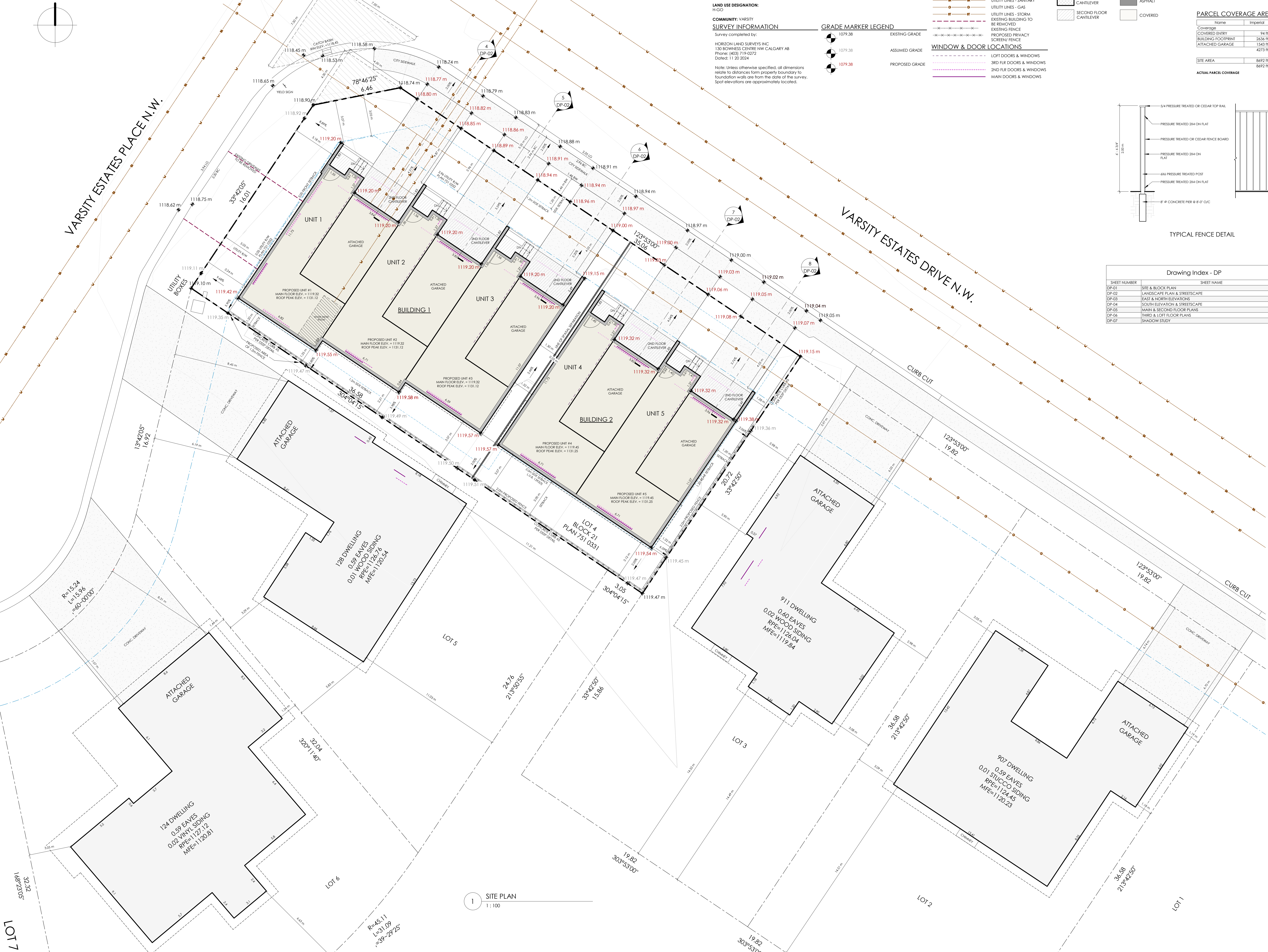




SITE INFORMATION

LEGAL ADDRESS:

LOT: 4, BLOCK: 21,
PLAN: 751 0331

MUNICIPAL ADDRESS:

132 VARSITY ESTATES PLACE NW
CALGARY, ALBERTA

LAND USE DESIGNATION:

R-100

COMMUNITY: VARSITY

SURVEY INFORMATION

Survey completed by:

HORIZON LAND SURVEYS INC.
130 BOWNESS CENTRE NW CALGARY AB
Phone: (403) 719-0272
Date: 11/20/2024

Note: Unless otherwise specified, all dimensions
relate to distances from property boundary to
foundation walls are from the date of the survey.
Spot elevations are approximately located.

