



PROPOSED COMMERCIAL/INDUSTRIAL EQUIPMENT MAINTAINANCE: ISSUED FOR RE ISSUED FOR DEVELOPMENT PERMIT_2025-12-31

DRAWING LIST

ARCHITECTURAL

- A0.00 - COVER SHEET
- A0.01 - EXISTING SITE PHOTOS
- A0.02 - EXISTING SITE PHOTOS
- A0.03 - RENDERING FOR NOTICE POSTING
- A0.04 - RENDERINGS
- A1.00 - EXISTING SITE PLAN
- A1.01 - PROPOSED SITE PLAN
- A1.02 - PROPOSED FIRE TRUCK ROUTE
- A1.03 - PROPOSED W&R TRUCK ROUTE
- A1.04 - PROPOSED SEMITRAILER ROUTE
- A1.05 - PROPOSED PASSENGER PARKING ROUTE
- A1.06 - PROPOSED LOADING TRUCK ROUTE
- A1.07 - PROPOSED LANDSCAPE PLAN
- A1.08 & A1.09 - YARD DETAILS
- A2.01 - PROPOSED FLOOR PLAN
- A3.01 - WEST & EAST ELEVATION
- A3.02 - SOUTH & NORTH ELEVATION
- A3.03 - SITE SECTION

ELECTRICAL

- E1.0 - SITE LIGHTING PLAN ISO LINES
- E2.0 - LIGHTING CALCULATION AND RENDERING
- E3.0 - LUMINAIRE SPECIFICATIONS

b2d

architecture Inc.

214 - 3016 5 Ave NE | Calgary, AB | T2A 6K4

(403) 389-8332

addis@b2darchitecture.ca

b2darchitecture.ca

SIGN / SEAL

WIEBE'S

STEEL

STRUCTURES

The design and drawings prepared by b2d architecture l building science are instruments of service for execution of the work shown and are the property of the b2d whether the work be executed or not and b2d reserves the copyright therein and in the work executed therefrom, and they are not to be reproduced or used in any way without the written consent of the b2d.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum, and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Architect prior to commencing construction.

These Design documents are prepared Solely for the use by the Party with whom the b2d has entered into a Contract and there no Representations of any kind made by the b2d to any Party with whom the b2d has not entered into contract.

Revision Schedule			
Rev. No.	Revision	By	Date

NASSA

EXCAVATING

LTD.

5076 26 AVE SE
CALGARY, AB

COVER PAGE

JOB NUMBER

SCALE

DATE

2025-09-08

DRAWN

ED

CHECKED

AG

APPD

REV. NO

DWG NUMBER

A0.00

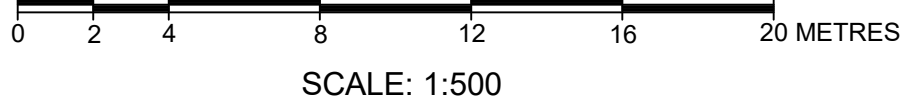
SITE PLAN

MUNICIPAL ADDRESS:
5048 & 5076 26th Avenue S.E.
Calgary, Alberta

LEGAL DESCRIPTION:
Unit 2 & 4
Condominium Plan 201 2087

PREPARED FOR: Wiebe's Steel Structures Ltd.

DATE OF SURVEY: August 8th, 2025



- LEGEND:
- Property Line
 - Right of Way Line
 - Fence Line
 - Water Valve
 - Fire Hydrant
 - Manhole
 - Catch Basin
 - Check Valve
 - Tree
 - Calculation points
 - Sanitary Line
 - Storm Line
 - Water Line
 - Gas Line
 - Overhead Wire
 - A.G.T Line

1.00m Major Contour Line
0.20m Minor Contour Line

'L'--Length of Arc
'BC'--Back of Curb
'BOW'--Bottom of Wall
'BW'--Back of Walkway
'Cont.'--Cantilever

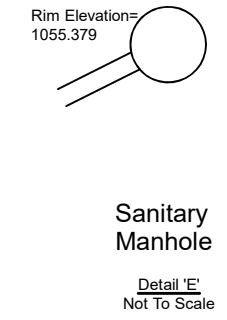
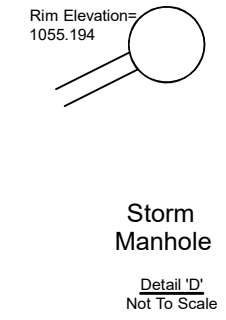
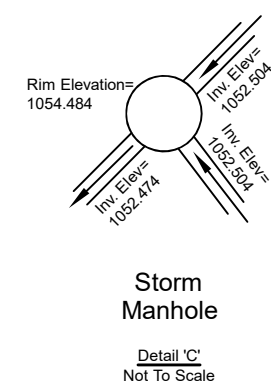
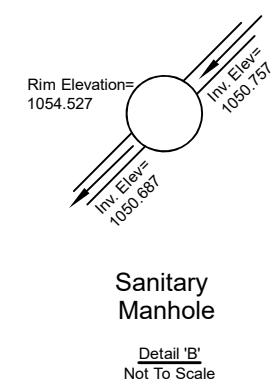
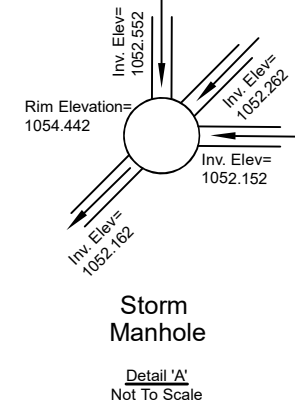
'Conc.'--Concrete
'Elev.'--Elevation
'Enc.'--Encroach(es)
'LOC'--Lip of Gutter
'R.'--Radius

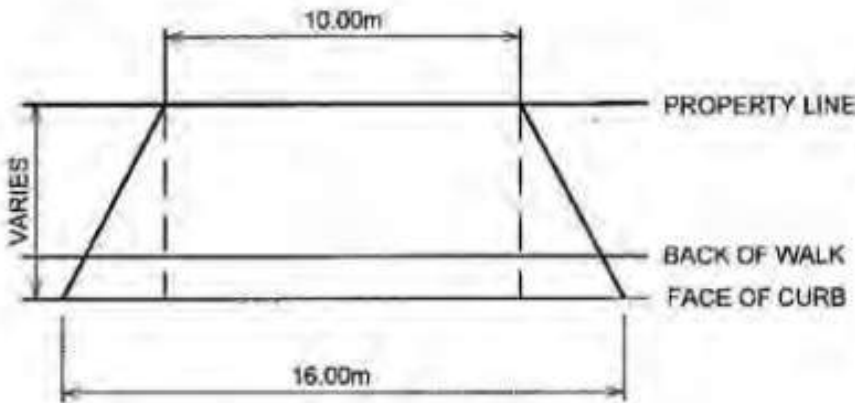
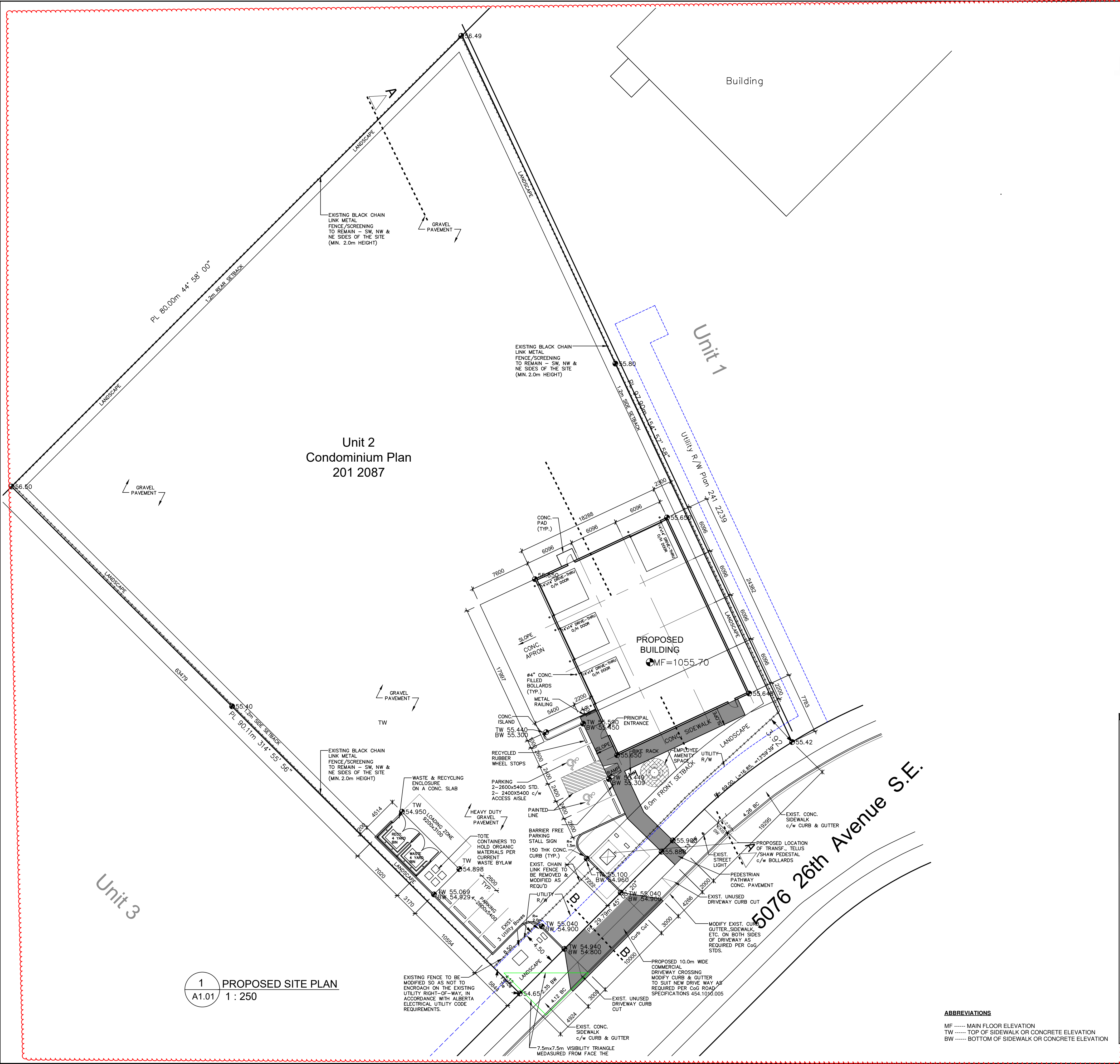
'R/W'--Right of Way
'Ret.'--Retaining
'TOW'--Top of Wall

