

RANGEVIEW MULTIFAMILY

DEVELOPMENT PERMIT

2025-09-08

MILE
architecture

MILE ARCHITECTURE INC.
79 TUSCANY VALLEY ROSE NW, CALGARY, AB T3L 2T1
CONSULTANT



NOT FOR
CONSTRUCTION

PERMIT SET

This drawing is subject to copyright and remains the property of the consultant. Drawings shall not be reproduced or copied in part or in whole without the permission of the consultant. Do not scale from drawings. Only figured dimensions, elevations and datums are to be taken from drawings and are to be site verified by contractor. Report any discrepancies to the consultant prior to the commencement of construction.

CLIENT

StreetSide
A QUALICO Company

MILE
ARCHITECTURE
79 TUSCANY VALLEY ROSE NW
CALGARY, AB
(587) 770-1155

ARCHITECTURAL

DRAWING LIST

DP0.00	COVER SHEET
DP0.01	PROJECT INFORMATION AND VEHICLE MANEUVERING PLANS
DP1.00	SITE PLAN
DP1.01	ENLARGED SITE PLANS AND SITE SECTIONS
DP1.02	SITE DETAILS
DP2.00	PARKADE FLOOR PLAN
DP2.01	LEVEL 1 FLOOR PLAN
DP2.02	LEVEL 2 FLOOR PLAN
DP2.03	LEVEL 3 FLOOR PLAN
DP2.04	LEVEL 4 FLOOR PLAN
DP2.05	ROOF PLAN
DP3.00	UNIT PLANS
DP4.00	BUILDING ELEVATIONS
DP4.01	BUILDING ELEVATIONS
DP5.00	BUILDING SECTIONS

TLJ
ENGINEERING
TLJ ENGINEERING
#301, 301 14 STREET NW
CALGARY, AB
(825) 609-6848

ELECTRICAL

DRAWING LIST

E1.00	SITE PLAN SITE LIGHTING LAYOUT
-------	--------------------------------

VERITAS
DEVELOPMENT SOLUTIONS
VERITAS DEVELOPMENT SOLUTIONS
#4, 141 COMMERCIAL DRIVE
CALGARY, AB
(587) 393-5653

CIVIL

DRAWING LIST

SVC	SITE SERVICING PLAN (FOR DP)
GRAD	SITE GRADING PLAN (FOR DP)

TLJ
ENGINEERING
TLJ ENGINEERING
#301, 301 14 STREET NW
CALGARY, AB
(825) 609-6848

MECHANICAL

TRL
TRL & ASSOCIATES
100, 1615 10 AVENUE SW
CALGARY, AB
(403) 244-4944

STRUCTURAL

ARCADIS
ARCADIS PROFESSIONAL SERVICES
227 11 AVENUE SW
CALGARY, AB
(403) 271-7110

LANDSCAPE

DRAWING LIST

L1.1	TREE PROTECTION PLAN
L1.2	LANDSCAPE PLAN
L1.3	PLANTING PLAN

PROJECT NAME / ADDRESS
RANGEVIEW MULTIFAMILY
91 RANGEVIEW GATE S.E.
CALGARY, AB

REVISIONS

DESCRIPTION	DATE
-- DEVELOPMENT PERMIT	2025-09-08

SHEET NUMBER / NAME
DP0.00
COVER SHEET

9/9/2025 12:53:31 PM
DRAWN BY: JLM
CHECKED BY: JLM

REFERENCE SYMBOLS

ROOM TAG

ROOM NAME
ROOM NUMBER
ROOM AREA

ROOM PROGRAM TAG

ROOM NAME
ROOM NUMBER
PROGRAM NUMBER
PROGRAM AREA
ROOM AREA

EXTERIOR ELEVATION

ELEVATION NUMBER
SHEET NUMBER

BUILDING SECTION

SECTION NUMBER
SHEET NUMBER

DETAIL SECTION

SECTION NUMBER
SHEET NUMBER

DETAIL CALLOUT

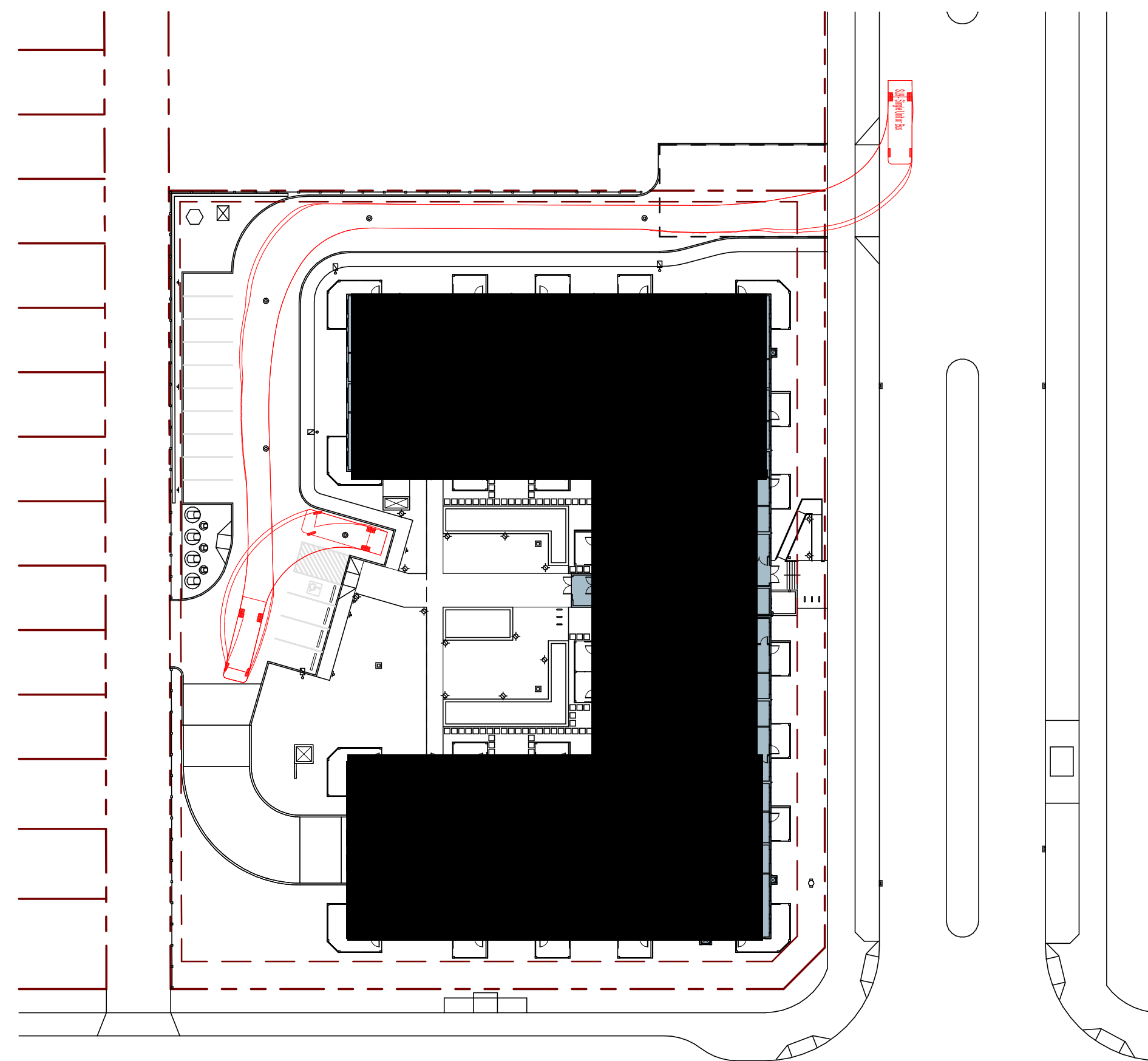
DETAIL NUMBER
SHEET NUMBER
DETAIL EXTENTS

SYMBOLS

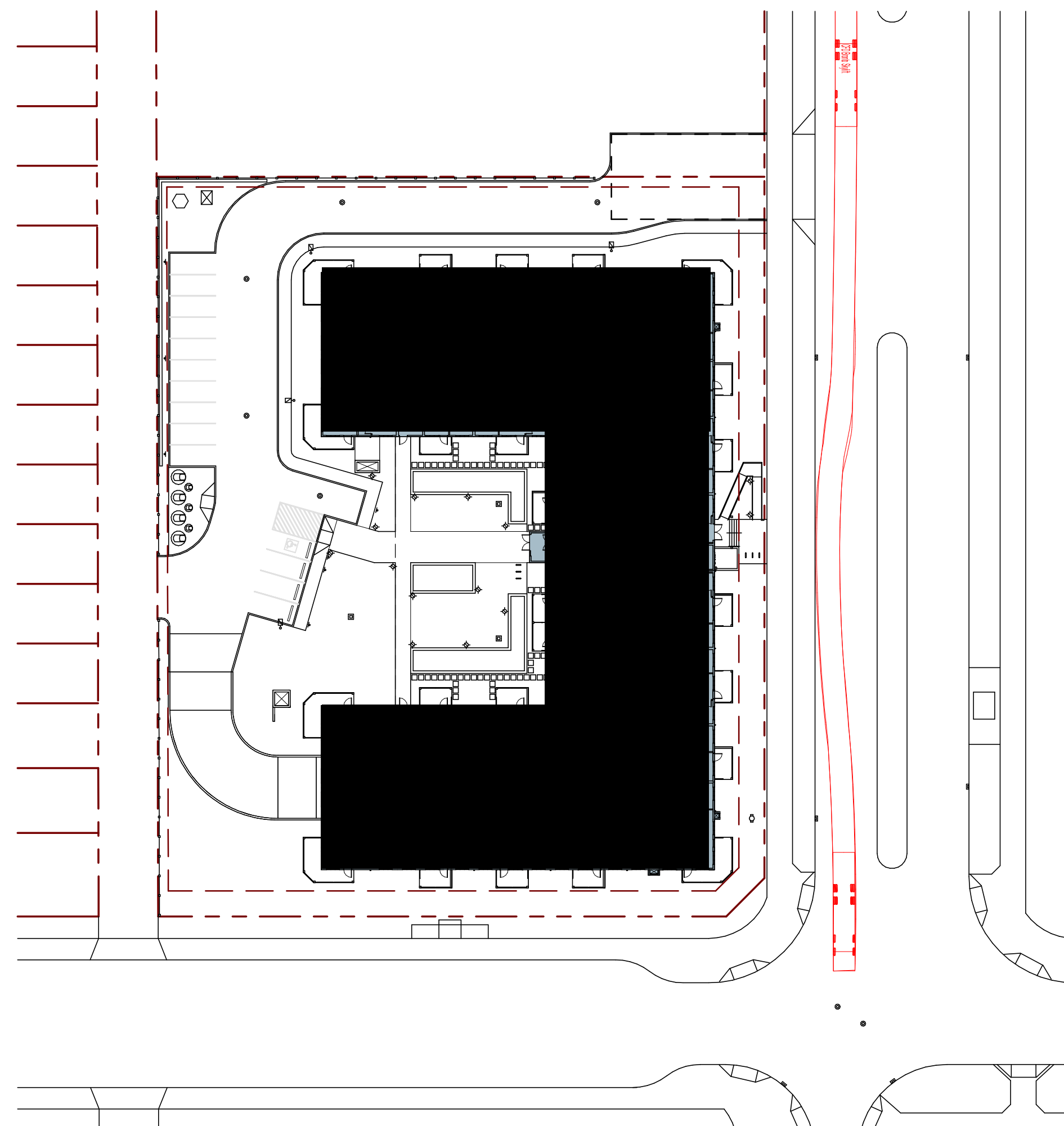
KEYNOTE REFERENCE. REFER TO KEYNOTE LIST

