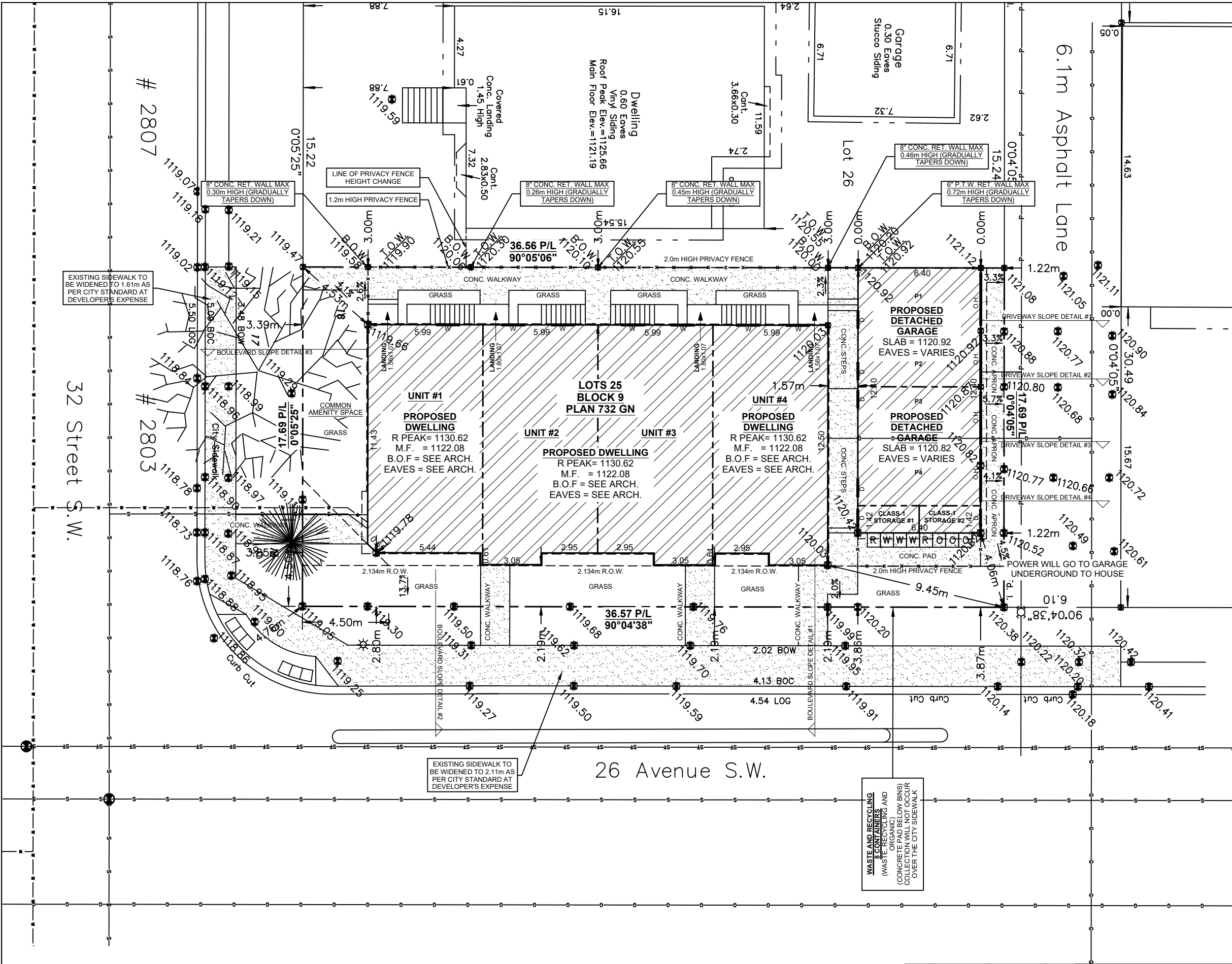




SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\bullet$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

$\blacksquare$	denotes Calculation points
$\boxtimes$	denotes Water Valve
$\blacklozenge$	denotes Gas Valve
$\blacklozenge$	denotes Manhole
$\odot$	denotes Tree
$\oplus$	denotes Power Pole
$\triangle$	denotes Sign
$\odot$	denotes Light Standard
-X-X-	denotes Fence
-S-	denotes Sanitary Line
-ST-	denotes Storm Line
-W-	denotes Water Line
-G-	denotes Gas Line
-E-	denotes Electrical Line
-A.G.T.-	denotes A.G.T. Line
-U.R.O.W.-	denotes Utility Right of Way Line
-P.L.-	denotes Property Line
-D-	denotes Door
-M.F.W.-	denotes Main Floor Windows
-S.F.W.-	denotes Second Floor Windows
-B.F.W.-	denotes Basement Floor Windows
	denotes Shed Hatch
	denotes Detached Garage Hatch
	denotes Main Building Hatch
	denotes Concrete and Asphalt Hatch
	denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
Lots 25
Block 9
Plan 732 GN