- NOTE:
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999738
 - Distances are in ground and are shown in metres and decimals thereof.
 - Distances along curves are arc distances.
 - Elevations are derived from ASCM 28167.
 - Existing spot elevations are shown thus: 1000.00
 - a The Certificate of Title 241 048 217 was searched on the 10th day of July, 2025, and includes the following instruments:
Caveat No. 201 151 930
Utility Right of Way No. 201 193 404
Agreement No. 201 227 204
Easement No. 201 227 206
Caveat No. 211 053 094
Agreement No. 211 115 494
Mortgage No. 241 048 218
Caveat No. 241 048 219
 - b The Certificate of Title 251 028 449 was searched on the 10th day of July, 2025, and includes the following instruments:
Caveat No. 201 151 930
Utility Right of Way No. 201 193 404
Agreement No. 201 227 204
Easement No. 201 227 206
Caveat No. 211 053 094
Agreement No. 211 115 494

TREE SCHEDULE:

Tree No.	Variety	Caliper (±)	Canopy (±)	Height (±)	Location
T1	Deciduous Tree	0.10	1.00	4.00	In City Property
T2	Deciduous Tree	0.10	1.00	4.00	In City Property





10.00m COMMERCIAL
- FOR USES SUCH AS LARGE DEVELOPMENTS, SHOPPING CENTRES, APARTMENT COMPLEXES ETC.
- FOR TRUCK ACCESS
- TWO WAY TRAFFIC

- NOTES:**
1. ALL SIGNALIZED DRIVEWAYS SHALL HAVE CURB RETURNS.
 2. ALL DRIVEWAYS ARE TO TIE TO BACK OF WALK. IF NO WALK IS REQUIRED THEN THE DRIVEWAY IS TO TIE TO BACK OF CURB. THE ADJACENT DEVELOPMENT IS RESPONSIBLE FOR THE TIE.
 3. THE DRIVEWAY FLARE SHALL NOT EXTEND BEYOND THE PROJECTION OF THE COMMON PROPERTY LINE.
 4. DRIVEWAY DIMENSIONS INDICATED ARE MINIMUMS.
 5. DRIVEWAY FLARES CAN BE INCREASED TO FACILITATE MOVEMENT OF LARGE TRUCKS.
 6. EXIT DIRECTIONAL TO BE REVERSE OF 7.20m OR 10.00m ENTRANCE DIRECTIONAL.
 7. FOR BACK TO BACK DIRECTIONAL DRIVEWAYS, AN ISLAND IS REQUIRED BETWEEN THE TWO DRIVEWAYS. THE ISLAND SHALL BE CONSTRUCTED WITH STANDARD CURB AND GUTTER WITH CONCRETE FILL.

**2/A1.01 - TYPICAL DRIVEWAY LAYOUT
FOR MONOLITHIC SIDEWALK (NTS)**
ROADS SPEC 454.1010.005



SIGN / SEAL



The design and drawings prepared by b2d architecture l building science are instruments of service for execution of the work shown and are the property of the b2d whether the work be executed or not and b2d reserves the copyright therein and in the work executed therefrom, and they are not to be reproduced or used in any way without the written consent of the b2d.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum, and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Architect prior to commencing construction.

These Design documents are prepared Solely for the use by the Party with whom the b2d has entered into a Contract and there no Representations of any kind made by the b2d to any Party with whom the b2d has not entered into contract.