ABBREVIATIONS

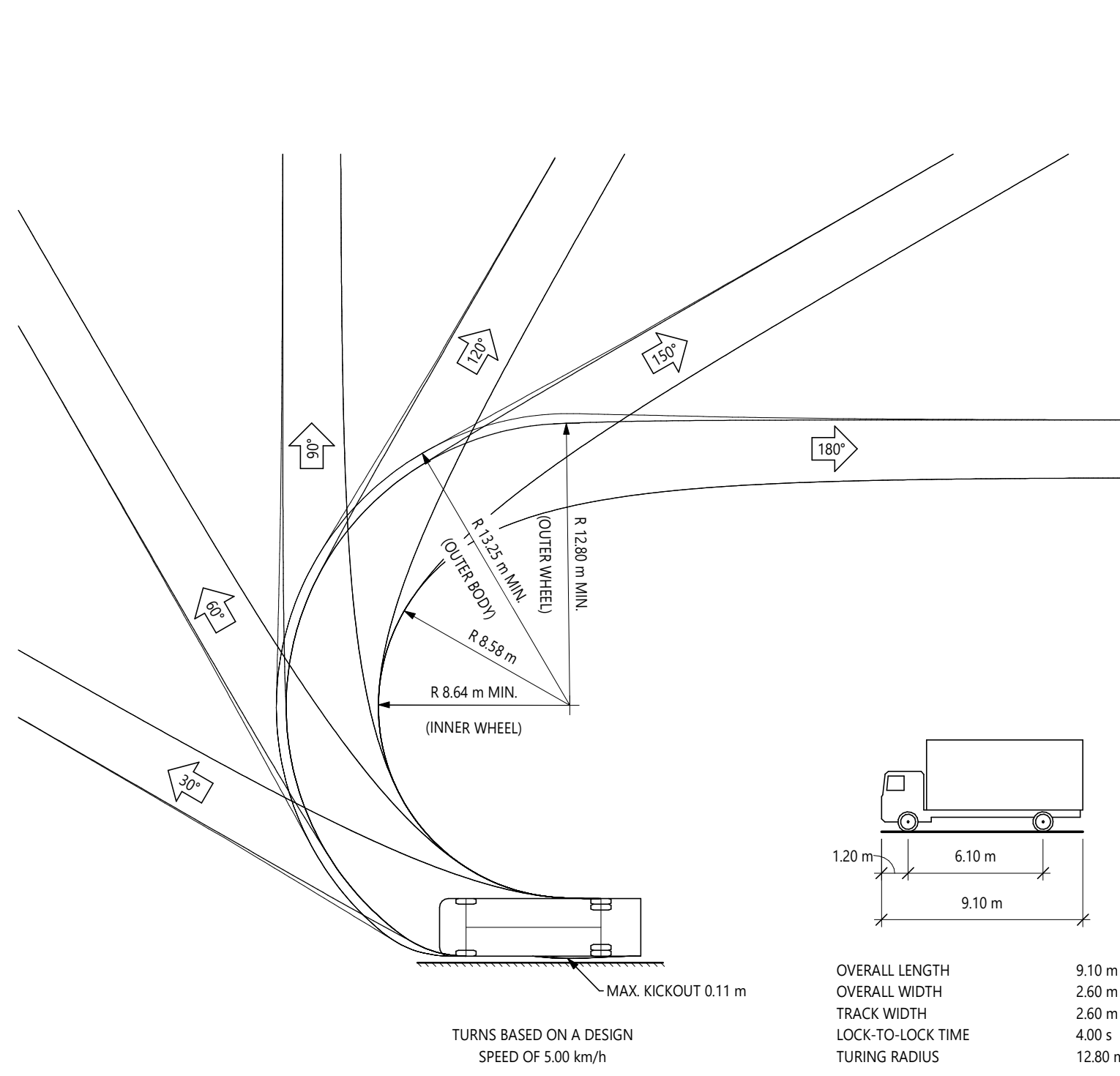
ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
A.F.SVC.	ABOVE FINISHED CEILING	N.L.SVC.	NOT IN CONTRACT
A.F.F.	ABOVE FINISHED FLOOR	N.T.S.	NOT TO SCALE
AL.	ALUMINUM	N/A.	NOT APPLICABLE
BF.	BARRIER-FREE	NBC (AB)	NATIONAL BUILDING CODE - ALBERTA EDITION
SVC/W	COMPLETE WITH	NO.	NUMBER
CEN.	CENTER	O.C.	ON CENTER
±	DEGREES	OPP.	OPOSITE
∅	DIAMETER	±	PLUS OR MINUS
DET.	DETAIL	P.S.	PRESSED STEEL
DM.	DIAMETER	PF.B.	PREFABRICATED
EL.	ELEVATION	PF.N.	PREFINISHED
EQ.	EQUAL	PT.	PAINT
EXP.	EXPOSED	QTY.	QUANTITY
G1S	GOOD ONE SIDE	R.	RADIUS
G2S	GOOD TWO SIDE	R.H.	RIGHT HAND
GF.	GLAZING FIRE-RATED	R.O.	ROUGH OPENING
GS.	GLAZING SEALED	REC.	RECESSED
G.T.	GLAZING TEMPERED	REF.	REFERENCE
ft or'	FEET	REQ.	REQUIRED
ft'	FEET SQUARED	REV.	REVISION
F.R.R.	FIRE-RESISTANCE RATING	SN.	SIMILAR
FG.	FIBERGLASS	ST.	STAIN
GA.	Gauge	STC.	SOUND TRANSMISSION CLASS
GEO.	GEOMETRIC	T&G.	TONGUE AND GROOVE
H.	HOURS	T/O or T.O.	TOP OF
H.M.	HOLLOW METAL	TYP.	TYPICAL
H.T.	HOLD-TO DIMENSION	U.N.O.	UNLESS NOTED OTHERWISE
in or"	INCHES	U/S or U.S.	UNDERSIDE
I.M.	INSULATED METAL	ULC or ULc.	UNDERWRITERS
L1.H.	LEFT HAND	LABORATORIES OF CANADA	
m	METER	VAR.	VARIES
m²	METER SQUARED	W.F.	WOOD FRAME AND CASING
mm	MILLIMETERS	W.H.	WOOD HOLLOW-CORE
MAX.	MAXIMUM	W.S.	WOOD SOLID
MIN.	MINIMUM	W.P.	WORKING POINT
MIR.	MIRRORED	W/	WITH
MS.	MISCELLANEOUS	W/SVC	WATER CLOSET
		W/O	WITHOUT



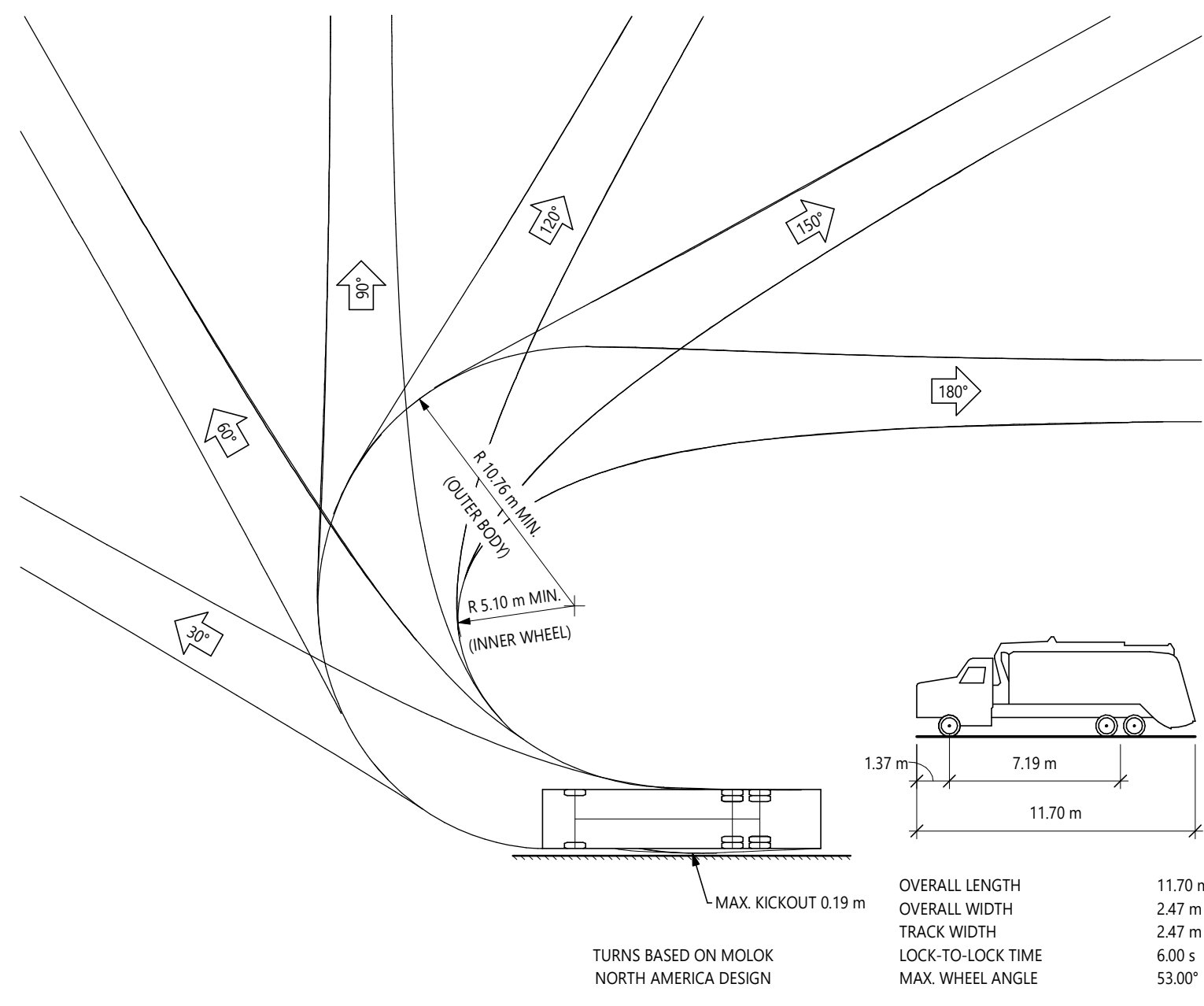
1 | VEHICLE MANUEVERING PLAN - SU9
DP0.01 | SCALE: 1: 500



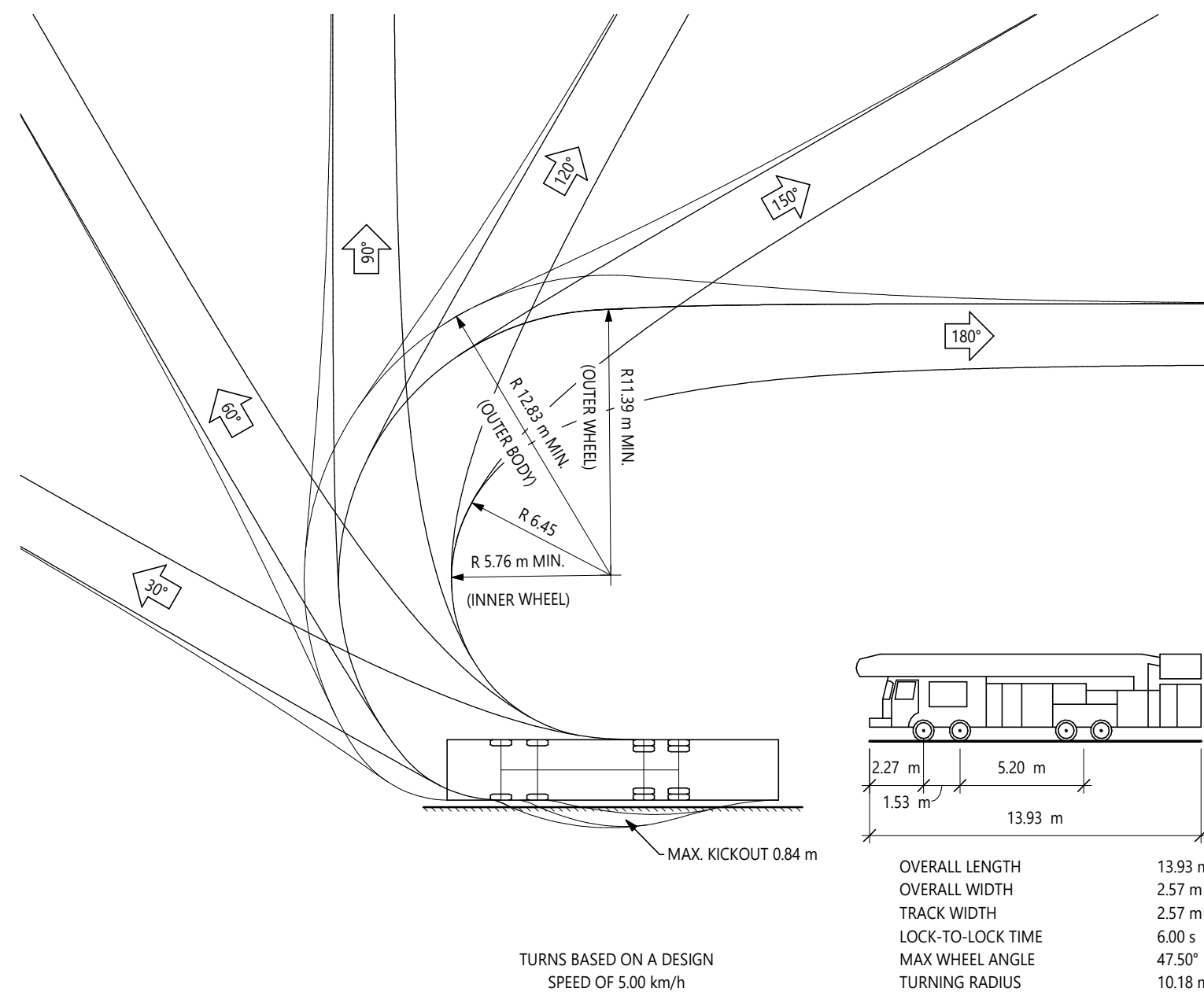
3 | VEHICLKE MANUEVERING PATH - CF4 BRONTO
DP0.01 | SCALE: 1: 500