MUNICIPAL ADDRESS:
2803 32 ST. S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(ROW HOUSING)
LOT SIZE: 646,521 SQ M
HOUSE: 290,650 SQ M
MAIN CANT.: 0.00 SQ M
GARAGE + STORAGE: 88,420 SQ M
COVERED PORCH: 0.00 SQ M
WING WALL: 0.00 SQ M

TOTAL UNITS: 4
LOT SIZE: 646,521 SQ M (0.0646521 ha)
DENSITY: 62 UNITS/ha

PARKING:
PARKING PROVIDED: 4 STALLS

TOTAL : 379.07/646.521
= 58.63%

NO.	DATE (D/M/Y)	DETAIL	BY
01.	28.03.2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

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PROJECT NAME AND ADDRESS:
2803 32 ST. S.W.
Calgary, Alberta

Lots 25
Block 9
Plan 732 GN

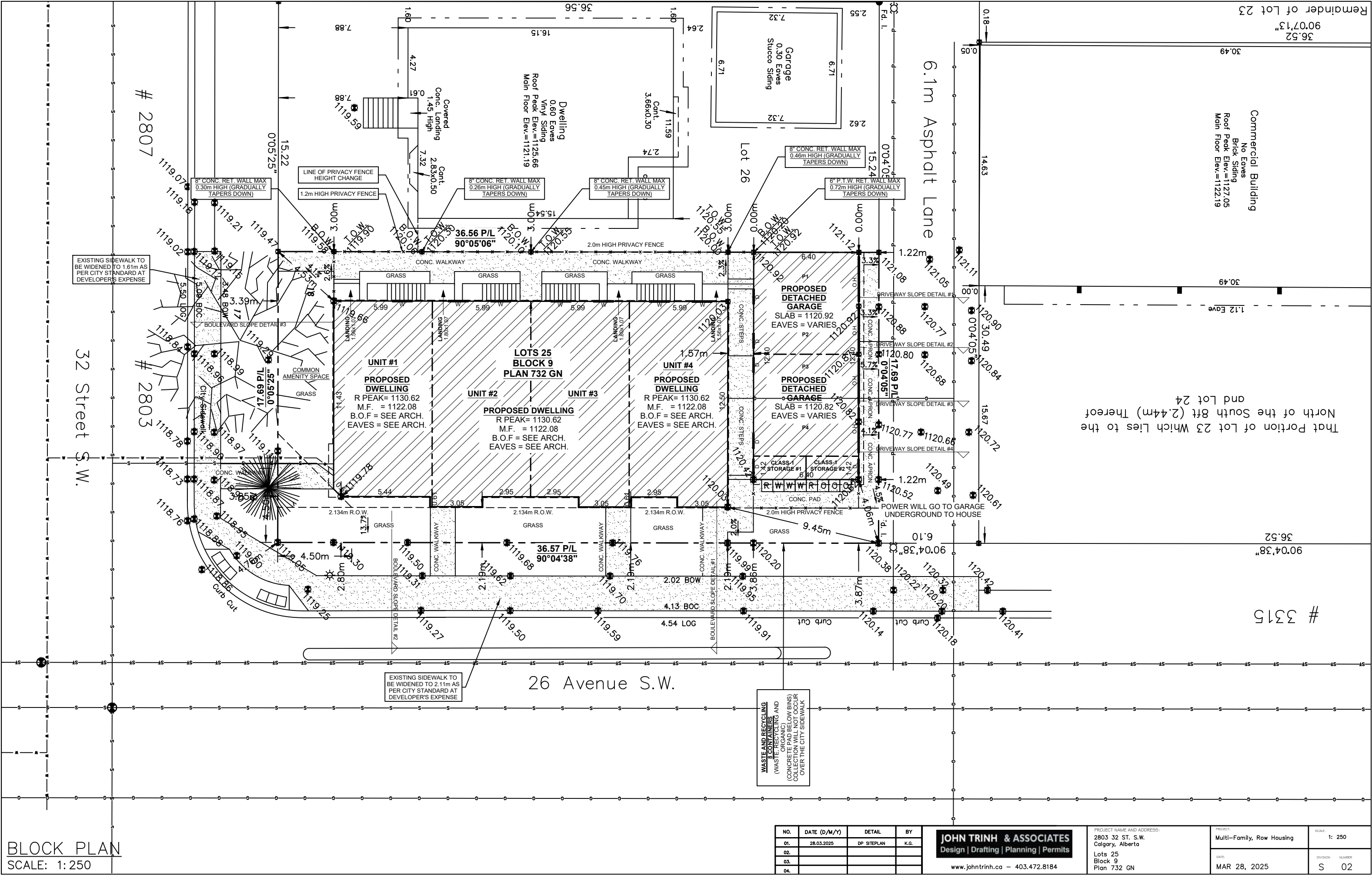
PROJECT:
Multi-Family, Row Housing

DATE:
MAR 28, 2025

SCALE:
1: 200

DIVISION NUMBER:
S 01

SITE PLAN
SCALE: 1:200



BLOCK PLAN
SCALE: 1:250

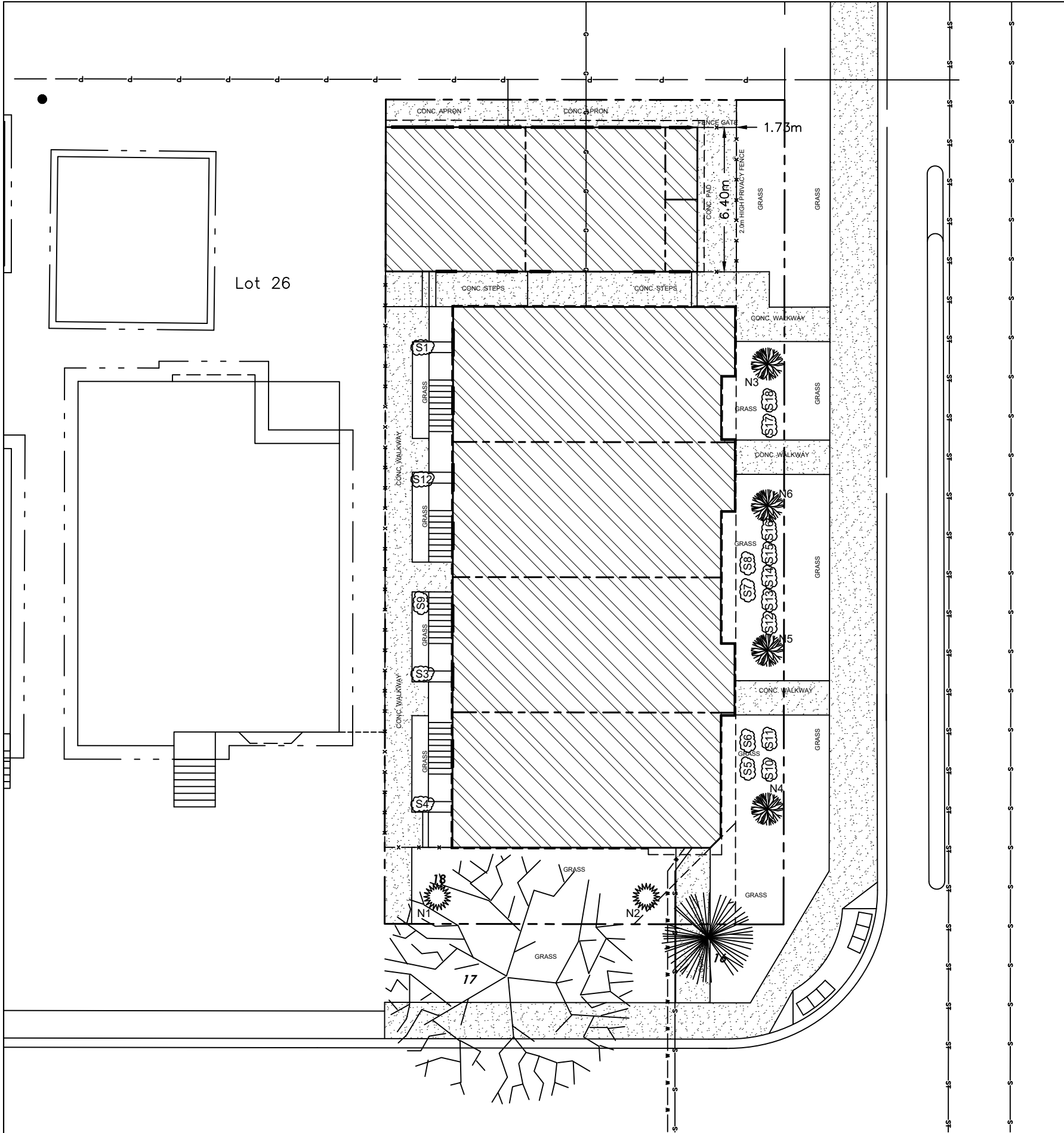
NO.	DATE (D/M/Y)	DETAIL	BY
01.	28.03.2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

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PROJECT NAME AND ADDRESS:
2803 32 ST. S.W.
Calgary, Alberta
Lots 25
Block 9
Plan 732 GN