Revision Schedule

Rev. No.	Revision	By	Date

**NASSA
EXCAVATING
LTD.**

5076 26 AVE SE
CALGARY, AB

**PROPOSED SITE
PLAN**

JOB NUMBER

SCALE
1:250

DATE
2025-10-23

DRAWN
ED

CHECKED
AG

APP'D

REV. NO

DWG NUMBER

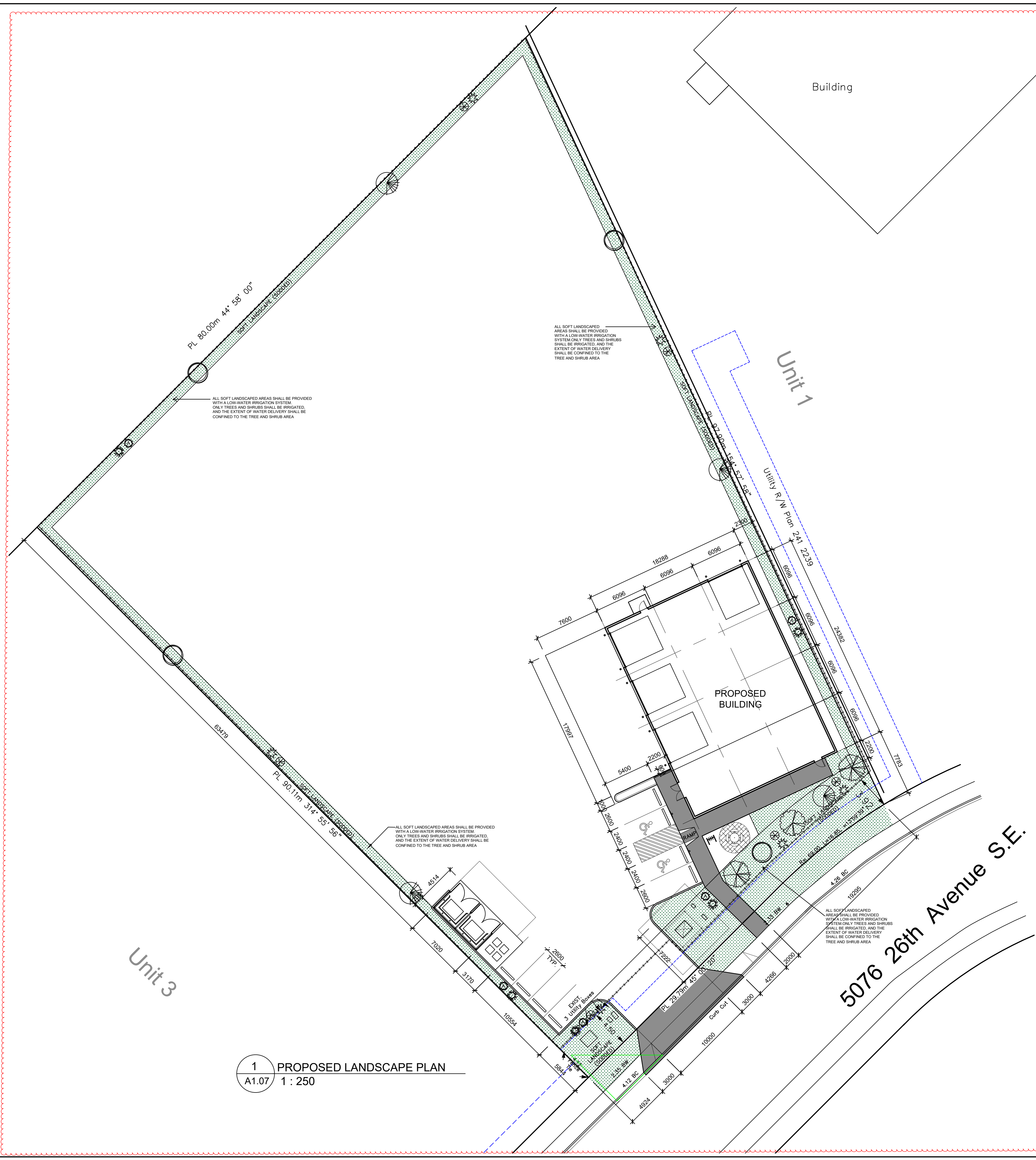
A1.01

SITE INFORMATION	
LEGAL DESCRIPTION PLAN 29128P, BLOCK LOT UNIT 2	
MUNICIPAL ADDRESS 5076 26th Avenue S.E. CALGARY, ALBERTA	
ZONING INDUSTRIAL - COMMERCIAL I.C. LAND USE BYLAW 1P2007	
PERMITTED USES GENERAL INDUSTRIAL LIGHT; (LUB PART 4 DIV 2, 203.2A(1)) FOR THE CLEANING, SERVICING, TESTING, REPAIRING OR MAINTENANCE OF INDUSTRIAL OR COMMERCIAL GOODS AND EQUIPMENT; FOR THE OFFICES OR WORKSHOPS OF CONTRACTORS ENGAGED IN EITHER BUILDING TRADES AND SERVICES, OR ROAD AND UTILITY CONSTRUCTION; (PROPOSED USE: COMMERCIAL INDUSTRIAL EQUIPMENT MAINTENANCE; GROSS FLOOR AREA = 4448 m ²)	
LOT AREA 15,780 m ² (ET 42 2015)	
LOT COVERAGE 73%	
FLOOR AREA RATIO (LUB PART 8, DIV 5, 958) 10 MAX PERMITTED, 0.08 PROPOSED	
BUILDING HEIGHT (LUB PART 8, DIV 5, 959) 10 MAX PERMITTED, 0.08 PROPOSED	
SITE AREAS BUILDING AREA = 4448 m ² PARKING AREA = 1478 m ² LANDSCAPE AREA = 1478 m ² TOTAL AREA = 7404 m ²	
BUILDING SETBACKS (LUB PART 8, DIV 5, 961-963) LUB PART 8, DIV 5, 961 - FRONT SETBACK TO STREET = 1.0m LUB PART 8, DIV 5, 962(a) - REAR SETBACK TO LOT LINE = 1.0m LUB PART 8, DIV 5, 963(b) - SIDE SETBACK TO INDUSTRIAL PARCEL = 1.0m	
PARKING (LUB PART 3, DIV 6, 121(1)) REQUIRED: THE MINIMUM PARKING STALLS REQUIRED FOR CALCULATING BARRIER FREE STALLS IS: GENERAL INDUSTRIAL - LIGHT 1100m ² OF GROSS USABLE FLOOR AREA. BASED ON ASH TABLE 3.8.2.2 BARRIER FREE STALL REQUIRED FOR 2-10 PARKING STALLS PROVIDED: 6 REGULAR STALLS (2000 x 5400) TOTAL = 6 STALLS	
LOADING STALLS (LUB PART 3, DIV 6, 123(5)(i)) REQUIRED: LOADING ZONE REQUIRED FOR INDUSTRIAL CHARGING STALLS WHERE THE CUMULATIVE GROSS FLOOR AREA OF ALL BUILDINGS ON A PARCEL IS LESS THAN OR EQUAL TO 9500 SQUARE METRES LOADING ZONE PROVIDED: 1 LOADING STALL (1000 x 1000)	
BICYCLE PARKING STALLS REQUIRED: A MINIMUM OF 1 BICYCLE PARKING STALL - CLASS 2 PER 2000 SQUARE METRES OF GROSS USABLE FLOOR AREA. PROVIDED: 4 BICYCLE PARKING STALLS	

- GENERAL NOTES**
1. ALL DIMENSIONS ARE IN MILLIMETERS EXCEPT CONC. CURB RADIUS WHICH ARE NOTED IN METERS.
 2. ALL CONSTRUCTION WITHIN THE PROPERTY LINES IS NEW U.N.O.
 3. DRAWING IS NOT TO BE SCALED.
 4. THIS SITE PLAN WAS CREATED FROM SURVEY DRAWING FILE NO. 220887 BY HORIZON LAND SURVEYS INC. THE SURVEY CONDUCTED ON JULY 15, 2025. CONTRACTOR TO CONFIRM ALL EXISTING SITE INFORMATION PRIOR TO START OF CONSTRUCTION. SHOULD SUBSTANTIAL DISCREPANCIES BECOME APPARENT, CONTACT THE CONSULTANT.
 5. ALL DIMENSIONS TO BE CHECKED & VERIFIED ON THE SITE, BY SURVEY PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING.
 6. CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION ON MUNICIPAL PROPERTY IS TO THE LATEST MUNICIPAL STANDARDS.
 7. THE TRAVEL PATH OF THE WASTE AND RECYCLING VEHICLE TO BE PAVED WITH ASPHALT SURFACE DESIGN TO STRUCTURALLY SUPPORT A MINIMUM OF 25,000KG LOAD.
 8. ELECTRICAL SUPPLY TO SITE SIGN TO BE LOCATED UNDERGROUND.
 9. WHEEL STOPS TO BE CONSTRUCTED FROM RECYCLED RUBBER & BE A MAXIMUM 100mm HIGH. WHEELS STOPS TO BE POSITIONED 600mm FROM THE FRONT OF THE PARKING STALL (AS PER CITY OF CALGARY STANDARDS). WHEEL STOPS TO BE SECURED TO THE ASPHALT GRAVEL SURFACE AS PER THE MANUFACTURER'S RECOMMENDATIONS.

ABBREVIATIONS

MF ----- MAIN FLOOR ELEVATION
TW ----- TOP OF SIDEWALK OR CONCRETE ELEVATION
BW ----- BOTTOM OF SIDEWALK OR CONCRETE ELEVATION



- GENERAL NOTES:**
- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
 - ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES.
 - ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK.
 - THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES AND WALLS FOR DURATION OF CONSTRUCTION.
 - ALL OFF-SITE WORKS TO CONFORM TO CALGARY CONSTRUCTION STANDARDS.
 - ALL SOFT LANDSCAPING AREAS TO BE IRRIGATED WITH LOW WATER IRRIGATION SYSTEM. THE GENERAL CONTRACTOR TO PROVIDE ALL THE NECESSARY IRRIGATION DETAIL PLANS OR SHOP DRAWINGS THAT COMPLY WITH THE REQUIREMENTS OF THE CITY OF CALGARY LAND USE BYLAW, AND TO BE REVIEWED BY THE CONSULTANTS PRIOR TO THE INSTALLATIONS.
 - IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
 - ALL TREE PITS & SHRUB BEDS TO BE PREPARED TO 450mm DEPTH (MIN.) OR TO DESIRED PLANTING DEPTH USING COMPOST MIX:
 - 1/3 SCREENED TOPSOIL
 - 1/3 PEAT MOSS
 - 1/3 WELL ROTTED MANURE
 - FINISHED GRADE TO BE COMPLETE w/ 75mm THICK DOUGLAS FIR BARK MULCH.
 - PROVIDE BLACK DIAMOND EDGING BETWEEN SOFT AREA(S) AND ADJOINING TREE PITS AND SHRUB BEDS.
 - STAKE ALL TREES USING GUYWIRES OR 50x50x2400mm LONG, OR LONGER, CEDAR STAKES AND FLEXIBLE STRAPS.
 - CONTRACTOR TO CONTACT 'ALBERTA ONE' TO LOCATE ALL UTILITIES IN FIELD PRIOR TO CONSTRUCTION.
 - ALL PLANT MATERIAL TO HAVE A ONE YEAR MAINTENANCE & WARRANTY PERIOD STARTING FROM THE APPROVAL OF THE CONSTRUCTION COMPLETION DATE
 - ONLY TREES AND SHRUBS MUST BE IRRIGATED AND THE EXTENT OF WATER DELIVERY MUST BE CONFINED TO THE TREE AND SHRUB AREA.
 - TREES AND SHRUBS THAT HAVE SIMILAR WATER CONSUMPTION REQUIREMENTS ARE TO BE GROUPED TOGETHER.
 - MINIMUM SIZE OF DECIDUOUS TREES CALLIPER IS 50mm. AT LEAST 50.0% OF THE TREES MUST HAVE MINIMUM CALLIPER OF 75mm AT THE TIME OF PLANTING.
 - CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 2.0 METRES AND AT LEAST 50.0 PER CENT OF THE PROVIDED CONIFEROUS TREES MUST BE A MINIMUM OF 3.0 METRES IN HEIGHT AT THE TIME OF PLANTING.

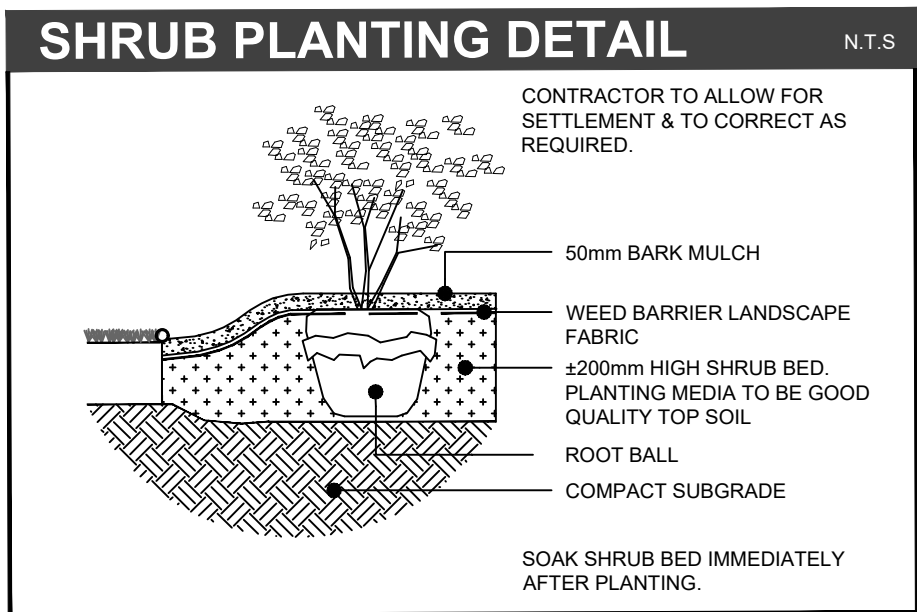
PLANT LEGEND:

DECIDUOUS TREES				MATURE	
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD
	4	POPULUS TREMULOIDES	TREMBLING ASPEN	12m HEIGHT	2.0M
	4	MALUS JEFFSPIRE	PURPLE SPIRE COLUMNAR CRABAPPLE	8m HEIGHT	2.4m

ALL 8 OF DECIDUOUS TREES MUST BE MIN. OF 50mm CALLIPER. 4 OF TREMBLING ASPEN & 4 OF PURPLE SPIRE COLUMNAR MUST BE A MIN. 75mm CALLIPER AT THE TIME OF PLANTING.