2 | VEHICLE TURNING RADIUS - SU9
DP0.01 | SCALE: 1: 250



4 | VEHICLE TURNING RADIUS - MOLOK WASTE COLLECTION TRUCK
DP0.01 | SCALE: 1: 250



5 | VEHICLE TURNING RADIUS - CF4 BRONTO SKLYFT
DP0.01 | SCALE: 1: 250

SITE INFORMATION / REQUIREMENTS

- AUTHORITY**
CITY OF CALGARY LAND USE BYLAW IP2007 (REFERENCES IN PARENTHESES)
NATIONAL BUILDING CODE - 2023 ALBERTA EDITION, PARTS 3, 4, 5 AND 6
- ADDRESSING**
LEGAL DESCRIPTION: LOT 46, BLOCK 28, PLAN 2510865
MUNICIPAL ADDRESS: 91 RANGEVIEW GATE SE
- LAND USE DESIGNATION**
MULTI-RESIDENTIAL - MEDIUM PROFILE (M-2)
- LAND USE REQUIREMENTS**
DISCRETIONARY USE: MULTI-RESIDENTIAL DEVELOPMENT
- REQUIRED SETBACKS (632)**
SHARED WITH STREET: 3.0M
SHARED WITH LANE: 1.2M
ANOTHER PARCEL: 1.2M
- BUILDING HEIGHT (634)**
MAXIMUM HEIGHT, TYPICAL: 16.0M
MAXIMUM HEIGHT, AT SHARED PROPERTY LINE OF LOW DENSITY RESIDENTIAL: 11.0M
- PARCEL AREA AND DENSITY (630)**
MINIMUM UNITS: 60 LU/HA = 37.2 UNITS
MAXIMUM UNITS: NO LIMIT
FAR: MAXIMUM 3.0 (629)
- MOTOR VEHICLE PARKING REQUIREMENTS (658)**
MINIMUM REQUIRED PARKING STALLS: 625 STALLS / UNIT
VISITOR STALLS - NONE REQUIRED
- BICYCLE PARKING REQUIREMENTS (659)**
MINIMUM CLASS 1 STALLS: 1.0 STALLS / UNIT
MINIMUM CLASS 2 STALLS: 0.1 STALLS / UNIT
- LANDSCAPE AREA**
MINIMUM LANDSCAPE AREA: 40% OF PARCEL AREA (551(2))
MAXIMUM HARDSCAPE AREA: 40% OF REQUIRED LANDSCAPE AREA (551(3)(b))

PROPOSED DEVELOPMENT

1. SITE COVERAGE

COVERAGE AREA	2385.95 m ²	38.5%
NON-COVERAGE AREA	3810.06 m ²	61.5%
TOTAL PARCEL AREA	6196.02 m ²	100.0%

2. LANDSCAPE AREA
REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION

LANDSCAPE AREA	2518.93 m ²	40.7%
NON-LANDSCAPE AREA	3677.09 m ²	59.3%
TOTAL PARCEL AREA	6196.02 m ²	100.0%

HARDSCAPE SUMMARY

HARDSCAPE	938.25 m ²	37.2%
SOFTSCAPE	1580.67 m ²	62.8%
TOTAL LANDSCAPE AREA	2518.93 m ²	100.0%

3. BUILDING CLASSIFICATION
GROUP C, UP TO 4 STOREYS, SPRINKLERED (NBC(AE) 2023, 3.2.2.52, DIVISION B)
BUILDING AREA NOT MORE THAN 1800 m² IF 4 STOREYS OF BUILDING HEIGHT
BUILDINGS DIVIDED BY A FIREWALL INTO TWO SEPARATE BUILDINGS
BUILDING A SIZE: 1189 m², 4 STOREYS
BUILDING B SIZE: 1197 m², 4 STOREYS

4. BUILDING GROSS AREA

BUILDING A		
LEVEL 1	1188.95 m ²	12797.8 H ²
LEVEL 2	1187.48 m ²	12781.9 H ²
LEVEL 3	1187.48 m ²	12781.9 H ²
LEVEL 4	1187.48 m ²	12781.9 H ²
BUILDING B		
LEVEL 1	1197.00 m ²	12854.4 H ²
LEVEL 2	1187.48 m ²	12781.9 H ²
LEVEL 3	1187.48 m ²	12781.9 H ²
LEVEL 4	1187.48 m ²	12781.9 H ²
TOTAL	9510.81 m ²	102373.6 H ²

5. PROPOSED DENSITY

TOTAL UNITS	107
FAR (95/10/81/6/196.02)	1.33

6. MOTOR VEHICLE PARKING

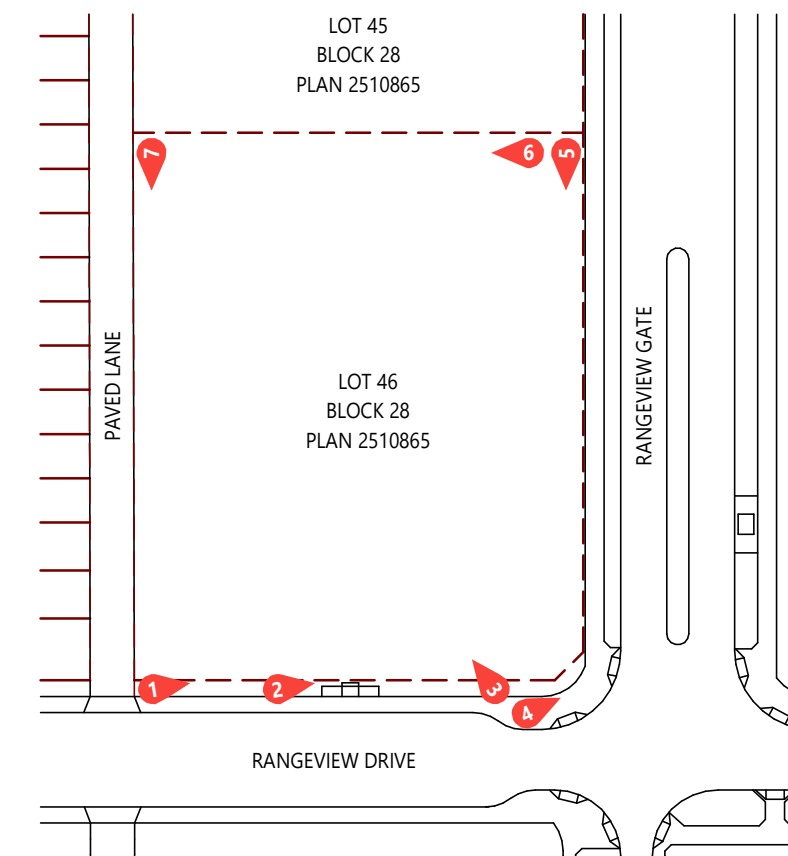
RESIDENT	REQUIRED: 67	PROPOSED: 107
VISITOR (INCLUDING BARRIER-FREE)	0	5 (2 BF)

7. BICYCLE PARKING

CLASS 1	REQUIRED: 107	PROPOSED: 107
CLASS 2	11	12

7. WASTE AND RECYCLING
UNDERGROUND STORAGE BINS FOR THREE SEPARATE WASTE STREAMS (MOLOK OR SIM.)
REQUIRED VOLUME: 0.5yd³/UNIT/WEEK X 107 RESIDENTIAL UNITS = 32.1yd³ TOTAL
REFER TO DP1.01 FOR DETAILS

WASTE AND RECYCLING STORAGE	NO.	TOTAL
6.5yd ³ CONTAINER	4	26.0yd ³
ORGANICS STORAGE		
1.7yd ³ CONTAINER	3	5.1yd ³



6 | SITE PHOTO KEYPLAN
DP0.01 | SCALE: 1" = 100'-0"



MILE ARCHITECTURE INC.
79 TUSCAN VALLEY RISE NW, CALGARY, AB T3L 2T1
CONSULTANT

PERMIT SET

NOT FOR CONSTRUCTION

This drawing is subject to copyright and remains the property of the consultant. Drawings shall not be reproduced or copied in part or in whole without the permission of the consultant. Do not scale from drawings. Only figured dimensions, elevations and datums are to be taken from drawings and are to be site verified by contractor. Report any discrepancies to the consultant prior to the commencement of construction.



PROJECT NAME / ADDRESS
RANGEVIEW MULTIFAMILY

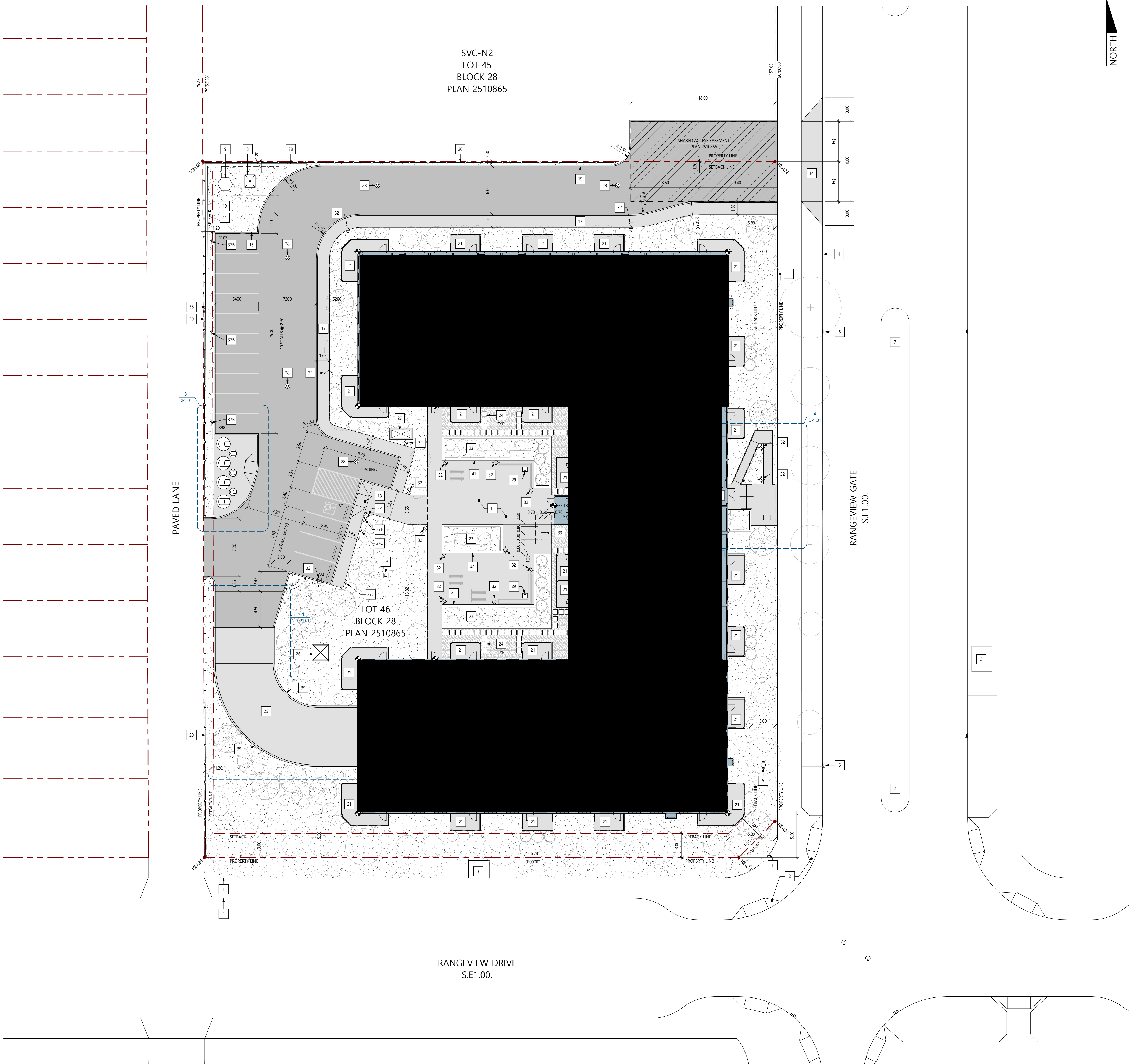
91 RANGEVIEW GATE S.E.
CALGARY, AB

REVISIONS

DESCRIPTION	DATE
DEVELOPMENT PERMIT	2025-09-08

SHEET NUMBER / NAME
DP0.01
PROJECT INFORMATION AND VEHICLE MANUEVERING PLANS

PROJECT NUMBER: 2024-010 DRAWN BY: JLMJ CHECKED BY: JLMJ 9/9/2025 12:29:38 PM

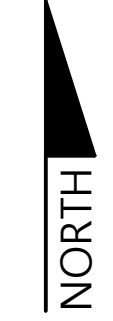


SVC-N2
LOT 45
BLOCK 28
PLAN 2510865

LOT 46
BLOCK 28
PLAN 2510865

RANGEVIEW DRIVE
S.E.1.00.