PROJECT:
Multi-Family, Row Housing
DATE:
MAR 28, 2025

SCALE:
1: 250
DIVISION NUMBER:
S 02



LANDSCAPING PLAN
SCALE: 1:200

"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height	Location	Disposition
1	Deciduous	0.40	4.00	9.00	In Subject Property	To Be Removed
2	Deciduous	0.40	4.00	9.00	In Subject Property	To Be Removed
3	Deciduous	0.28	3.00	10.00	In Subject Property	To Be Removed
4	Deciduous	0.14	3.00	10.00	In Subject Property	To Be Removed
5	Deciduous	0.14	3.00	10.00	In Subject Property	To Be Removed
6	Deciduous	0.30	5.00	7.00	In Subject Property	To Be Removed
7	Deciduous	0.30	2.00	7.00	In Subject Property	To Be Removed
8	Deciduous	0.40	4.00	7.00	In Subject Property	To Be Removed
9	Deciduous	0.40	4.00	9.00	In Subject Property	To Be Removed
10	Deciduous	0.40	6.00	9.00	In Subject Property	To Be Removed
11	Bush	---	3.00	5.00	In Subject Property	To Be Removed
12	Bush	---	3.00	6.00	In Subject Property	To Be Removed
13	Bush	0.25	8.00	8.00	In Subject Property	To Be Removed
14	Bush	---	4.50	2.00	On Property Line	To Be Removed
15	Coniferous	0.30	4.00	11.00	In Subject Property	To Be Removed
16	Coniferous	0.30	4.00	12.00	Public Tree	To Be Removed
17	Deciduous	0.80	11.00	10.00	Public Tree	To Stay
18	Coniferous	0.30	4.00	9.00	In Subject Property	To Be Removed
19	Bush	---	2.00	2.00	In Subject Property	To Be Removed
20	Bush	---	1.30	2.00	In Subject Property	To Be Removed

LANDSCAPING LEGEND

- N1 ----- denotes Deciduous Tree
N1 ----- denotes Coniferous Tree
S1 ----- denotes Shrubs

LANDSCAPING REQUIREMENTS:

LOT SIZE: 646.521 SQ. M
1 TREE PER/110,000 SQM
3 SHRUBS PER/110,000 SQM
646.521/110,000 = 6
6 TREES
18 SHRUBS

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	White Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	White Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
S1	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S2	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S3	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S4	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S5	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S6	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S7	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S8	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S9	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S10	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S11	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S12	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S13	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S14	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S15	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S16	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S17	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S18	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S19	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New
S20	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New
S21	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New
S22	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New
S23	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New
S24	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New

LANDSCAPE COVERAGE

LOT SIZE = 646.521 SQ. M
LANDSCAPE AREA = 179.798 SQ. M
HARD LANDSCAPE (CONC. WALKWAY, APRONS AND CONC. PADS) = 92.050 SQ. M
SOFT LANDSCAPE (GRASS + MULCH) = 133.665 SQ. M

92.050 / 225.715 = 40.78% OF HARD LANDSCAPE
133.665 / 225.715 = 59.22% OF SOFT LANDSCAPE

NOTE:

"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

"Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or call 311 to arrange an inspection".

"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

NO.	DATE (D/M/Y)	DETAIL	BY
01.	28.03.2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

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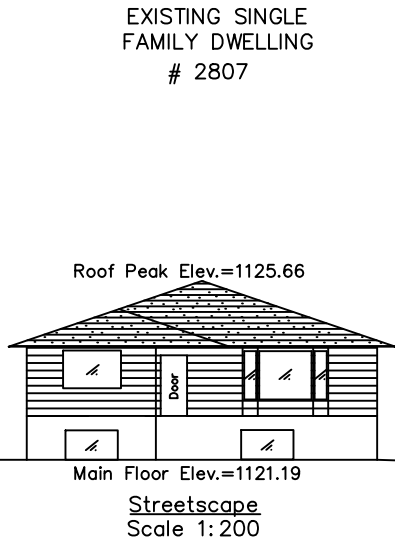
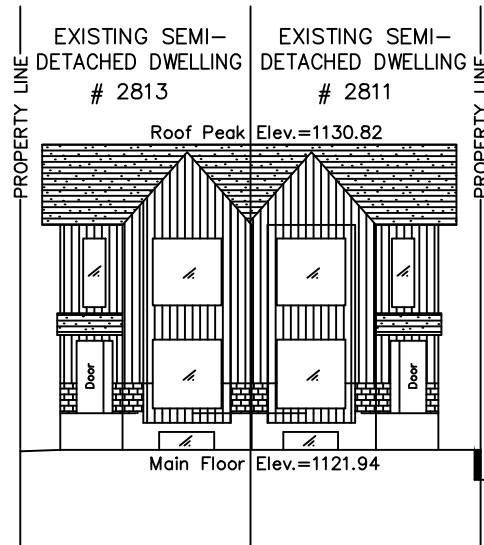
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PROJECT NAME AND ADDRESS:
2803 32 ST. S.W.
Calgary, Alberta
Lots 25
Block 9
Plan 732 GN

PROJECT:
Multi-Family, Row Housing
DATE:
MAR 28, 2025

SCALE:
1: 200
DIVISION NUMBER:
S 03

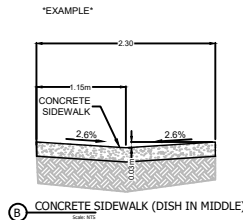
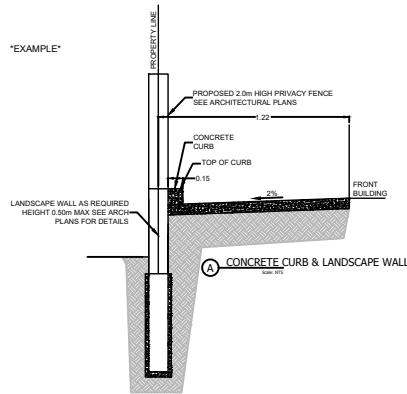
STREETSCAPE
SCALE: 1:200