CONIFEROUS TREES				MATURE	
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD
	2	PINUS CONTORTA	LODGE POLE PINE	20.0M	6.0M
	1	PICEA PUNGENS	COLORADO SPRUCE	18.0M	5.0M

ALL 22 SHRUBS MUST BE MIN. HEIGHT OR SPREAD OF 0.6 METERS AT THE TIME OF PLANTING.



SITE INFORMATION

PLAN: 2012087/BLOCK: LOT: UNIT 2 CALGARY, ALBERTA	I-C INDUSTRIAL - COMMERCIAL
5076 - 26 AVENUE S.E. CALGARY, ALBERTA	LOT AREA: ±5,738m²

LANDSCAPE REQUIREMENTS

964 (11&4)
WHERE A SETBACK AREA SHARES A P/L WITH A STREET OR A PARCEL DESIGNATED AS AN INDUSTRIAL ZONE:

- MUST BE PROVIDED WITH SOFT SURFACED LANDSCAPED AREA
- A MIN. OF 1.0 TREES & 2.0 SHRUBS FOR EVERY 50.0 SQ.M. WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM

25% OF THE TREES REQUIRED SHOULD BE CONIFEROUS

LANDSCAPE AREA REQUIRED:

FRONT SETBACK (SE) - SETBACK AREA SHARES A PROPERTY LINE WITH A STREET - 26 AVE NE. TOTAL LANDSCAPE AREA=247.64m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 50m²
247.64m² / 50m² = 4.95

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 50m²
247.64m² / 50m² = 4.95 x 2 = 9.90

SIDE SETBACK (NE) - SETBACK AREA SHARES A PROPERTY LINE WITH INDUSTRIAL PARCEL (2012087,U-1). TOTAL LANDSCAPE AREA= 107.82m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 50m²
107.8m² / 50m² = 2.15

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 50m²
107.8m² / 50m² = 2.15 x 2 = 4.30

SIDE SETBACK (SW) - SETBACK AREA SHARES A PROPERTY LINE WITH INDUSTRIAL PARCEL (2012087,U-3). TOTAL LANDSCAPE AREA= 97.91m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 50m²
97.9m² / 50m² = 1.96

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 50m²
97.9m² / 50m² = 1.96 x 2 = 3.92

REAR SETBACK (NW) - SETBACK AREA SHARES A PROPERTY LINE WITH A PARCEL (2955GU). TOTAL LANDSCAPE AREA= 92.78m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 50m²
92.78m² / 50m² = 1.85

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 50m²
92.78m² / 50m² = 1.85 x 2 = 3.70

LANDSCAPE AREA PROVIDED:

TOTAL SOFT LANDSCAPING = ±541.62m²

REQUIRED
TREES: 11 DECIDUOUS - 8 CONIFEROUS - 3

PROVIDED
TREES: 11 DECIDUOUS - 8 CONIFEROUS - 3

REQUIRED
SHRUBS/GRASSES: 22 MIXED VARIETY

REQUIRED
SHRUBS/GRASSES: 22 MIXED VARIETY

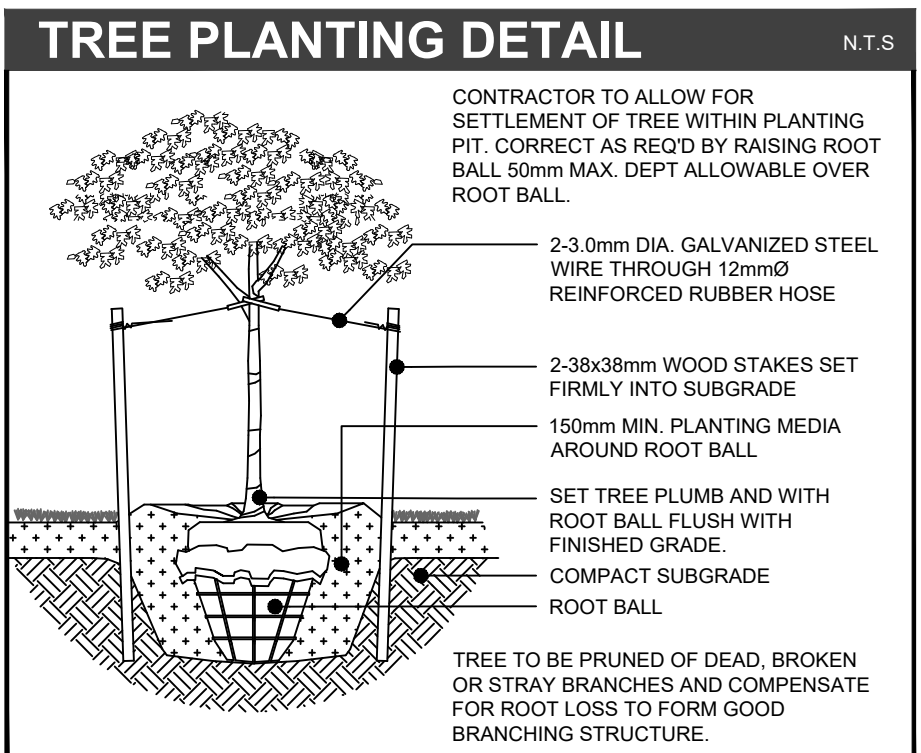
1. ALL DECIDUOUS TREE CALLIPER MUST BE 50mm.
2. AT LEAST 50% DECIDUOUS TREE CALLIPER MUST BE MINIMUM 75mm AT THE TIME OF PLANTING.
3. ALL CONIFEROUS TREES MUST BE A MIN. OF 2.0M HIGH.
4. AT LEAST 50% OF CONIFEROUS TREES MUST BE 3.0m HIGH.
5. SHRUBS MINIMUM HEIGHT OR SPREAD OF 0.6m AT THE TIME OF PLANTING.

NOTES:

1. ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
2. TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100mm AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING FROM 50mm FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
3. ALL SOFT LANDSCAPE AREA TO BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

SURFACING LEGEND:

PRODUCT	AREA	PRODUCT
SOD	±542m²	



b2d
architecture Inc.
214 - 3016 5 Ave NE | Calgary, AB | T2A 6K4
(403) 389-8332
addis@b2darchitecture.ca
b2darchitecture.ca

SIGN / SEAL

WIEBE'S
STEEL
STRUCTURES

The design and drawings prepared by b2d architecture i building science are instruments of service for execution of the work shown and are the property of the b2d whether the work be executed or not and b2d reserves the copyright therein and in the work executed therefrom, and they are not to be reproduced or used in any way without the written consent of the b2d.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum, and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Architect prior to commencing construction.

These Design documents are prepared Solely for the use by the Party with whom the b2d has entered into a Contract and there no Representations of any kind made by the b2d to any Party with whom the b2d has not entered into contract.

Revision Schedule			
Rev. No.	Revision	By	Date

NASSA
EXCAVATING
LTD.