RANGEVIEW GATE
S.E.1.00.



SITE GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR SITE GRADING AND UTILITY LOCATIONS
- REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL LANDSCAPING INFORMATION
- REFER TO ELECTRICAL LIGHTING DRAWINGS FOR SITE LIGHTING DETAILS

SITE SYMBOLS

- INDICATES EXTENT OF PROPOSED BUILDING
- INDICATES EXTENT OF PROPOSED ASPHALT DRIVE AISLE PAVING DESIGNED TO SUPPORT VEHICLE WEIGHT OF 38556 kg MIN.
- INDICATES EXTENT OF PROPOSED CONCRETE SIDEWALK / DRIVE APRON / PATIO
- INDICATES EXTENT OF LANDSCAPING. REFER TO LANDSCAPE DRAWINGS
- INDICATES EXTENT OF SHARED ACCESS EASEMENT
- INDICATES PROPOSED BUILDING OVERHANG ABOVE
- INDICATES PROPOSED SPOT ELEVATION. ALL ELEVATIONS REFERENCED FROM 1000 m GEODETIC DATUM
- INDICATES RESIDENT PARKING STALL
- INDICATES VISITOR PARKING STALL

SITE KEYNOTES

- | # | DESCRIPTION |
|----|--|
| 1 | FUTURE CITY CONCRETE SIDEWALK (BOW) |
| 2 | FUTURE CITY CONCRETE WHEELCHAIR RAMP |
| 3 | FUTURE BUS STOP LOCATION AS PER NSP |
| 4 | FUTURE FACE OF CITY CONCRETE CURB |
| 5 | PROPOSED FIRE HYDRANT WITHIN 45 m OF PRINCIPAL ENTRANCE. REFER TO CIVIL DRAWINGS |
| 6 | FUTURE CITY CATCH BASIN |
| 7 | FUTURE CITY LIGHT STANDARD |
| 8 | FUTURE TRANSFORMER BY ENMAX |
| 9 | FUTURE PULLBOX BY ENMAX |
| 10 | FUTURE TELUS INFRASTRUCTURE. LOCATION TO BE CONFIRMED |
| 11 | FUTURE ROGERS INFRASTRUCTURE. LOCATION TO BE CONFIRMED |
| 12 | PROPOSED PRINCIPAL ENTRANCE |
| 13 | PROPOSED FIRE DEPARTMENT CONNECTION |
| 14 | PROPOSED CONCRETE DRIVE AISLE APRON AND CURB CUT TO CITY STANDARDS. DESIGNED TO SUPPORT VEHICLE WEIGHT OF 38556 kg MIN. |
| 15 | PROPOSED BARRIER CONCRETE CURB. REFER TO CIVIL DRAWINGS |
| 16 | PROPOSED LANDSCAPE AND SITE AMENITY AREA. REFER TO LANDSCAPE DRAWINGS FOR DETAILS |
| 17 | PROPOSED CONCRETE SIDEWALK WITH BROOM FINISH TO MEET CITY STANDARDS |
| 18 | PROPOSED MONOLITHIC SIDEWALK WHEEL CHAIR RAMP. REFER TO DETAIL 1/DP1.02 |
| 19 | PROPOSED PAINTED CROSSWALK |
| 20 | PROPOSED WOOD PRIVACY FENCE. 1.83 m HIGH. REFER TO DETAIL 7/DP1.02 |
| 21 | PROPOSED CONCRETE PATIO WITH BROOM FINISH (PRIVATE AMENITY) |
| 22 | PROPOSED BALCONY SUPPORT POST. REFER TO FLOOR PLANS |
| 23 | PROPOSED AREA OF SOFT LANDSCAPING. REFER TO LANDSCAPE DRAWINGS |
| 24 | PROPOSED CONCRETE PAVER. REFER TO LANDSCAPE DRAWINGS |
| 25 | PROPOSED HEATED CONCRETE DRIVEWAY RAMP WITH BROOM FINISH |
| 26 | PROPOSED PREFABRICATED METAL LOUVERED MECHANICAL PENTHOUSE. FINISH GREY. REFER TO DETAIL 8/DP1.02 |
| 27 | PROPOSED MECHANICAL EXHAUST WELL FROM PARKADE |
| 28 | PROPOSED MANHOLE. REFER TO CIVIL DRAWINGS |
| 29 | PROPOSED AREA DRAIN. REFER TO CIVIL DRAWINGS |
| 30 | PROPOSED MECHANICAL TRENCH DRAIN SYSTEM |
| 31 | PROPOSED SHALLOW UTILITY RIGHT OF WAY. TO BE CONFIRMED |
| 32 | PROPOSED LIGHT STANDARD. REFER TO ELECTRICAL DRAWINGS |
| 33 | PROPOSED U-TYPE BIKE RACK (2 CLASS-2 STALLS PER RACK) |
| 34 | PROPOSED 6.5 yd ³ DEEP WASTE COLLECTION CONTAINER (WASTE / RECYCLING). REFER TO DETAIL 6/DP1.02 |
| 35 | PROPOSED 1.7 yd ³ DEEP WASTE COLLECTION CONTAINER (ORGANICS). REFER TO DETAIL 6/DP1.02 |
| 36 | PROPOSED MOLOK WASTE COLLECTION TRUCK CRANE REACH. 7.62 m MIN. OVERHEAD CLEARANCE REQUIRED |
| 37 | A - PROPOSED POST MOUNTED 'STOP' SIGN
B - PROPOSED POST MOUNTED 'RESIDENT PARKING' SIGN
C - PROPOSED POST MOUNTED 'VISITOR PARKING' SIGN
D - PROPOSED POST MOUNTED 'NO PARKING' SIGN
E1.00 - PROPOSED POST MOUNTED 'BARRIER FREE' SIGN |
| 38 | PROPOSED UNIT MASONRY RETAINING WALL. WALL TO BE LESS THAN 1.2 m IN HEIGHT. REFER TO CIVIL DRAWINGS FOR DETAILS |
| 39 | PROPOSED CAST-IN-PLACE CONCRETE WALL SACK RUBBED FINISH. WITH 1.07 m HIGH PREFINISHED METAL FENCE / GUARD. REFER TO DETAIL 5/DP1.02 |
| 40 | PROPOSED CAST-IN-PLACE CONCRETE RETAINING WALL. EXPOSED AGGREGATE FINISH |
| 41 | PROPOSED RAISED UNIT MASONRY PLANTER. REFER TO LANDSCAPE DRAWINGS |
| 42 | PROPOSED CAST-IN-PLACE CONCRETE RAMP. BROOM HORIZONTAL FINISH. EXPOSED AGGREGATE VERTICAL FINISH |
| 43 | PROPOSED CAST-IN-PLACE CONCRETE STAIRS. BROOM HORIZONTAL FINISH. EXPOSED AGGREGATE VERTICAL FINISH. REFER TO DETAIL 2/DP1.02 |
| 44 | PROPOSED STEEL PIPE HANDRAIL WITH EDGE PROTECTION. BLACK FINISH. REFER TO DETAIL 4/DP1.02 |
| 45 | PROPOSED STEEL PIPE HANDRAIL. BLACK FINISH. REFER TO DETAIL 3/DP1.02 |



MILE ARCHITECTURE INC.
79 TUSCAN VALLEY RISE NW, CALGARY, AB T3L 2T1
CONSULTANT

PERMIT SET

NOT FOR
CONSTRUCTION

This drawing is subject to copyright and remains the property of the consultant. Drawings shall not be reproduced or copied in part or in whole without the permission of the consultant. Do not scale from drawings. Only figured dimensions, elevations and datums are to be taken from drawings and are to be site verified by contractor. Report any discrepancies to the consultant prior to the commencement of construction.



PROJECT NAME / ADDRESS

RANGEVIEW MULTIFAMILY

91 RANGEVIEW GATE S.E.
CALGARY, AB

9/9/2025 12:46:39 PM

REVISIONS	DESCRIPTION	DATE
--	DEVELOPMENT PERMIT	2025-09-08

ELEVATION KEYNOTES

#	DESCRIPTION
1	VINYL CLADDING, VERTICAL BOARD AND BATTEN PROFILE, WHITE
2	VINYL CLADDING, HORIZONTAL, WHITE
3	HARDBOARD TRIM, WHITE
4	HARDBOARD TRIM, CHARCOAL GREY (BALCONY POSTS AND FASCIA)
5	HARDBOARD TRIM, GREY
6	HARDBOARD DOOR AND WINDOW TRIM, WHITE
7	HARDBOARD DOOR AND WINDOW TRIM, GREY
8	HARDBOARD PANEL, WHITE
9	HARDBOARD PANEL, CHARCOAL GREY
10	HARDBOARD WOOD GRAINED PANEL, STAINED
11	ASPHALT SHINGLES, DARK GREY / BLACK MIX
12	VINYL WINDOW FRAMES, BLACK, WITH CLEAR INSULATED GLASS UNITS
13	PREFINISHED TRIM, GUTTERS, AND DOWNSPOUTS, GREY
14	PREFINISHED ALUMINUM BALCONY RAILING SYSTEM WITH WIDE PROFILE VERTICAL PICKETS, BLACK
15	PREFINISHED ALUMINUM RAILING SYSTEM WITH GLASS INFILL PANEL, WHITE
16	MECHANICALLY FASTENED CULTURED STONE RAINSCREEN SYSTEM, 'CHARCOAL'
17	CEMENT PARING, NATURAL
18	FIBREGLASS EXTERIOR DOOR, GREY
19	PREFINISHED ALUMINUM ENTRY DOOR / FRAMES, BLACK, SVC/W CLEAR INSULATED GLAZING UNITS
20	INSULATED METAL DOOR, GREY
21	OVERHEAD GARAGE DOOR, GREY
22	PREFINISHED PROFILED METAL SIDING, WHITE
23	FIRE DEPARTMENT CONNECTION
24	ADDRESS SIGNAGE TBD
25	PREFINISHED METAL LOUVER, WHITE

PERMIT SET

NOT FOR
CONSTRUCTION



1 | EAST ELEVATION
DP4.00 | SCALE: 3/32" = 1'-0"



2 | NORTH ELEVATION
DP4.00 | SCALE: 3/32" = 1'-0"



3 | SOUTH ELEVATION
DP4.00 | SCALE: 3/32" = 1'-0"

This drawing is subject to copyright and remains the property of the consultant. Drawings shall not be reproduced or copied in part or in whole without the permission of the consultant. Do not scale from drawings. Only figured dimensions, elevations and datums are to be taken from drawings and are to be site verified by contractor. Report any discrepancies to the consultant prior to the commencement of construction.

