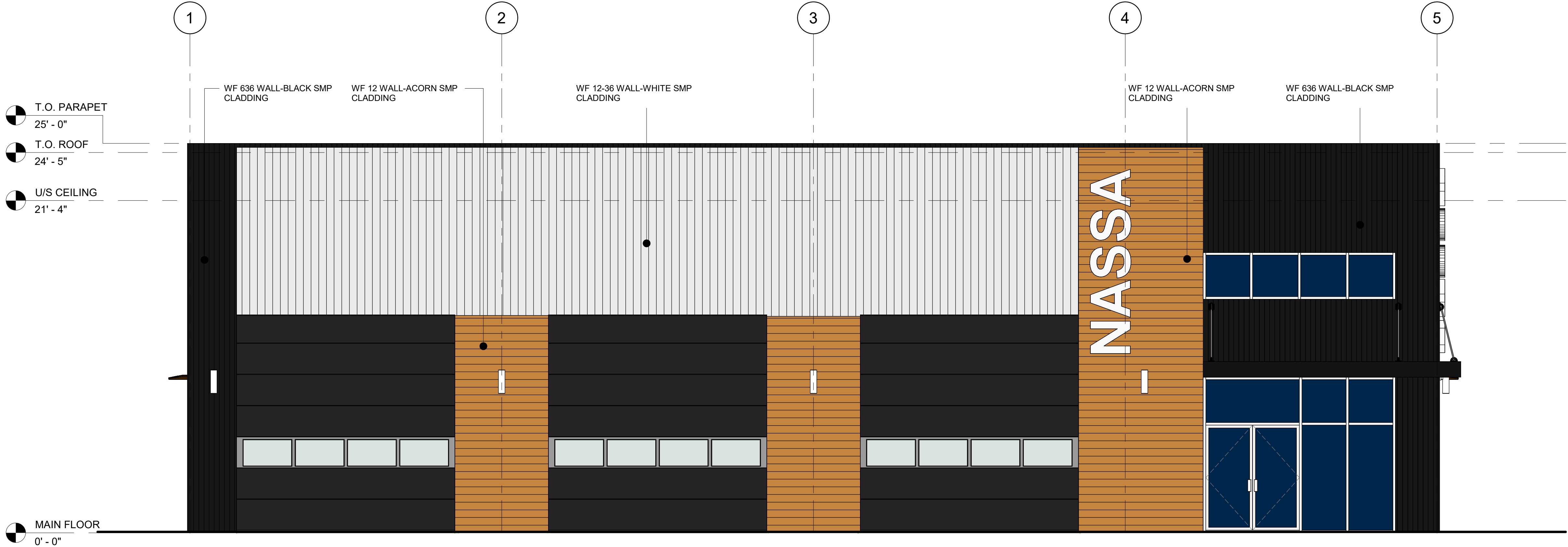
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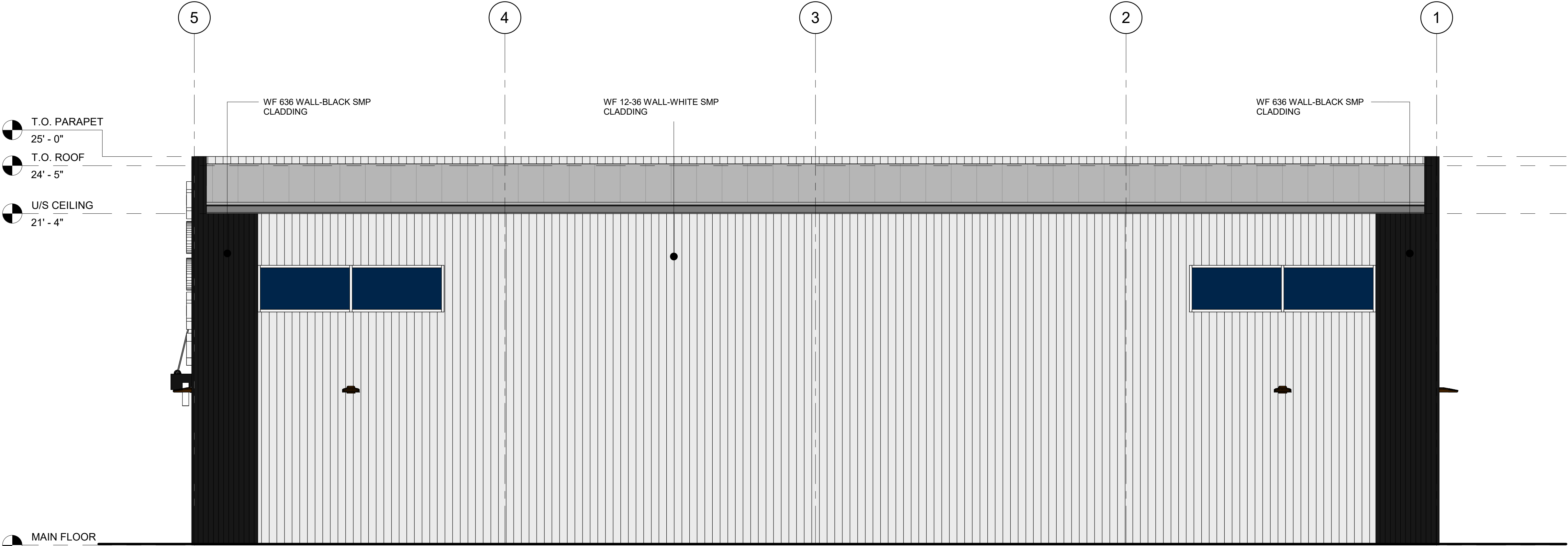
**PROPOSED SITE
PLAN**