5076 26 AVE SE
CALGARY, AB

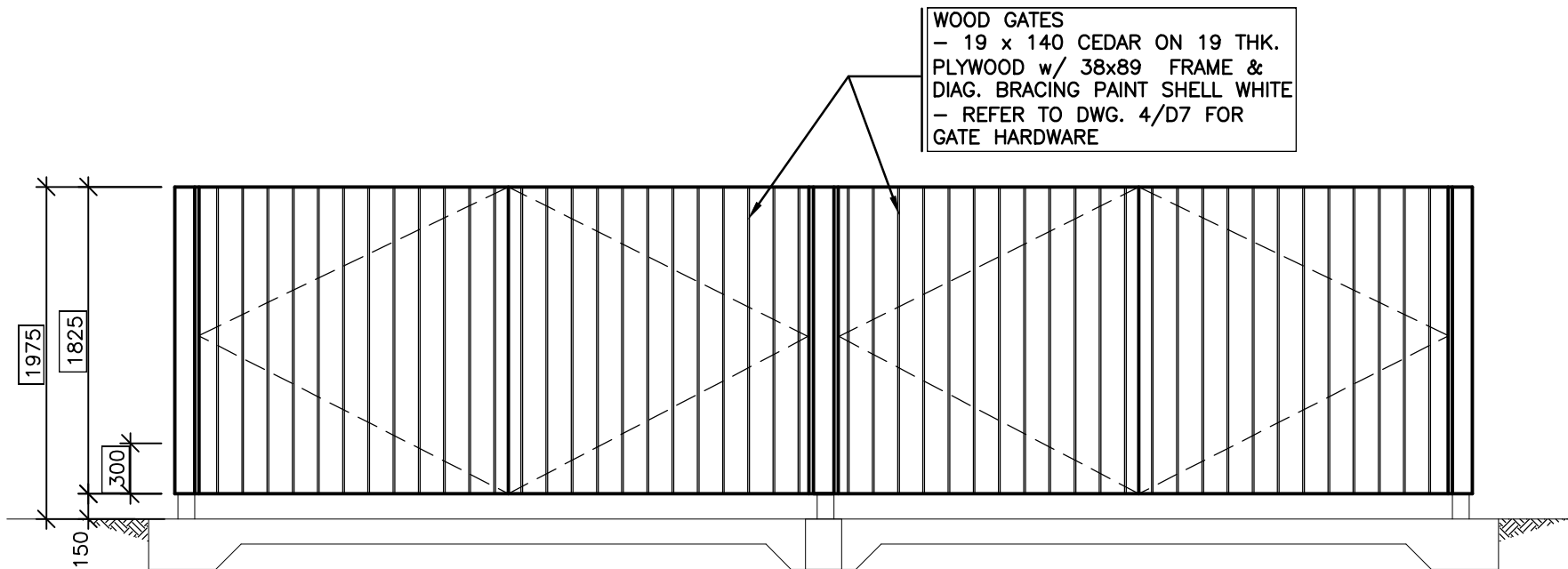
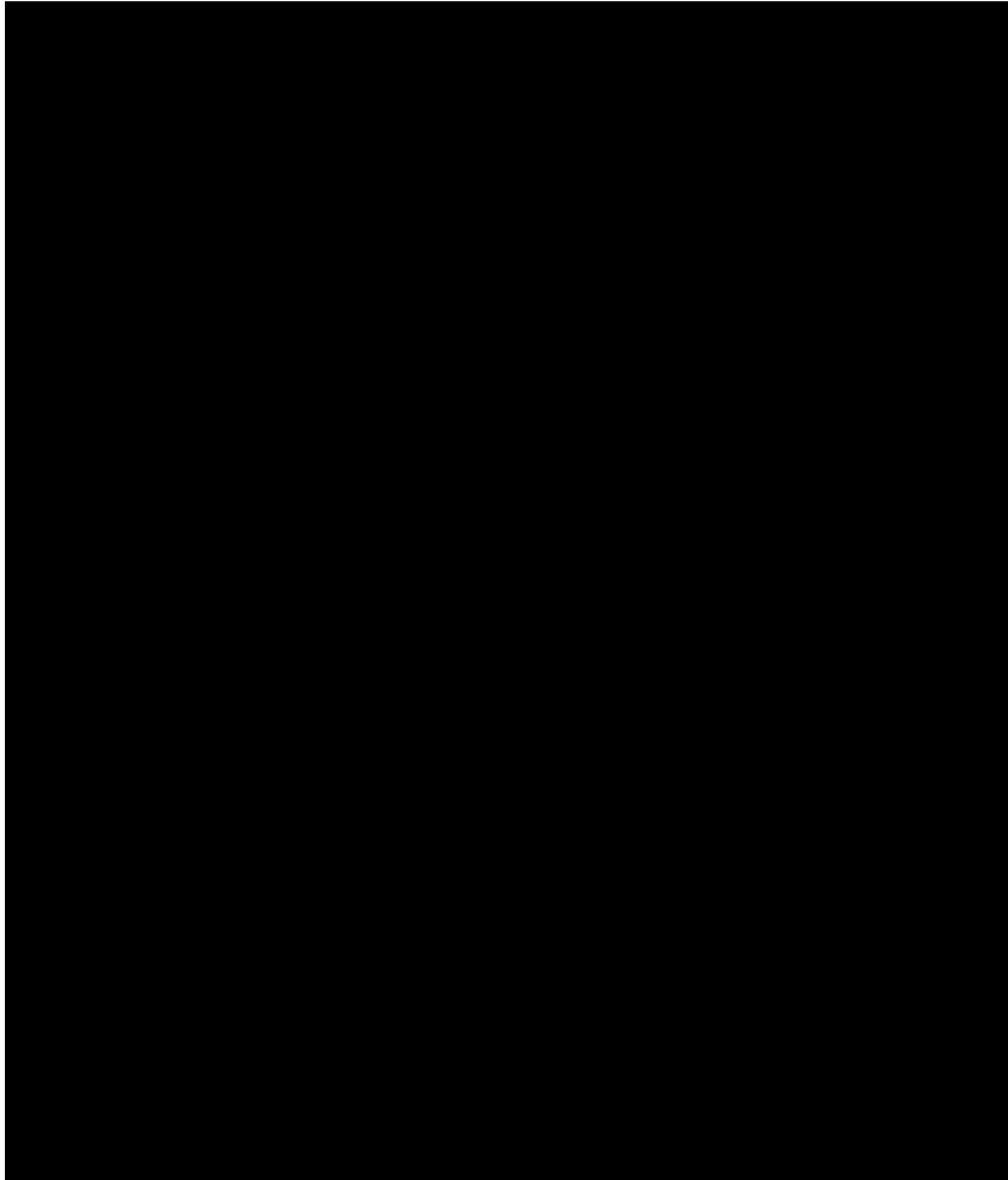
PROPOSED
LANDSCAPE PLAN

JOB NUMBER

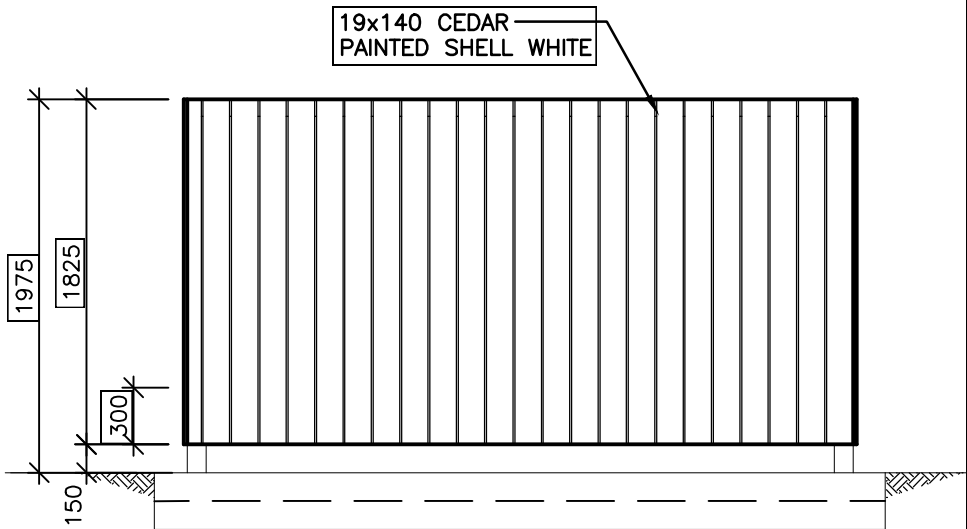
SCALE 1:250	DATE 2025-10-23
DRAWN ED	CHECKED AG
APP'D	REV. NO

DWG NUMBER

A1.07



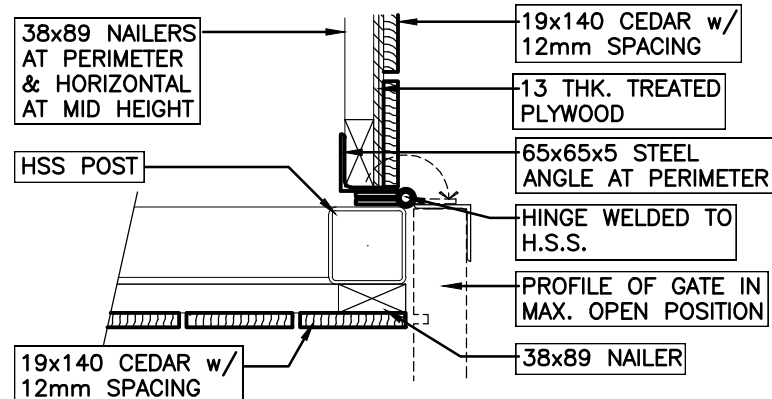
WOOD GATES
- 19 x 140 CEDAR ON 19 THK.
PLYWOOD w/ 38x89 FRAME &
DIAG. BRACING PAINT SHELL WHITE
- REFER TO DWG. 4/D7 FOR
GATE HARDWARE