CLIENT

PROJECT NAME / ADDRESS
RANGEVIEW MULTIFAMILY

91 RANGEVIEW GATE S.E.
CALGARY, AB

REVISIONS	DATE
△ DESCRIPTION	
-- DEVELOPMENT PERMIT	2025-09-08

SHEET NUMBER / NAME

DP4.00

BUILDING ELEVATIONS

9/9/2025 12:46:56 PM
DRAWN BY: JLM
CHECKED BY: JLM

NOT FOR
CONSTRUCTION

ELEVATION KEYNOTES

#	DESCRIPTION
1	VINYL CLADDING, VERTICAL BOARD AND BATTEN PROFILE, WHITE
2	VINYL CLADDING, HORIZONTAL, WHITE
3	HARDBOARD TRIM, WHITE
4	HARDBOARD TRIM, CHARCOAL GREY (BALCONY POSTS AND FASCIA)
5	HARDBOARD TRIM, GREY
6	HARDBOARD DOOR AND WINDOW TRIM, WHITE
7	HARDBOARD DOOR AND WINDOW TRIM, GREY
8	HARDBOARD PANEL, WHITE
9	HARDBOARD PANEL, CHARCOAL GREY
10	HARDBOARD WOOD GRAINED PANEL, STAINED
11	ASPHALT SHINGLES, DARK GREY / BLACK MIX
12	VINYL WINDOW FRAMES, BLACK, WITH CLEAR INSULATED GLASS UNITS
13	PREFINISHED TRIM, GUTTERS, AND DOWNSPOUTS, GREY
14	PREFINISHED ALUMINUM BALCONY RAILING SYSTEM WITH WIDE PROFILE VERTICAL PICKETS, BLACK
15	PREFINISHED ALUMINUM RAILING SYSTEM WITH GLASS INFILL PANEL, WHITE
16	MECHANICALLY FASTENED CULTURED STONE RAINSCREEN SYSTEM, 'CHARCOAL'
17	CEMENT PAVING, NATURAL
18	FIBREGLASS EXTERIOR DOOR, GREY
19	PREFINISHED ALUMINUM ENTRY DOOR / FRAMES, BLACK, SVC/W CLEAR INSULATED GLAZING UNITS
20	INSULATED METAL DOOR, GREY
21	OVERHEAD GARAGE DOOR, GREY
22	PREFINISHED PROFILED METAL SIDING, WHITE
23	FIRE DEPARTMENT CONNECTION
24	ADDRESS SIGNAGE TBD
25	PREFINISHED METAL LOUVER, WHITE



1 | WEST ELEVATION
DPA.01 | SCALE: 3/32" = 1'-0"



2 | NORTH COURTYARD ELEVATION
DPA.01 | SCALE: 3/32" = 1'-0"



3 | SOUTH COURTYARD ELEVATION
DPA.01 | SCALE: 3/32" = 1'-0"

This drawing is subject to copyright and remains the property of the consultant. Drawings shall not be reproduced or copied in part or in whole without the permission of the consultant. Do not scale from drawings. Only figured dimensions, elevations and datums are to be taken from drawings and are to be site verified by contractor. Report any discrepancies to the consultant prior to the commencement of construction.

CLIENT

PROJECT NAME / ADDRESS

RANGEVIEW MULTIFAMILY

91 RANGEVIEW GATE S.E.
CALGARY, AB

REVISIONS

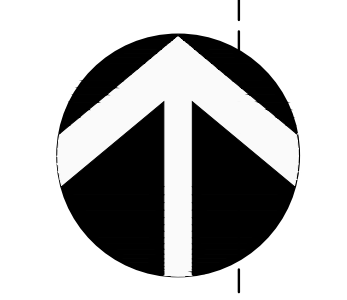
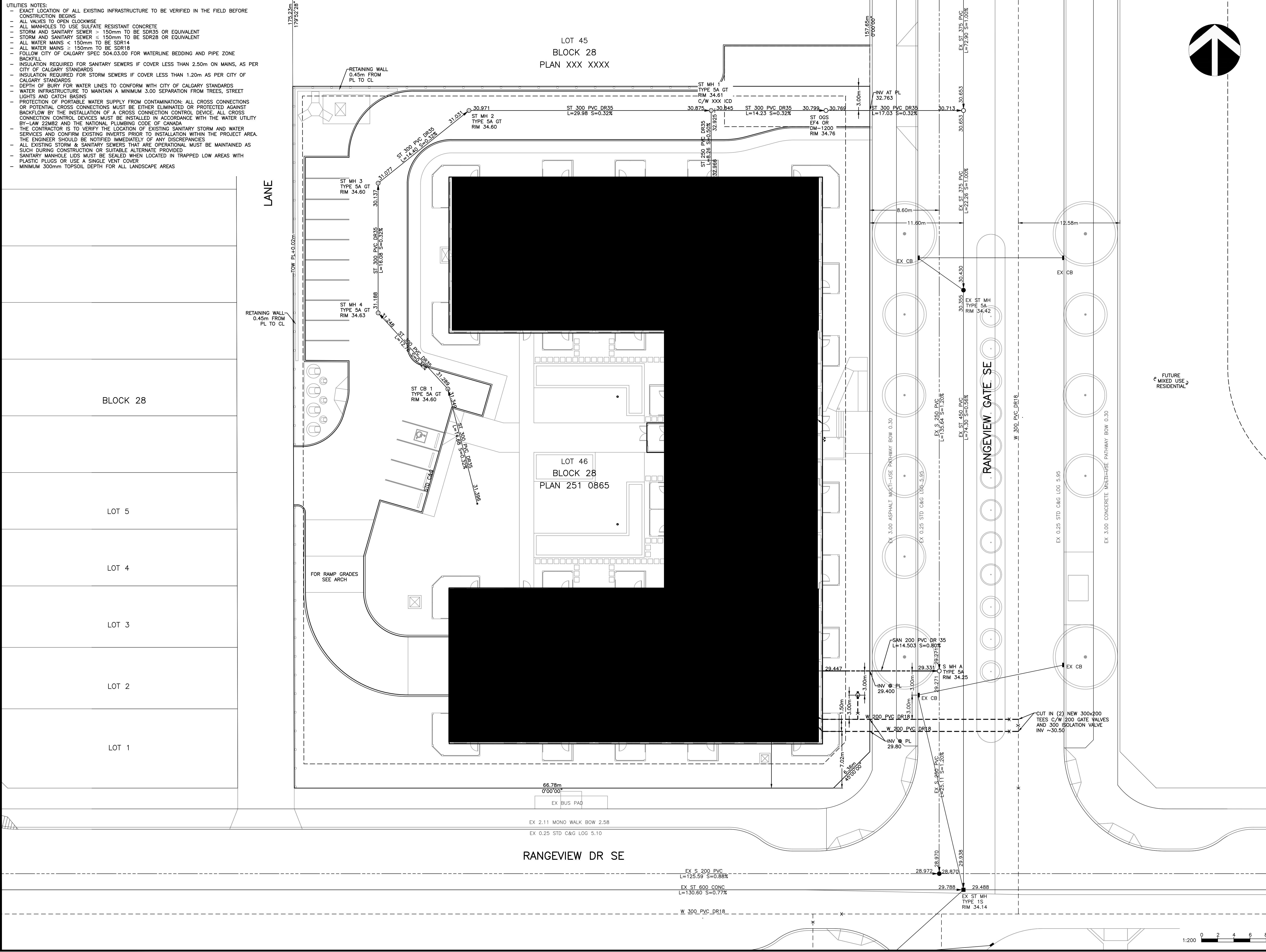
DESCRIPTION	DATE
DEVELOPMENT PERMIT	2025-09-08

SHEET NUMBER / NAME

DP4.01

BUILDING ELEVATIONS

- UTILITIES NOTES:
- EXACT LOCATION OF ALL EXISTING INFRASTRUCTURE TO BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION BEGINS
 - ALL VALVES TO OPEN CLOCKWISE
 - ALL MANHOLES TO USE SULFATE RESISTANT CONCRETE
 - STORM AND SANITARY SEWER > 150mm TO BE SDR35 OR EQUIVALENT
 - STORM AND SANITARY SEWER < 150mm TO BE SDR28 OR EQUIVALENT
 - ALL WATER MAINS < 150mm TO BE SDR14
 - ALL WATER MAINS > 150mm TO BE SDR18
 - FOLLOW CITY OF CALGARY SPEC 504.03.00 FOR WATERLINE BEDDING AND PIPE ZONE BACKFILL
 - INSULATION REQUIRED FOR SANITARY SEWERS IF COVER LESS THAN 2.50m ON MAINS, AS PER CITY OF CALGARY STANDARDS
 - INSULATION REQUIRED FOR STORM SEWERS IF COVER LESS THAN 1.20m AS PER CITY OF CALGARY STANDARDS
 - DEPTH OF BURY FOR WATER LINES TO CONFORM WITH CITY OF CALGARY STANDARDS
 - WATER INFRASTRUCTURE TO MAINTAIN A MINIMUM 3.00 SEPARATION FROM TREES, STREET LIGHTS AND CATCH BASINS
 - PROTECTION OF PORTABLE WATER SUPPLY FROM CONTAMINATION: ALL CROSS CONNECTIONS OR POTENTIAL CROSS CONNECTIONS MUST BE EITHER ELIMINATED OR PROTECTED AGAINST BACKFLOW BY THE INSTALLATION OF A CROSS CONNECTION CONTROL DEVICE. ALL CROSS CONNECTION CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH THE WATER UTILITY BY-LAW 22MB2 AND THE NATIONAL PLUMBING CODE OF CANADA
 - THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING SANITARY STORM AND WATER SERVICES AND CONFIRM EXISTING INVERTS PRIOR TO INSTALLATION WITHIN THE PROJECT AREA. THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES
 - ALL EXISTING STORM & SANITARY SEWERS THAT ARE OPERATIONAL MUST BE MAINTAINED AS SUCH DURING CONSTRUCTION OR SUITABLE ALTERNATE PROVIDED
 - SANITARY MANHOLE LIDS MUST BE SEALED WHEN LOCATED IN TRAPPED LOW AREAS WITH PLASTIC PLUGS OR USE A SINGLE VENT COVER
 - MINIMUM 300mm TOPSOIL DEPTH FOR ALL LANDSCAPE AREAS



LEGEND

EXISTING UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE 5A MANHOLE
- TYPE 1S MANHOLE
- CATCH BASIN
- HYDRANT
- WATER VALVE
- U/G ELECTRICAL
- GAS

PROPOSED UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE 5A MANHOLE
- CATCHBASIN/MANHOLE
- TYPE 1S MANHOLE
- CATCH BASIN
- ROOF DRAIN
- AREA DRAIN
- HYDRANT
- WATER VALVE
- WATER METER LOCATION
- CONCRETE SWALE
- ELECTRICAL METER LOCATION
- GAS METER LOCATION

REVISIONS

NO.	DATE	DESCRIPTION	BY	APPD.
1				
2				
3				
4				
5				

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	FOR DP	25/08/29
2	FOR APPROVAL	
3	FOR ARCHIVE	



PROJECT

JOB DESCRIPTION
RANGEVIEW MULTIFAMILY M-2

PARCEL SIZE: HA NUM. OF UNITS: UNITS
 LOT: 46 BLK: 28 PLAN: 251 0865

DP#: DSSP: -

ADDRESS: RANGEVIEW GATE SE

LEGAL DESCRIPTION: -

TITLE

SITE SERVICING PLAN (FOR DP)

SCALE: 1:200 STAMP:

DWN: MR

DES: RB

DATE: AUG 29-25

CHK: RB

P. ENG: EY

PERMIT:

PROJECT No. SHEET OF

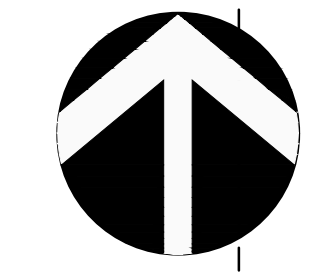
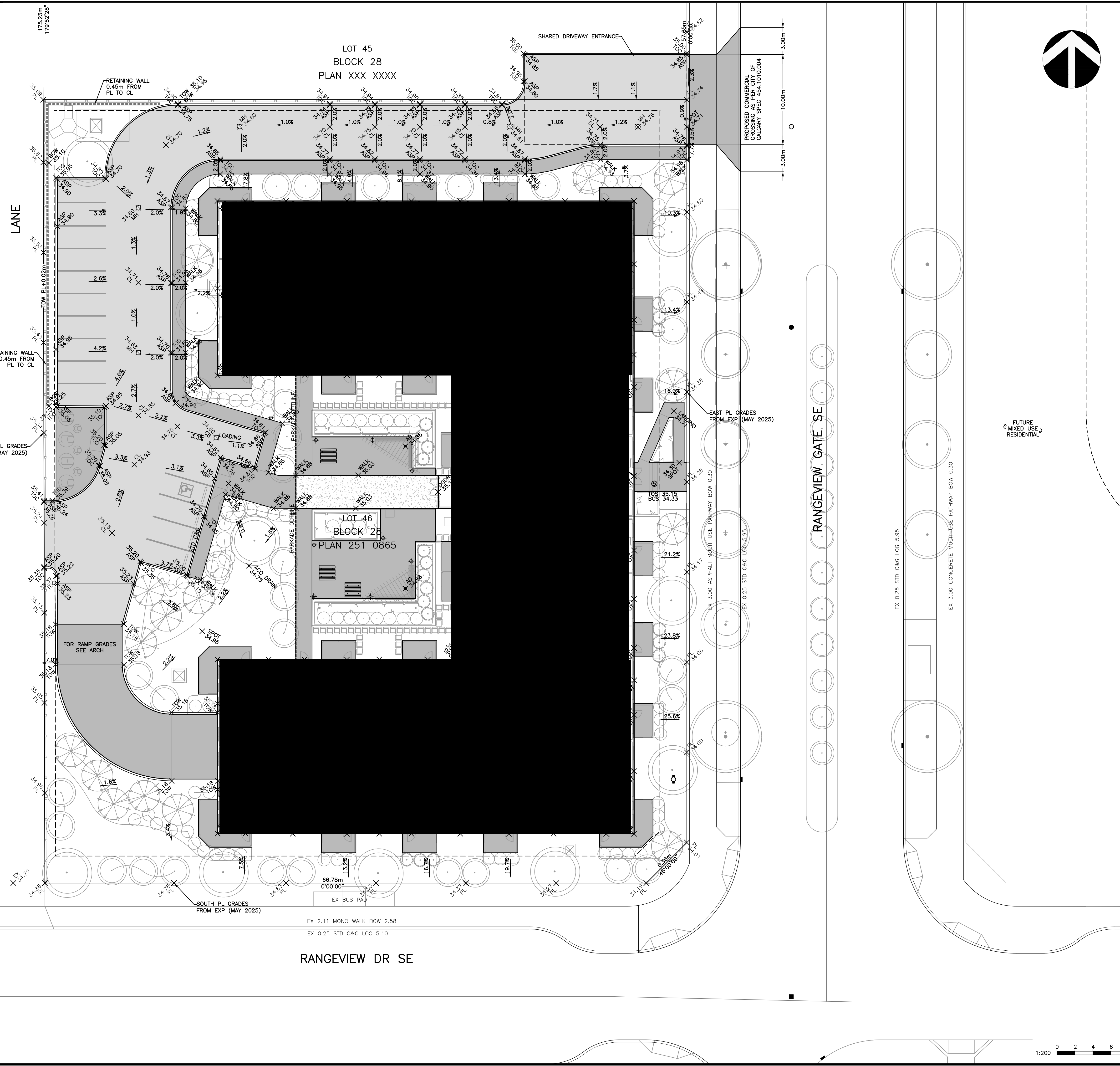
126-32 1 3

DRAWING NAME SECTION ALL PRINTS PRIOR TO

126-32 SVC R 0

V:\126 - STREETSIDE\126 - RANGEVIEW MULTIFAMILY M-2\BASE.dwg Sep 04, 2025 - 8:44am

GENERAL NOTES:
 - EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION PROVIDED BY EXP RECEIVED MAY 23, 2025
 - ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION
 - ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED
 - ALL COORDINATES AND DISTANCES ARE BASED ON 3TM COORDINATE SYSTEM (NAD 83)
 - NO CONSTRUCTION SHALL PROCEED UNTIL ALL APPROPRIATE REGULATORY APPROVALS ARE OBTAINED
 - NO BACK SLOPING PERMITTED ON ANY ADJACENT PARCEL WITHOUT WRITTEN CONSENT FROM THE ASSOCIATED OWNER
 - FOR BUILDING LOCATIONS AND DIMENSIONS REFER TO LATEST ARCHITECTURAL DRAWINGS
 - ANY ERRORS OR DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION



LEGEND

GRADING FEATURES

- → → PROPOSED CONCRETE SWALE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED CB/MANHOLE
- ▭ PROPOSED ASPHALT PAVING
- ▭ PROPOSED CONCRETE
- PROPOSED RETAINING WALL
- ↔ ↔ ↔ PROPOSED GRASS SWALE
- ○ ○ PROPOSED CHAINLINK FENCE
- □ □ PROPOSED POST & CABLE FENCE
- ⊕ EXISTING PL GRADE
- ⊕ PROPOSED FINISHED GRADE

REVISIONS

NO.	yy/mm/dd	DESCRIPTION	BY	APPD
1	-	-	-	-
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-

SUBMISSIONS

NO.	DESCRIPTION	DATE (yy/mm/dd)
1	FOR DP	25/08/29
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT

PROJECT

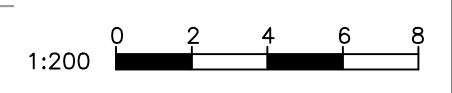
JOB DESCRIPTION
RANGEVIEW MULTIFAMILY M-2

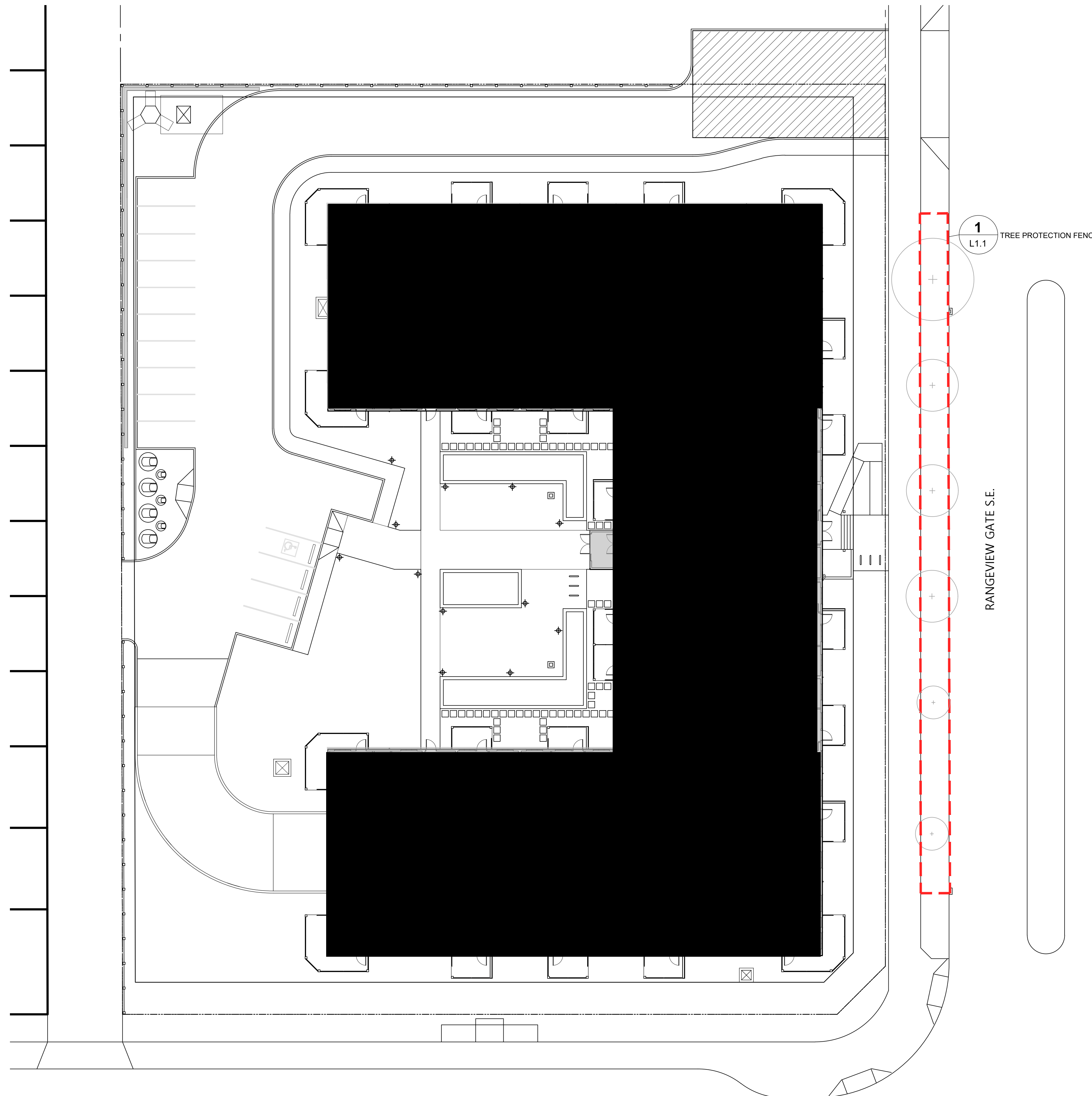
PARCEL SIZE: HA NUM. OF UNITS: UNITS
 LOT: 46 BLK: 28 PLAN: 251 0865
 DP#: DSSP: -
 ADDRESS: RANGEVIEW GATE SE
 LEGAL DESCRIPTION: ---
 TITLE
SITE GRADING PLAN (FOR DP)

SCALE: 1:200	STAMP:
DWN: MR	
DES: RB	
DATE: AUG 29-25	
CHK: RB	
P. ENG: EY	
PERMIT:	

PROJECT No.	SHEET	OF
126-32	2	3
DRAWING NAME	SECTION	ALL PRINTS PRIOR TO
126-32 GRAD	R	0

V:\126 - STREETS\126-32 - RANGEVIEW MULTIFAMILY M-2 - BASE.dwg Sep 08, 2025 - 9:39am



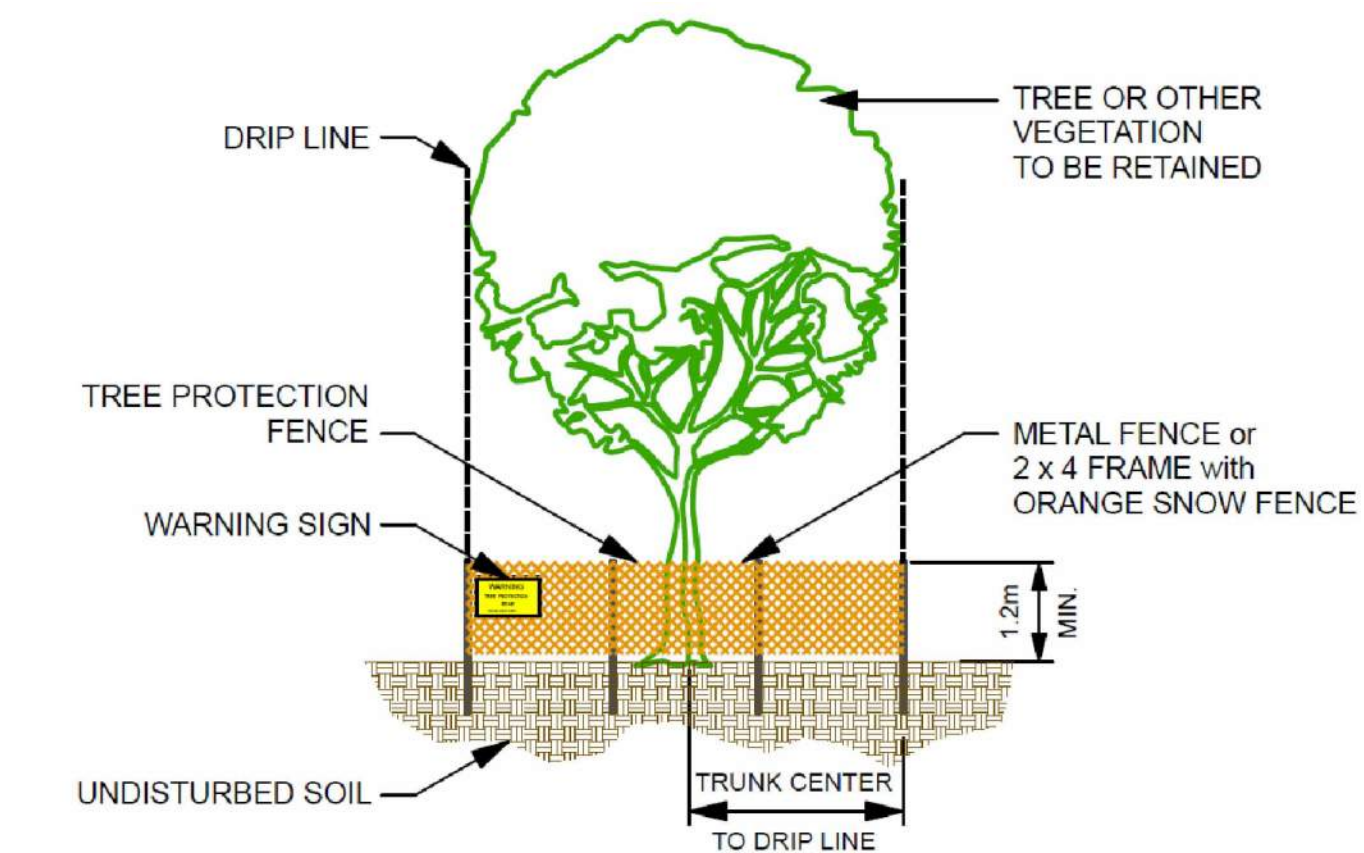


LEGEND

- PROPERTY LINE
- ⊕ DECIDUOUS STREET TREE TO REMAIN AND PROTECT
- FUTURE BOULEVARD PLANTING (NOT A PART OF THE DP SUBMISSION)
- 1
L1.1 EXTENT OF TREE PROTECTION FENCE