STREETSCAPE
SCALE: 1:200

BUILDING AREA

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA
BASEMENT	766.54 SQ FT	787.00 SQ FT	787.00 SQ FT	787.67 SQ FT
MAIN FLOOR	766.54 SQ FT	787.00 SQ FT	787.00 SQ FT	787.67 SQ FT
UPPER FLOOR	766.54 SQ FT	787.00 SQ FT	787.00 SQ FT	787.67 SQ FT
TOTAL AREA	1533.08 SQ FT	1574.00 SQ FT	1574.00 SQ FT	1575.34 SQ FT

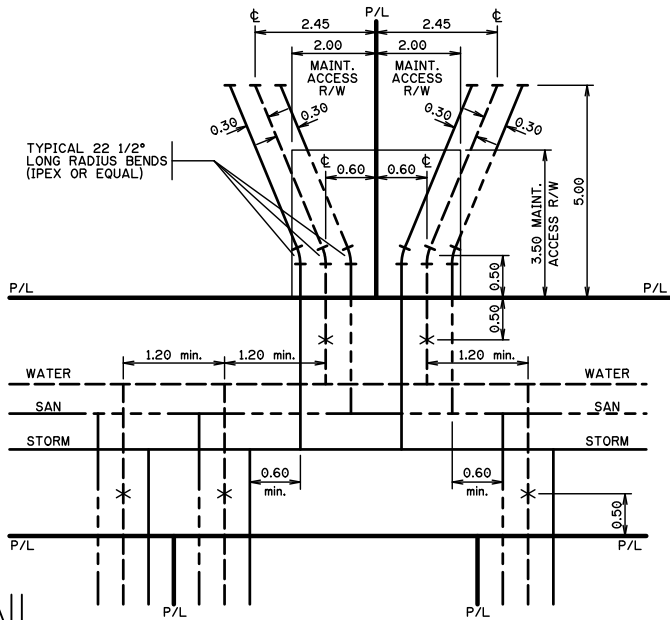


DRAINAGE DETAILS
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY
01.	28.03.2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

NOTES:

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL
SCALE: 1:200

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PROJECT NAME AND ADDRESS:
2803 32 ST. S.W.
Calgary, Alberta
Lots 25
Block 9
Plan 732 GN

PROJECT:
Multi-Family, Row Housing
DATE:
MAR 28, 2025

SCALE:
AS SHOWN
DIVISION:
NUMBER:
S 04



GENERAL NOTES:

MUNICIPAL ADDRESS:
2803 32 ST. S.W.
CALGARY, AB

PROJECT:
FOUR UNIT
ROWHOUSE

PROJECT NUMBER:
2-25

STATUS:
-

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:
-- -- --

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	31/03/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:	
MAIN FLOOR AREA:	-- SQ. FT.
UPPER FLOOR AREA:	-- SQ. FT.
LOFT FLOOR AREA:	-- SQ. FT.
TOTAL ABOVE GRADE:	-- SQ. FT.
BASEMENT AREA:	-- SQ. FT.
GARAGE AREA:	-- SQ. FT.

DRAWING SET:
CONCEPT

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY: T.Y.2

PRINTED: 2026-05-12 10:00:41 AM

SCALE:

PAGE:

A-0.0



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Right & Left Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Sections



FLOOR AREA - UNIT #1
BASEMENT = 766.54 SQ. FT.
MAIN = 766.54 SQ. FT.
UPPER = 766.54 SQ. FT.
TOTAL = 1533.08 SQ. FT.

FLOOR AREA - UNIT #3
BASEMENT = 787.00 SQ. FT.
MAIN = 787.00 SQ. FT.
UPPER = 787.00 SQ. FT.
TOTAL = 1574.00 SQ. FT.



FLOOR AREA - UNIT #2
BASEMENT = 787.00 SQ. FT.
MAIN = 787.00 SQ. FT.
UPPER = 787.00 SQ. FT.
TOTAL = 1574.00 SQ. FT.

FLOOR AREA - UNIT #4
BASEMENT = 787.67 SQ. FT.
MAIN = 787.67 SQ. FT.
UPPER = 787.67 SQ. FT.
TOTAL = 1575.34 SQ. FT.