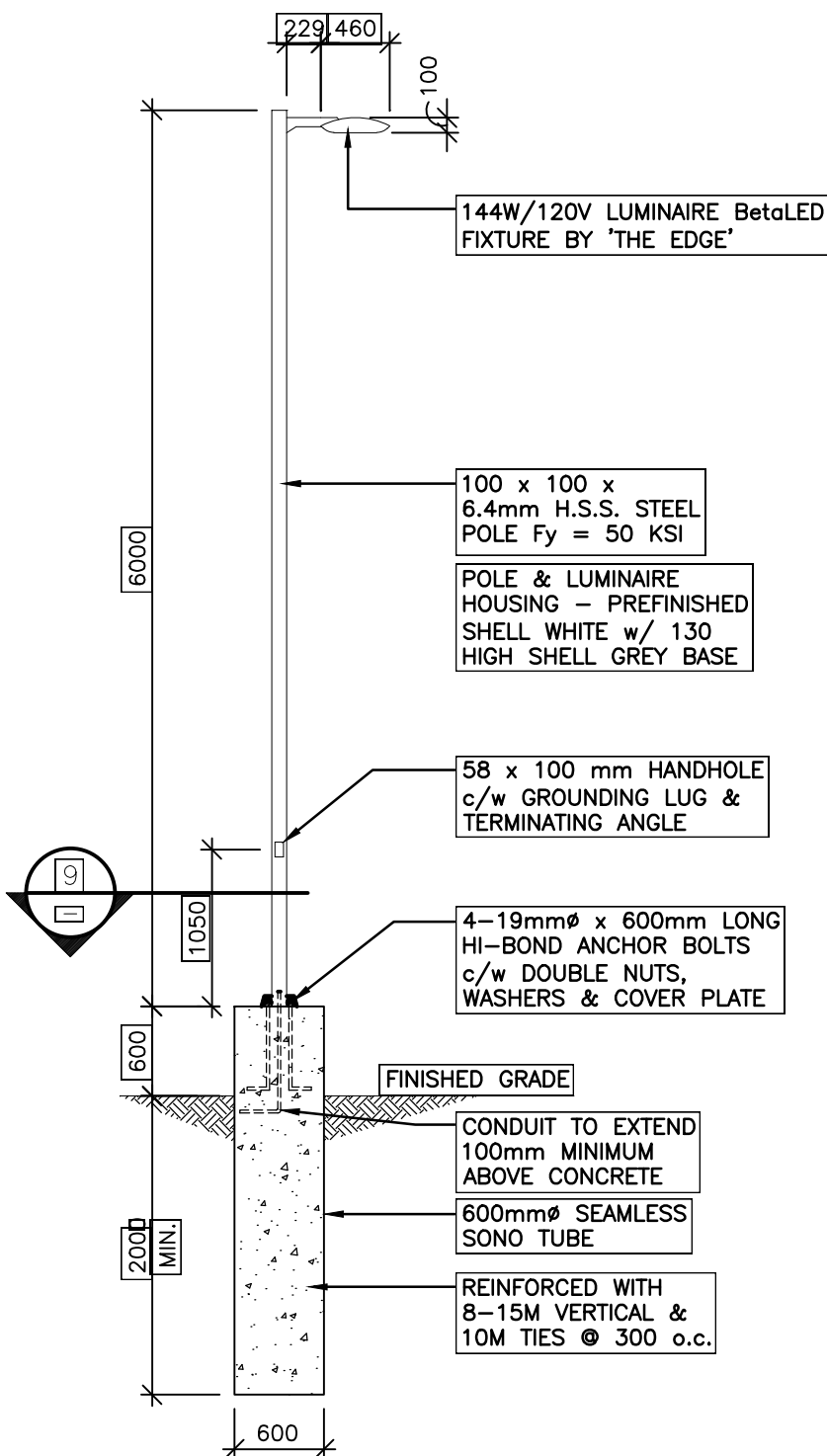
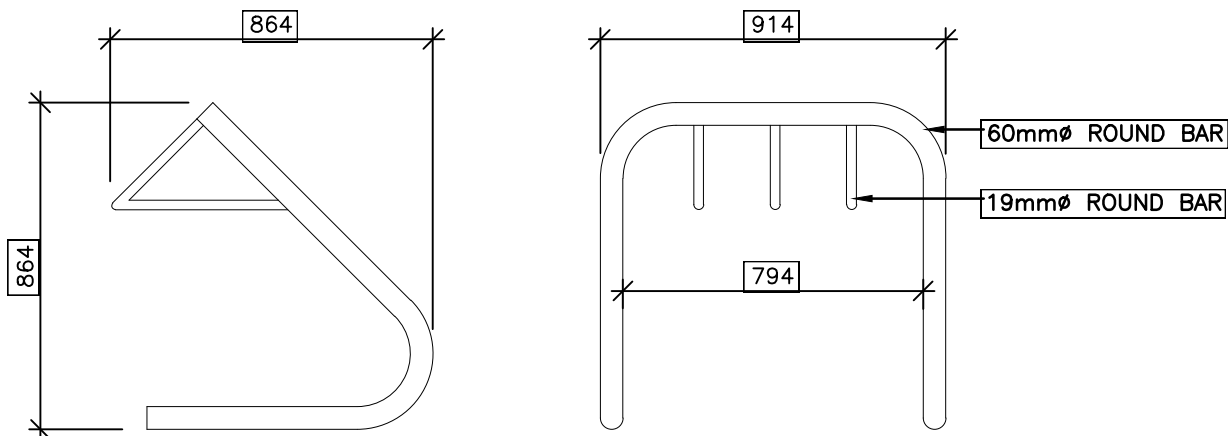
19x140 CEDAR
PAINTED SHELL WHITE

2 WASTE & RECYCLING
SIDE ELEVATION
SCALE: 1:40

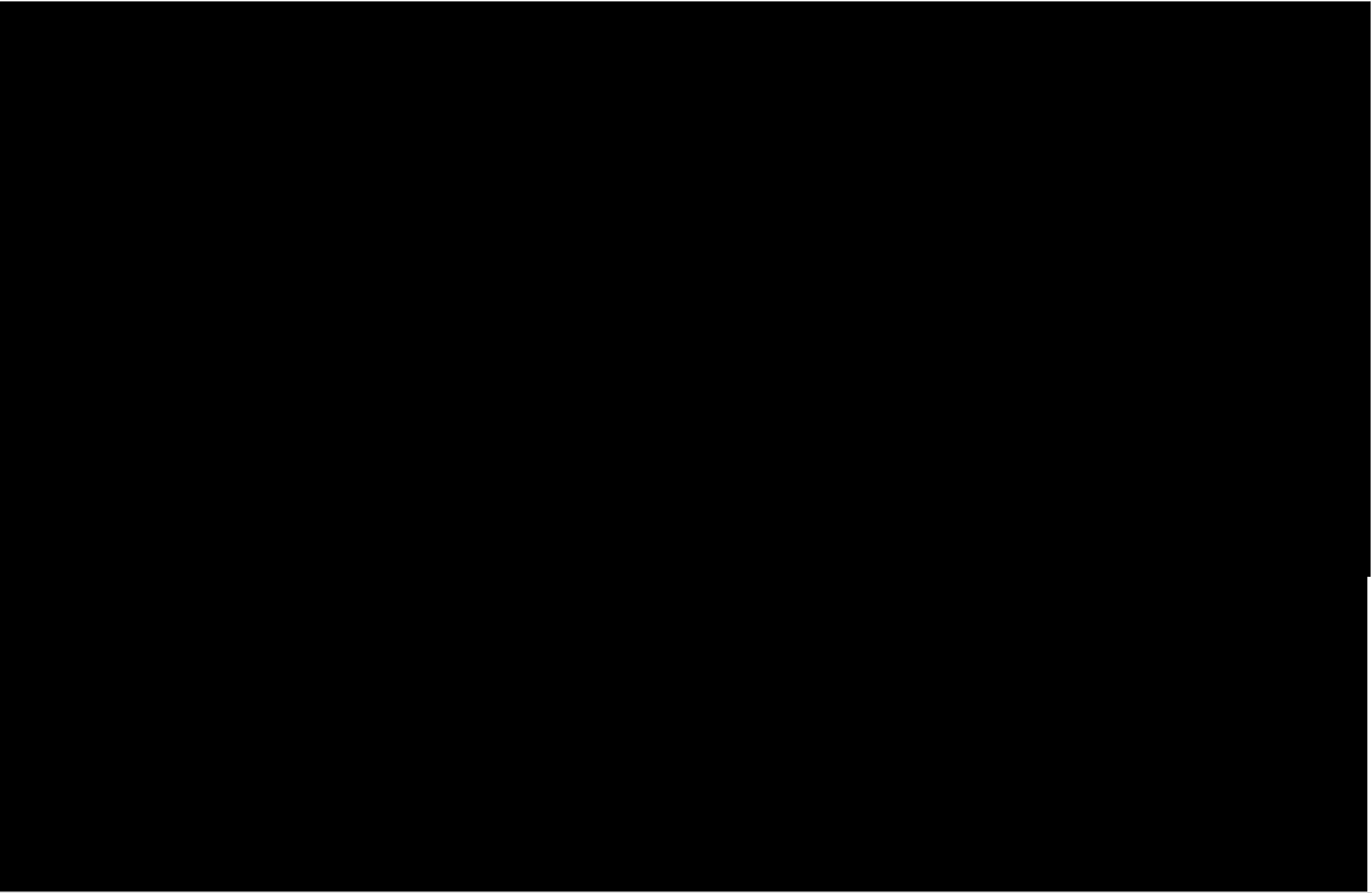
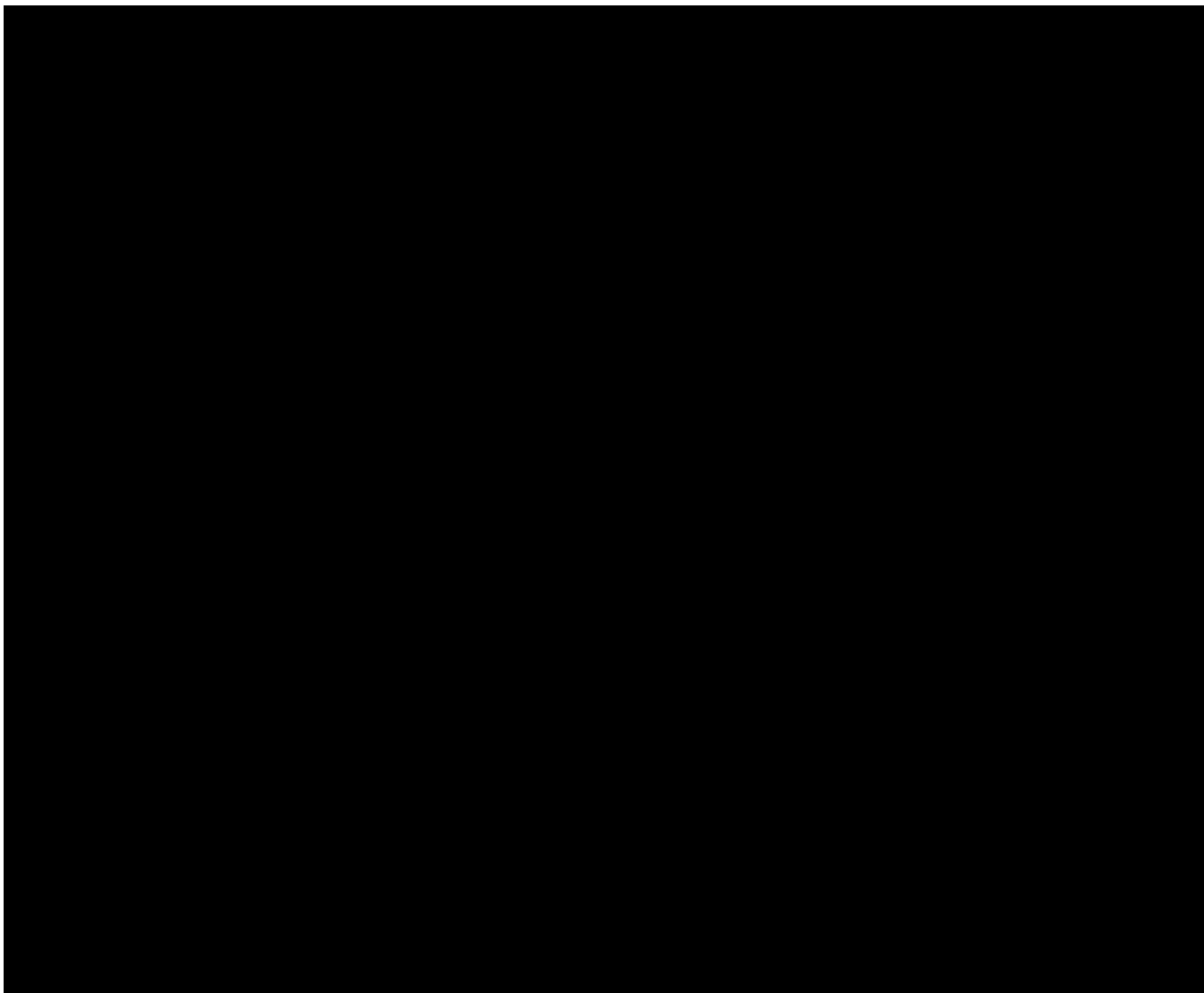
3 WASTE & RECYCLING
SIDE ELEVATION
SCALE: 1:50