NOTES

1. TREE SURVEY INFORMATION PROVIDED BY IBI GROUP AND BASED ON CITY OF CALGARY APPROVED LINE ASSIGNMENT DRAWINGS
2. TREE PROTECTION MEASURES AS PER CITY OF CALGARY TREE PLAN GUIDELINES. (SEE PAGE 62 CURRENT EDITION OF THE CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS LANDSCAPE CONSTRUCTION
3. TEMPORARY TREE PROTECTION FENCING OR BARRIER MATERIAL SHALL BE A BRIGHT OR CONTRASTING COLOUR AND BE DURABLE. FENCE POSTS SHALL BE COMPARABLE TO METAL T-POSTS OR HEAVIER. FENCE WILL BE MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF THE PROJECT, AS PER CITY OF CALGARY PARKS TREE PROTECTION PLAN SPECIFICATIONS.
4. TREE PROTECTION FENCING TO REMAIN IN PLACE FOR DURATION OF SITE CONSTRUCTION
5. ALL TREES WITHIN 6.0m OF THE PROJECT BOUNDARY SHALL BE PROTECTED BY FENCING DESCRIBED IN THE NOTES ABOVE.
6. PRIOR TO CONSTRUCTION, AND AFTER TEMPORARY FENCE INSTALLATION, THE CONTRACTOR SHALL CONTACT CITY OF CALGARY URBAN FORESTRY AND ARRANGE AN ON SITE MEETING PRIOR TO COMMENCING CONSTRUCTION.
7. THE CONTRACTOR SHALL ADHERE TO ALL CITY OF CALGARY URBAN FORESTRY REQUIREMENTS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION. (SEE CITY OF CALGARY "TREE PROTECTION PLANS FOR CAPITAL PROJECTS" BROCHURE.)
8. NO STORAGE OF CONSTRUCTION MATERIALS SHALL OCCUR WITHIN FENCED TREE PROTECTION ZONES.



1 TREE PROTECTION DETAIL
L1.1 NTS

This drawing is subject to copyright and remains the property of the consultant. Drawings shall not be reproduced or copied in part or in whole without the permission of the consultant. Do not scale from drawings. Only figured dimensions, elevations and datums are to be taken from drawings and are to be site verified by contractor. Report any discrepancies to the consultant prior to the commencement of construction.

CLIENT

PROJECT NAME / ADDRESS
RANGEVIEW MULTIFAMILY

RANGEVIEW GATE S.E.
CALGARY, AB

ISSUED

1	DEVELOPMENT PERMIT	2025-03-21
2	DEVELOPMENT PERMIT	2025-09-04

SHEET NUMBER / NAME

L1.1
TREE PROTECTION PLAN

SITE STATISTICS

LAND USE BYLAW: M-1 Multi-Residential - Low Profile

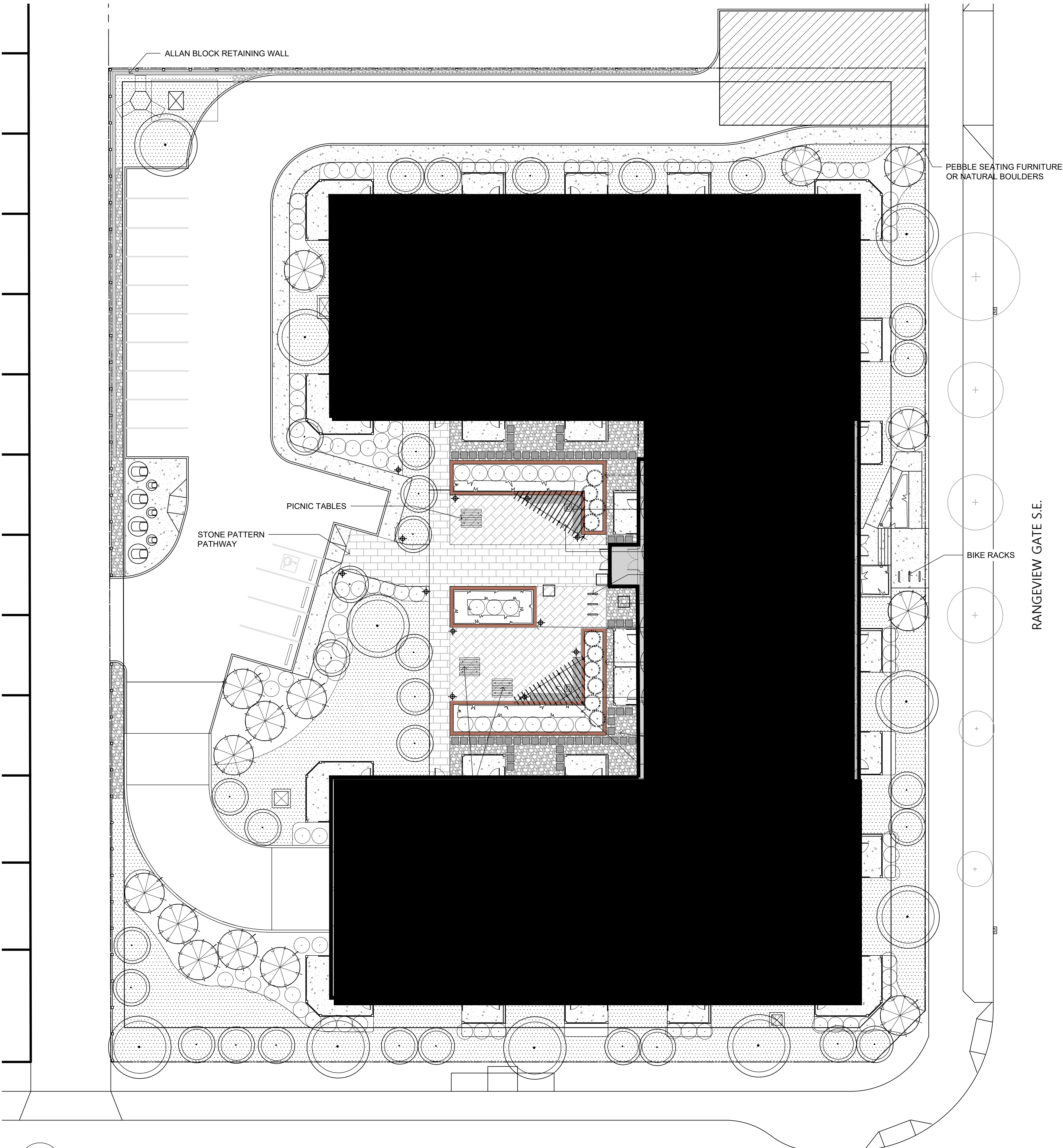
Total Site Development Area	6,196.02m ²	100%
Building Footprint	2,383.87m ²	38.50%
Roads and Parking	1,290.86m ²	20.80%
Landscape Area Required (including patios, decks and pathways)	2,478.40m ²	40.0%
Landscape Area Provided	2,521.29m ²	40.70%
Soft Landscape Area	1605.73m ²	63.70%
Hard Landscape Area	915.56m ²	36.30%
Requires 2 shrubs / 45m ² of landscape	114	Shrubs
Requires 1 tree / 45m ² of landscape	57	Trees
A minimum of 25% of all trees provided must be coniferous	15	Coniferous
	42	Deciduous
Proposed Deciduous Trees (50mm cal.)		Trees
Proposed Deciduous Trees (min 50% - 80mm cal.)		Trees
Proposed Coniferous Trees (2000mm ht.)		Trees
Proposed Coniferous Trees (min 50% - 3000mm ht.)		Trees
Total Trees Provided	57	Trees
Total Shrubs Provided	114	Shrubs
Proposed Deciduous Shrubs		
Proposed Coniferous Shrubs		

LEGEND

- PROPERTY LINE
- PROPOSED CONIFEROUS TREE
- PROPOSED DECIDUOUS TREE
- CONIFEROUS SHRUBS (MIN 600mm SPREAD)
- DECIDUOUS SHRUBS (MIN. 600mm HT.)
- PROPOSED PERENNIALS AND GRASSES
- IRRIGATED SOD WITH 300mm TOP SOIL
- CONCRETE SIDEWALKS AND ENTRANCE PATHWAYS WITH SAW CUT JOINTS, LIGHT SANDBLAST AND/OR BROOM FINISH
- STONE PATTERNED PATHWAY
- 25mm WASHED ROCKS
- LIGHT FIXTURE SEE SITE LIGHTING PLAN
- LIGHTING BOLLARD SEE LIGHTING PLAN
- BENCH

NOTES

- ALL AREAS OF SOFT LANDSCAPING SHALL BE PROVIDED WITH AN UNDERGROUND SPRINKLER IRRIGATION SYSTEM (EXCLUDING THE NATURALIZED SEEDED AREA)
- ALL CONSTRUCTION AND PLANTING DETAILS TO BE IN ACCORDANCE WITH THE CITY OF CALGARY PARKS AND RECREATION, STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION, CURRENT EDITION.
- ALL PLANT MATERIALS TO BE HIGH QUALITY / SPECIMEN.
- DRAINAGE FLOWS TO BE DIRECTED AWAY FROM ALL BUILDINGS AT A MINIMUM GRADE OF 2% (SEE ENGINEERING DRAWING FOR GRADING PLAN)
- ALL CONIFEROUS TREES AND SHRUBS SHALL BE PLANTED IN BEDS WITH A MINIMUM 75mm DEPTH OF CLEAN WOOD FIBRE MULCH (MAXIMUM 100mm)
- LIGHT BOLLARDS & COLUMNS TO BE SURFACE MOUNTED ON CONCRETE PAVING / OR SONO TUBE CONCRETE PILE IN SOFT LANDSCAPE AREAS (SEE ELECTRICAL DWGS)
- ALL SUBSOIL TO BE PRE-SCARIFIED TO A DEPTH OF 100mm OR MORE AT ALL LOCATIONS WHERE TOPSOIL IS TO BE APPLIED.
- SEE ENGINEERING DRAWINGS FOR GRADING INFORMATION.