EXTERIOR FINISHES:

1	ASPHALT SHINGLES
2	8" ALUM. FASCIA
3	SIDING FINISH - GREY

4	SMART BOARD - BLACK
5	VERTICAL SIDING - BLACK
6	VERTICAL SIDING - WOOD

7	STONE FINISH AS SPEC'D.
8	CAST IN PLACE CONC.
9	CONCRETE PAVING



GENERAL NOTES:

MUNICIPAL ADDRESS:

2803 32 ST. S.W.
CALGARY, AB

PROJECT:

FOUR UNIT
ROWHOUSE

PROJECT NUMBER:

2-25

STATUS:

-

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:

-- -- --

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01.	31/03/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER
TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

CONCEPT

SHEET NAME:

Front Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY: T.Y.2

PRINTED: 2026-05-12 10:00:47 AM

SCALE: 1/4" = 1'-0"

PAGE:

A-2.0

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

FRONT ELEVATION

SCALE: 1/4" = 1'-0"



EXTERIOR FINISHES:

1	ASPHALT SHINGLES	4	SMART BOARD - BLACK	7	STONE FINISH AS SPEC'D.
2	8" ALUM. FASCIA	5	VERTICAL SIDING - BLACK	8	CAST IN PLACE CONC.
3	SIDING FINISH - GREY	6	VERTICAL SIDING - WOOD	9	CONCRETE PARGING



GENERAL NOTES:

MUNICIPAL ADDRESS:

2803 32 ST. S.W.
CALGARY, AB

PROJECT:

FOUR UNIT
ROWHOUSE

PROJECT NUMBER:

2-25

STATUS:

-

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:

-- -- --

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	31/03/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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FLOOR AREAS:

MAIN FLOOR AREA: -- SQ.FT.

UPPER FLOOR AREA: -- SQ.FT.

LOFT FLOOR AREA: -- SQ.FT.

TOTAL ABOVE GRADE: -- SQ.FT.

BASEMENT AREA: -- SQ.FT.

GARAGE AREA: -- SQ.FT.

DRAWING SET:

CONCEPT

SHEET NAME:

Rear Elevation

DESIGN BY: JT

DRAWN BY: Author

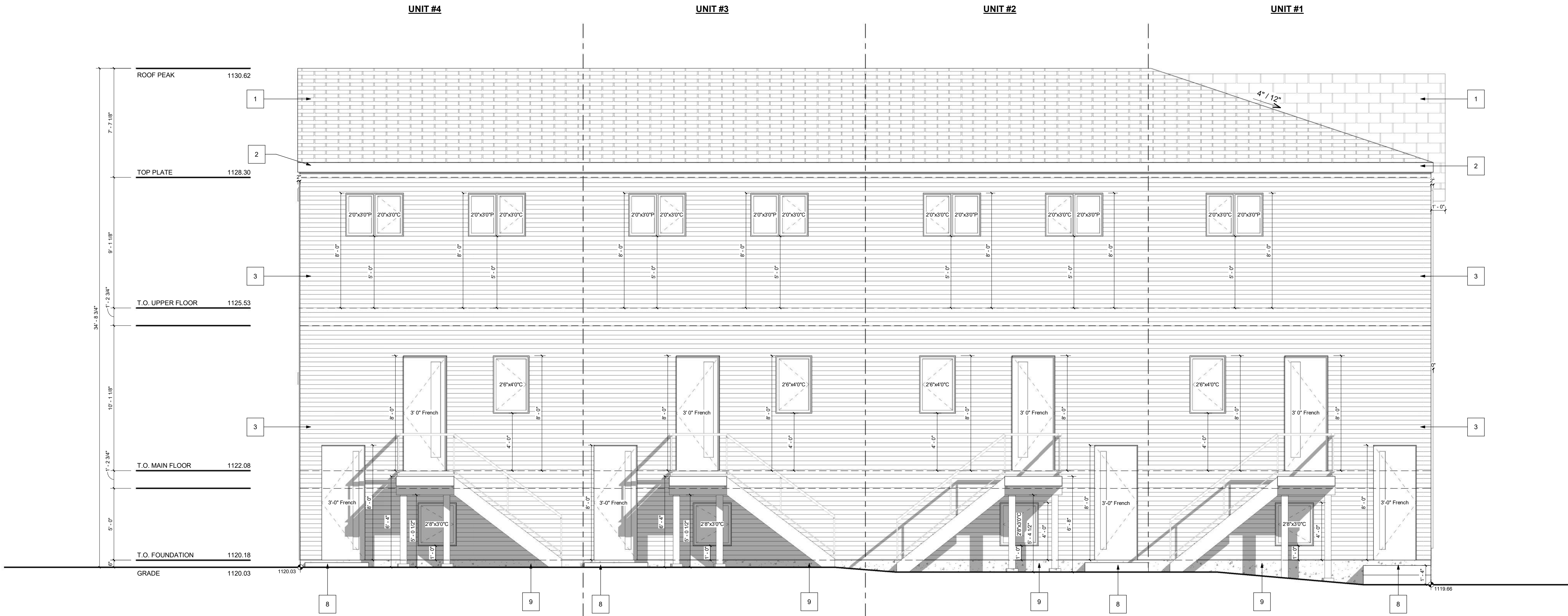
LAST REVISION BY: T.Y.2

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SCALE: 1/4" = 1'-0"

PAGE:

A-2.1



WINDOW CALCULATION (UNIT 1 & 2)
(3.0m LIMITING DISTANCE)

WALL AREA = 1118.43 SQ. FT.
WINDOW AREA = 88.42 SQ. FT.
TOTAL: 88.42/1118.43 = 7.91%

WINDOW CALCULATION (UNIT 3 & 4)
(3.0m LIMITING DISTANCE)