4 WASTE & RECYCLING
ENCLOSURE DETAIL
SCALE: 1:10



8 YARD LIGHT ELEVATION
SCALE: 1:50



GENERAL NOTE

SIGN / SEAL

Revision Schedule			
Rev. No.	Revision	By	Date

**NASSA
EXCAVATING
LTD.**

5076 26 AVE SE
CALGARY, AB

YARD DETAIL

JOB NUMBER

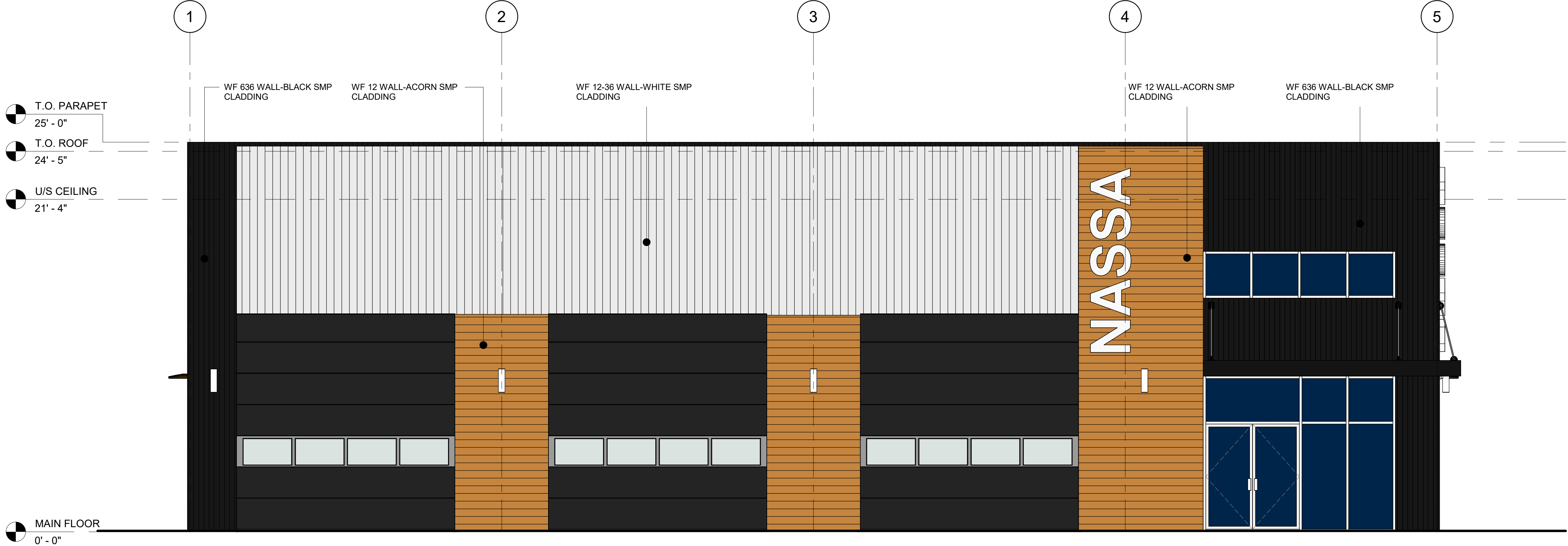
SCALE AS NOTED DATE 2024-10-01

DRAWN ED CHECKED AG

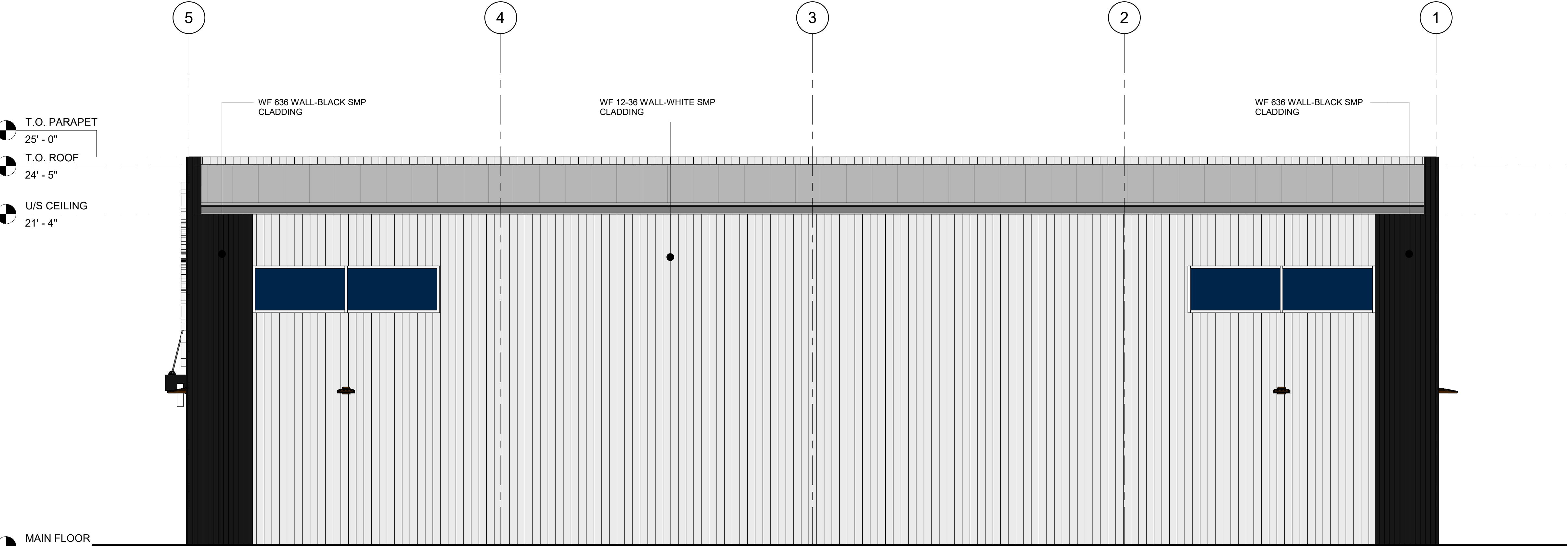
APP'D REV. NO

DWG NUMBER

A1-08



1 WEST ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

SIGN / SEAL



The design and drawings prepared by b2d architecture l building science are instruments of service for execution of the work shown and are the property of the b2d whether the work be executed or not and b2d reserves the copyright therein and in the work executed therefrom, and they are not to be reproduced or used in any way without the written consent of the b2d.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum, and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Architect prior to commencing construction.