JOB NUMBER	
SCALE 1:250	DATE 2025-10-23
DRAWN ED	CHECKED AG
APP'D	REV. NO
DWG NUMBER	

A1.01_r1



1 WEST ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

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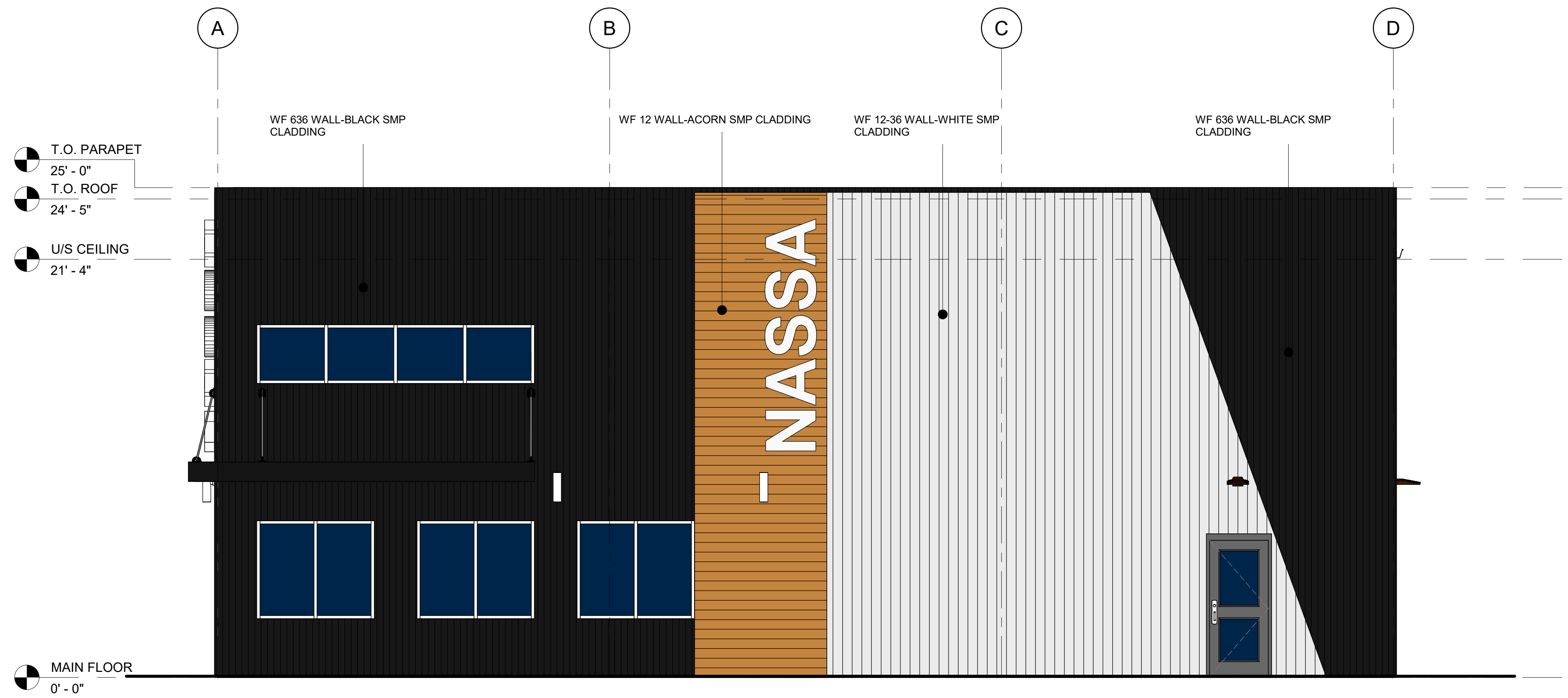
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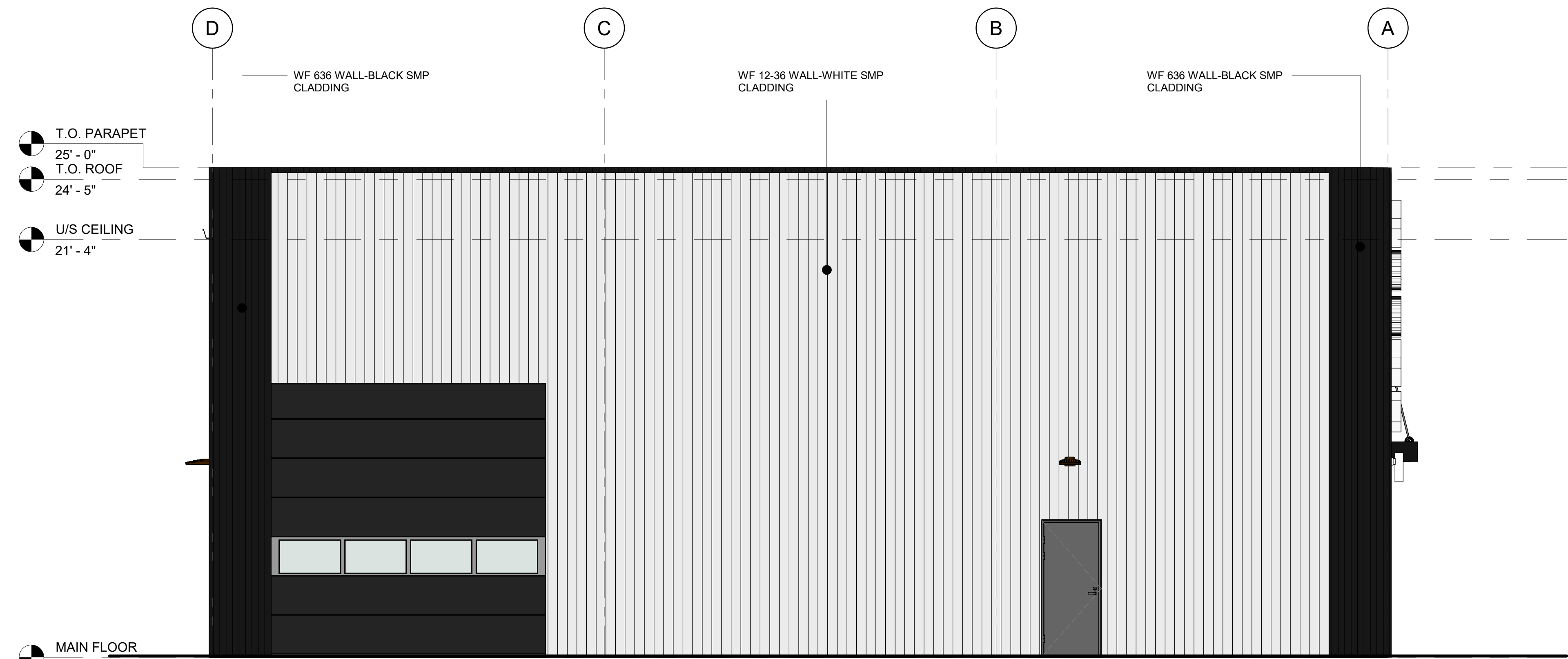
**WEST & EAST
ELEVATION**

JOB NUMBER			
SCALE	1/4" = 1'-0"	DATE	2025-09-08
DRAWN	ED	CHECKED	AG
APPD	REV. NO		

DWG NUMBER
A3.01



1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

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**SOUTH & NORTH
ELEVATION**

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APP'D		REV. NO	
DWG NUMBER			

A3.02