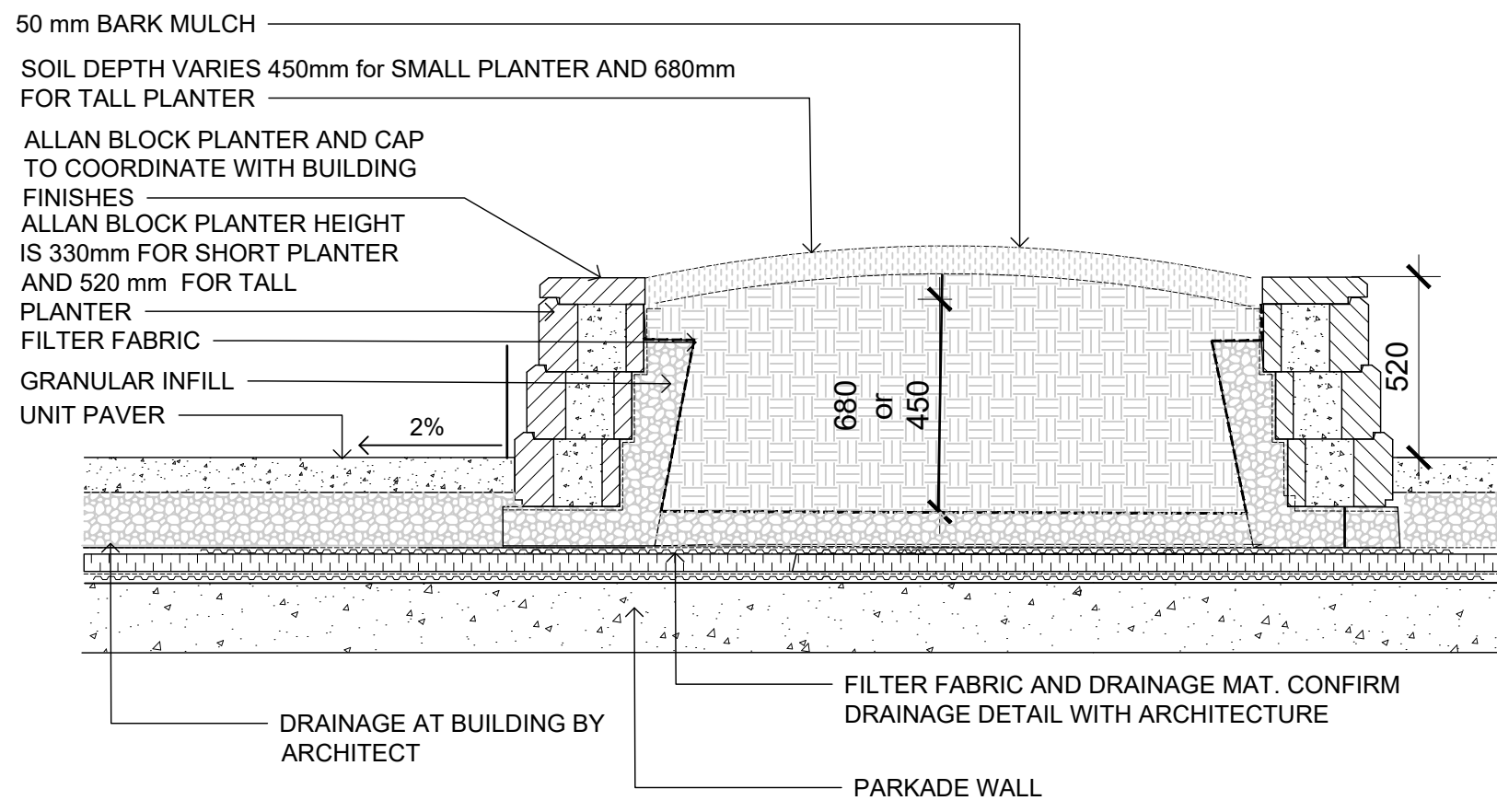


3 ARCO BOLD OR RIVA BOLD PERGOLA BY STUR DESIGN (TBD)
L1.2 NTS



4 OGDEN BENCH BY MAGLIN (TBD)
L1.2 NTS

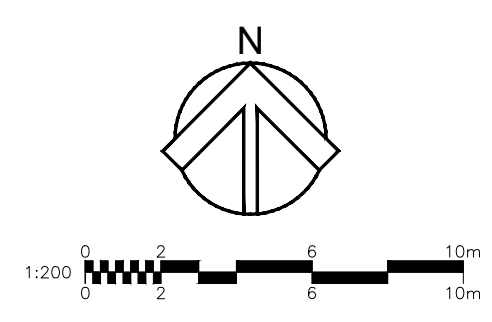
1 LANDSCAPE PLAN
L1.2 SCALE 1:200

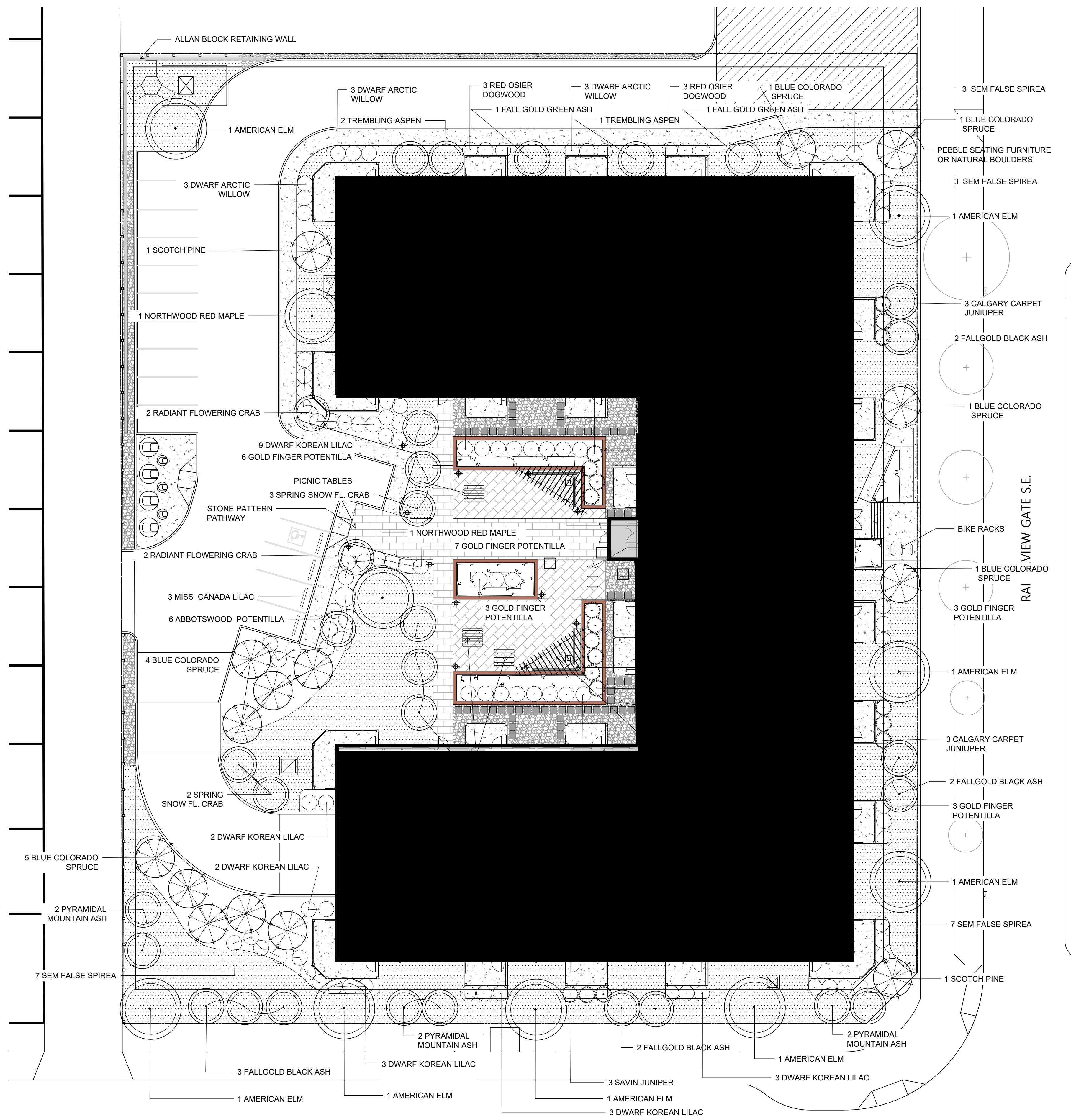


2 ALLAN BLOCK PLANTER (TYP)
L1.2 SCALE 1:25



This drawing is subject to copyright and remains the property of the consultant. Drawings shall not be reproduced or copied in part or in whole without the permission of the consultant. Do not scale from drawings. Only figured dimensions, elevations and datums are to be taken from drawings and are to be site verified by contractor. Report any discrepancies to the consultant prior to the commencement of construction.





RANGEVIEW DRIVE S.E.

NOTES

- ALL AREAS OF SOFT LANDSCAPING SHALL BE PROVIDED WITH AN UNDERGROUND SPRINKLER IRRIGATION SYSTEM (EXCLUDING THE NATURALIZED SEEDED AREA)
- ALL CONSTRUCTION AND PLANTING DETAILS TO BE IN ACCORDANCE WITH THE CITY OF CALGARY PARKS AND RECREATION, STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION, CURRENT EDITION.
- ALL PLANT MATERIALS TO BE HIGH QUALITY / SPECIMEN.
- DRAINAGE FLOWS TO BE DIRECTED AWAY FROM ALL BUILDINGS AT A MINIMUM GRADE OF 2% (SEE ENGINEERING DRAWING FOR GRADING PLAN)
- ALL CONIFEROUS TREES AND SHRUBS SHALL BE PLANTED IN BEDS WITH A MINIMUM 75mm DEPTH OF CLEAN WOOD FIBRE MULCH (MAXIMUM 100mm)
- LIGHT BOLLARDS & COLUMNS TO BE SURFACE MOUNTED ON CONCRETE PAVING / OR SONO TUBE CONCRETE PILE IN SOFT LANDSCAPE AREAS (SEE ELECTRICAL DWGS)
- ALL SUBSOIL TO BE PRE-SCARIFIED TO A DEPTH OF 100mm OR MORE AT ALL LOCATIONS WHERE TOPSOIL IS TO BE APPLIED.
- SEE ENGINEERING DRAWINGS FOR GRADING INFORMATION.

LEGEND

- PROPERTY LINE
- PROPOSED CONIFEROUS TREE
- PROPOSED DECIDUOUS TREE
- CONIFEROUS SHRUBS (MIN. 600mm SPREAD)
- DECIDUOUS SHRUBS (MIN. 600mm HT.)
- PROPOSED PERENNIALS AND GRASSES
- IRRIGATED SOD WITH 300mm TOP SOIL
- STONE PATTERNED PATHWAY
- CONCRETE SIDEWALKS AND ENTRANCE PATHWAYS WITH SAW CUT JOINTS, LIGHT SANDBLAST AND/OR BROOM FINISH
- 25mm WASHED ROCKS
- LIGHT FIXTURE SEE SITE LIGHTING PLAN
- LIGHTING BOLLARD SEE LIGHTING PLAN
- BENCH

TREE PLANTING SCHEDULE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
CONIFEROUS TREES				
11	PICEA PLUNGENS	COLORADO SPRUCE	2000mm HT.	B&B
2	PINUS SILVESTRIS	SCOTCH PINE	3000mm HT.	B&B
DECIDUOUS TREES				
2	ACER RUBRUM 'NORTHWOOD'	NORTHWOOD RED MAPLE	50mm CAL.	B&B
9	FRAXINUS NIGRA 'FALLGOLD'	FALLGOLD BLACK ASH	50mm CAL.	B&B
4	MALUS x 'RADIANT'	RADIANT FLOWERING CRABAPPLE	80mm CAL.	B&B
6	MALUS x 'SPRING SNOW'	SPRING SNOW FLOWER, CRABAPPLE	80mm CAL.	B&B
3	POPULUS TREMULA 'ERECTA'	TREMBLING ASPEN	50mm CAL.	B&B
6	SORBUS AUCUPARIA	PYRAMIDAL MOUNTAIN ASH	50mm CAL.	B&B
8	ULMUS AMERICANA	AMERICAN ELM	80mm CAL.	B&B

SHRUB PLANTING SCHEDULE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
CONIFEROUS SHRUBS				
13	JUNIPERUS SABINA	SAVIN JUNIPER	600mm SPR.	#5 CONT.
6	JUNIPERUS SABINA 'CALGARY CARPET'	CALGARY CARPET JUNIPER	600mm SPR.	#5 CONT.
DECIDUOUS SHRUBS				
6	CORNUS SERICEA	RED OSIER DOGWOOD	600mm HT.	#5 CONT.
20	SORBARIA SORBIFOLIA 'SEM'	SEM FALSE SPIREA	600mm HT.	#5 CONT.
21	POTENTILLA FRUTICOSA 'GOLD FINGER'	GOLD FINGER POTENTILLA	600mm HT.	#5 CONT.
14	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA	600mm HT.	#5 CONT.
8	POTENTILLA FRUTICOSA 'HACHLISS'	BELLA BELLISSIMA POTENTILLA	600mm HT.	#5 CONT.
22	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	600mm HT.	#5 CONT.
3	SYRINGA PRESTONIAE 'MISS CANADA'	MISS CANADA LILAC	600mm HT.	#5 CONT.
6	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	600mm HT.	#5 CONT.
PERENNIALS & GRASSES				
0	CALAMAGROSTIS ACUTIFOLIA	KARL FOERSTER 'FEATHER REED GRASS	15cm CONT.	
0	FESTUCA OVINA	BLUE FESCUE	15cm CONT.	
0	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	15cm CONT.	
0	HEMEROCALLIS	DAYLILY	15cm CONT.	
0	MOLINA CAERULEA 'VARIEGATA'	VARIEGATED MOOR GRASS	15cm CONT.	
0	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	15cm CONT.	

1 PLANTING PLAN
SCALE 1:200

This drawing is subject to copyright and remains the property of the consultant. Drawings shall not be reproduced or copied in part or in whole without the permission of the consultant. Do not scale from drawings. Only figured dimensions, elevations and datums are to be taken from drawings and are to be site verified by contractor. Report any discrepancies to the consultant prior to the commencement of construction.