These Design documents are prepared Solely for the use by the Party with whom the b2d has entered into a Contract and there no Representations of any kind made by the b2d to any Party with whom the b2d has not entered into contract.

Revision Schedule			
Rev. No.	Revision	By	Date

**NASSA
EXCAVATING
LTD.**

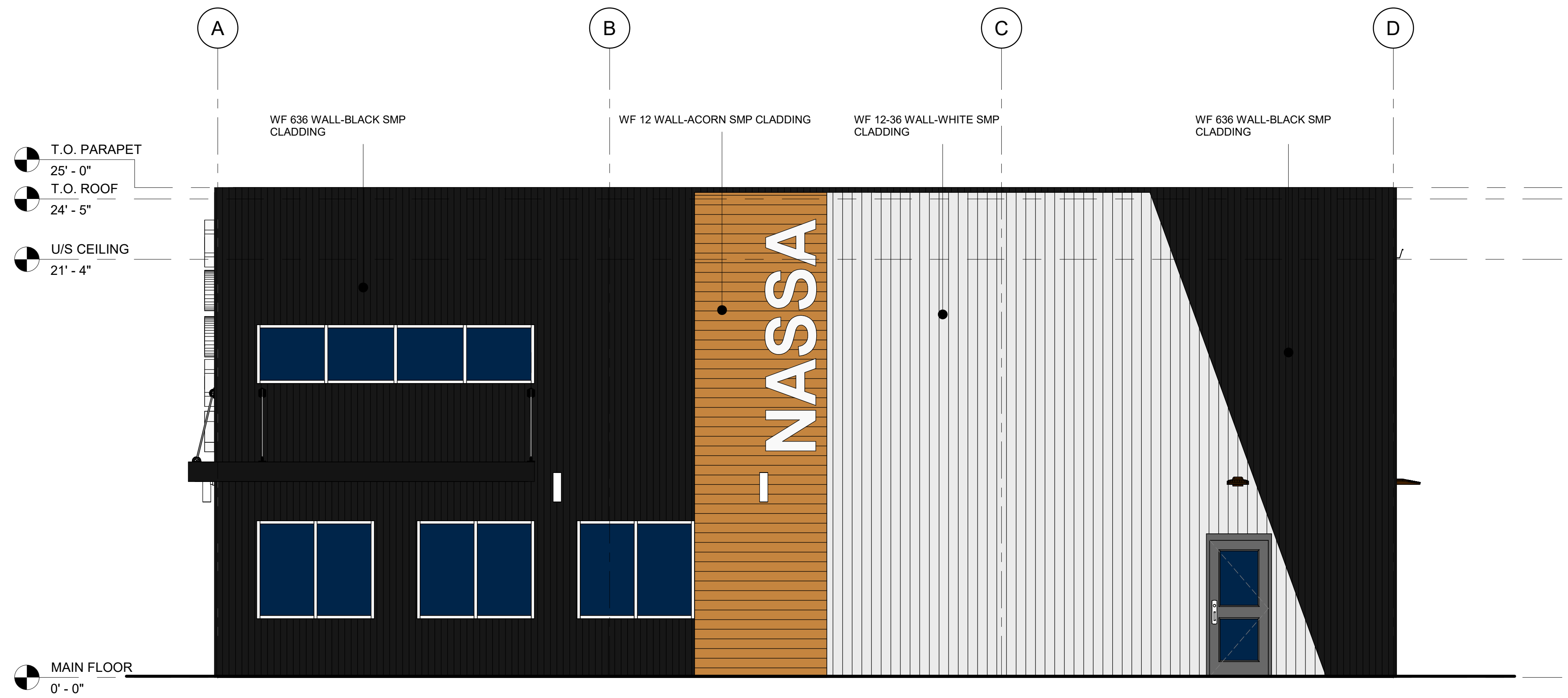
5076 26 AVE SE
CALGARY, AB

**WEST & EAST
ELEVATION**

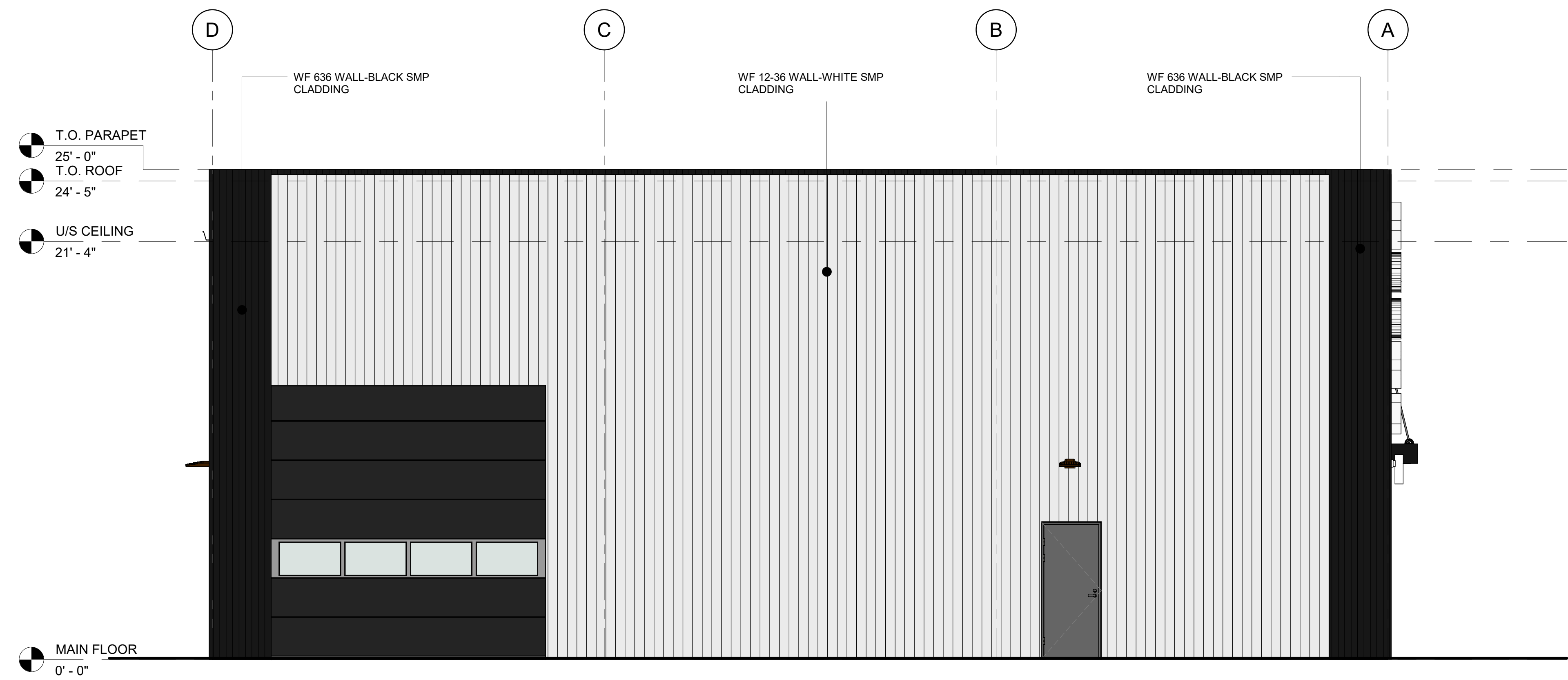
JOB NUMBER			
SCALE	1/4" = 1'-0"	DATE	2025-09-08
DRAWN	ED	CHECKED	AG
APPD	REV. NO		

DWG NUMBER

A3.01



1 **SOUTH ELEVATION**
1/4" = 1'-0"



2 **NORTH ELEVATION**
1/4" = 1'-0"

SIGN / SEAL



The design and drawings prepared by b2d architecture l building science are instruments of service for execution of the work shown and are the property of the b2d whether the work be executed or not and b2d reserves the copyright therein and in the work executed therefrom, and they are not to be reproduced or used in any way without the written consent of the b2d.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum, and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Architect prior to commencing construction.

These Design documents are prepared Solely for the use by the Party with whom the b2d has entered into a Contract and there no Representaions of any kind made by the b2d to any Party with whom the b2d has not entered into contract.

Revision Schedule			
Rev. No.	Revision	By	Date

**NASSA
EXCAVATING
LTD.**

5076 26 AVE SE
CALGARY, AB

**SOUTH & NORTH
ELEVATION**

JOB NUMBER			
SCALE 1/4" = 1'-0"		DATE 2025-09-08	
DRAWN ED		CHECKED AG	
APP'D		REV. NO	
DWG NUMBER			

A3.02