WALL AREA = 1095.56 SQ. FT.
WINDOW AREA = 88.42 SQ. FT.
TOTAL: 88.42/1095.56 = 8.1%

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

REAR ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

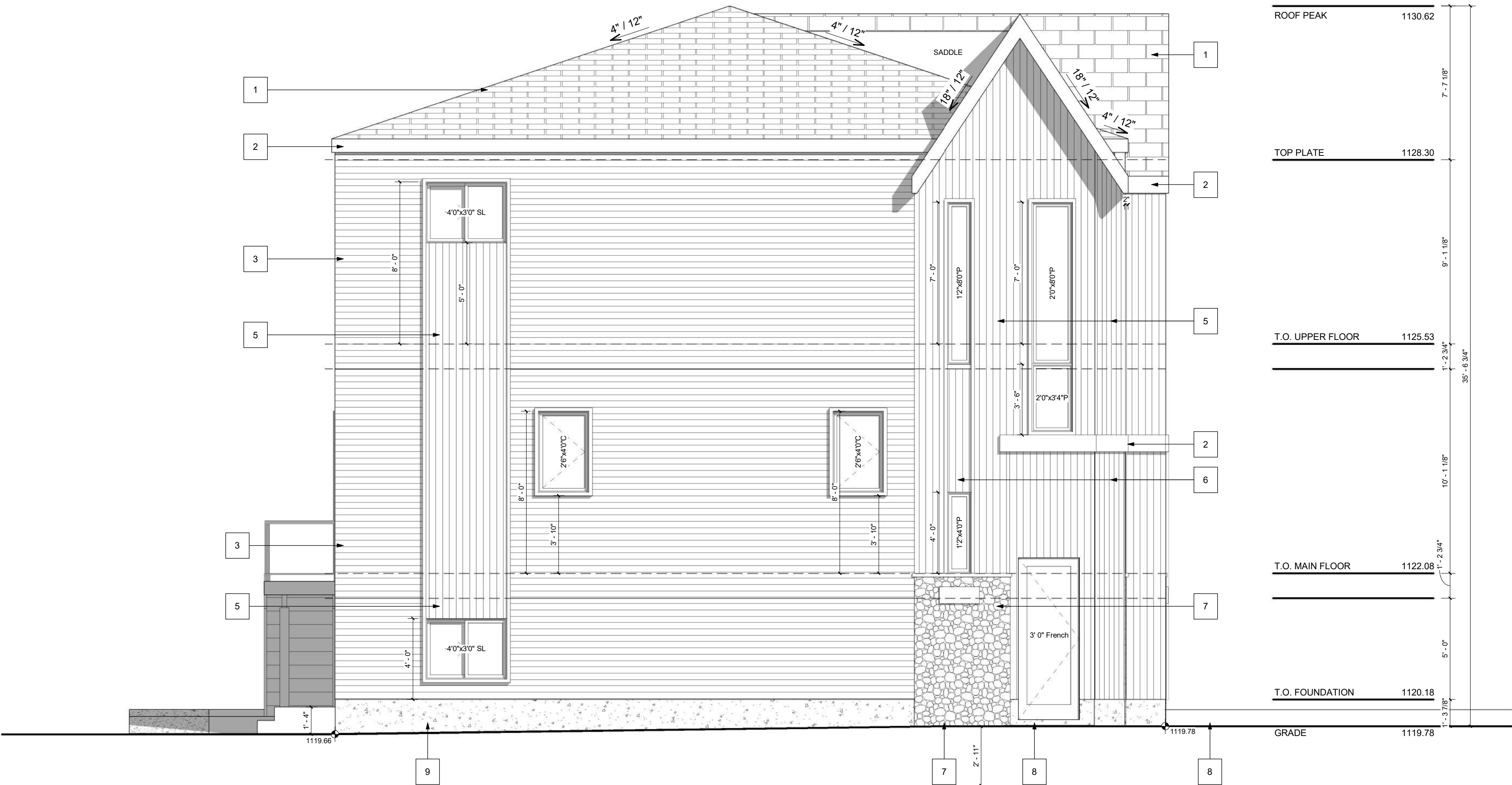
1	ASPHALT SHINGLES	4	SMART BOARD - BLACK	7	STONE FINISH AS SPEC'D.
2	8" ALUM. FASCIA	5	VERTICAL SIDING - BLACK	8	CAST IN PLACE CONC.
3	SIDING FINISH - GREY	6	VERTICAL SIDING - WOOD	9	CONCRETE PAVING

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

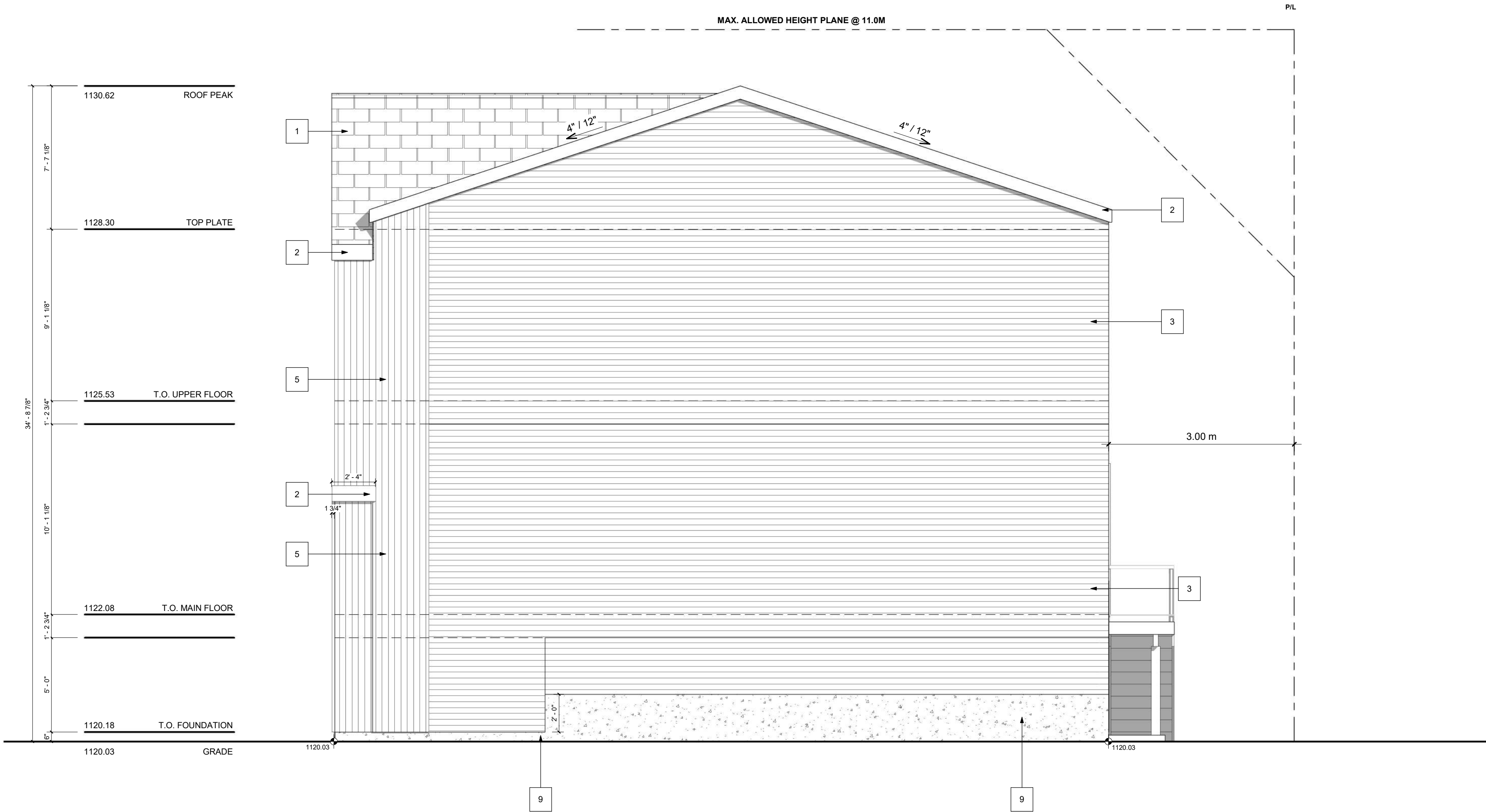


VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:

2803 32 ST. S.W.
CALGARY, AB

PROJECT:

FOUR UNIT
ROWHOUSE

PROJECT NUMBER:

2-25

STATUS:

--

LEGAL LAND DISCRIPTION:

LOT: BLOCK: PLAN:

-- -- --

DO NOT SCALE DRAWINGS.
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	31/03/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

CONCEPT

SHEET NAME:

Right & Left Elevation

DESIGN BY:

JT

DRAWN BY:

JT

LAST REVISION BY:

T.Y.2

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SCALE:

1/4" = 1'-0"

PAGE:

A-2.2



MUNICIPAL ADDRESS:

PROJECT:
FOUR UNIT
ROWHOUSE

PROJECT NUMBER

STATUS

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:

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FLOOR AREAS:

MAIN FLOOR AREA: _____ SQ. FT.

UPPER FLOOR AREA: - SQ.FT.

LOFT FLOOR AREA: _____ – SQ.FT.

TOTAL ABOVE GRADE: - SQ.FT.

BASEMENT AREA: _____ SQ.FT.

GARAGE AREA: _____ SQ.FT.

DRAWING SET:

CONCEPT

SHEET NAME:

Garage Plan

DESIGN BY: JT

DRAWN BY: JT

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SCALE: As indicated

A 20

PAGE



ULINE
1-LOOP WAVE STYLE BIKE RACK

CLASS-1 BICYCLE PARKING STALL DETAILS
SCALE: NTS