LIGHTING NOTE

EXTERIOR WALL SCONCES @ 2.74M FROM
GROUND FLOOR, 100 WATT INCANDESCENT
OR EQUIV. MAX (TYP)

GRADE MARKER LEGEND

1079.38 EXISTING GRADE
1079.38 ASSUMED GRADE
1079.38 PROPOSED GRADE

LINE TYPE LEGEND

SUBJECT PROPERTY LINES
ADJACENT PROPERTY LINES
EAVES / CANOPIES
UTILITY LINES - POWER
UTILITY LINES - OVERHEAD
UTILITY LINES - WATER
UTILITY LINES - SANITARY
UTILITY LINES - GAS
UTILITY LINES - STORM
EXISTING BUILDING TO
BE REMOVED
PROPOSED PRIVACY
SCREEN FENCE
LOFT DOORS & WINDOWS
3RD FLR DOORS & WINDOWS
2ND FLR DOORS & WINDOWS
MAIN DOORS & WINDOWS

WINDOW & DOOR LOCATIONS

SITE LEGEND

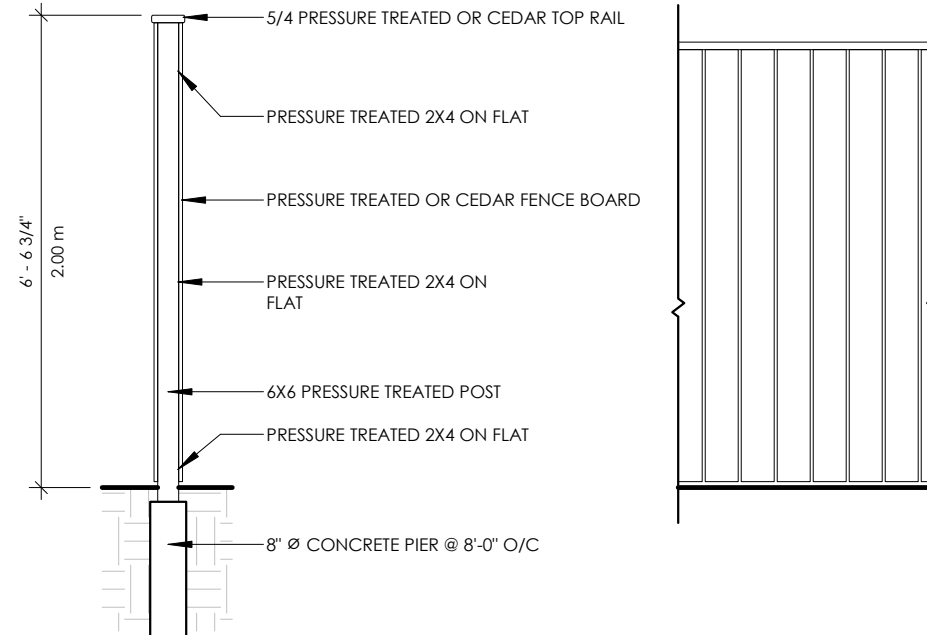
NON-LANDSCAPED AREAS
BUILDING FOOTPRINT
ADDITION FOOTPRINT
NEIGHBORING BUILDING FOOTPRINT
MAIN FLOOR CANTILEVER
SECOND FLOOR CANTILEVER
PROPOSED
ADDITION FOOTPRINT
DECKS
ASPHALT
COVERED

FLOOR AREA RATIO

Name	Imperial	Metric
MAIN FLOOR	2607 ft ²	242.15 m ²
SECOND FLOOR	4125 ft ²	383.24 m ²
THIRD FLOOR	4259 ft ²	395.49 m ²
LOFT	289 ft ²	26.87 m ²
	11280 ft ²	1047.95 m ²
	1047.95 / 807.47 = 1.30	F.A.R. = 1.30

PARCEL COVERAGE AREA

Name	Imperial	Metric
Coverage	94 ft ²	8.71 m ²
COVERED ENTRY	2636 ft ²	244.94 m ²
BUILDING FOOTPRINT	1543 ft ²	143.36 m ²
ATTACHED GARAGE	4273 ft ²	397.01 m ²
	8692 ft ²	807.47 m ²
SITE AREA	8692 ft ²	807.47 m ²
ACTUAL PARCEL COVERAGE	8692 ft ²	807.47 m ²
		= 49.17%



Drawing Index - DP		
SHEET NUMBER	SITE & BLOCK PLAN	SHEET NAME
DP-01	SITE & BLOCK PLAN	
DP-02	LANDSCAPE PLAN & STREETScape	
DP-03	EAST & NORTH ELEVATIONS	
DP-04	SOUTH ELEVATION & STREETScape	
DP-05	MAIN & SECOND FLOOR PLANS	
DP-06	THIRD & LOFT FLOOR PLANS	
DP-07	SHADOW STUDY	

REVISION SCHEDULE

#	REVISION DATE	REVISION DESCRIPTION
2	2025.09.12	Issued For DP

GENERAL NOTES

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ISSUED FOR DEVELOPMENT PERMIT

PROJECT LOCATION

132 VARSITY ESTATES PLACE N.W.,
CALGARY, ALBERTA
LOT: 4, BLOCK: 21,
PLAN: 7510331

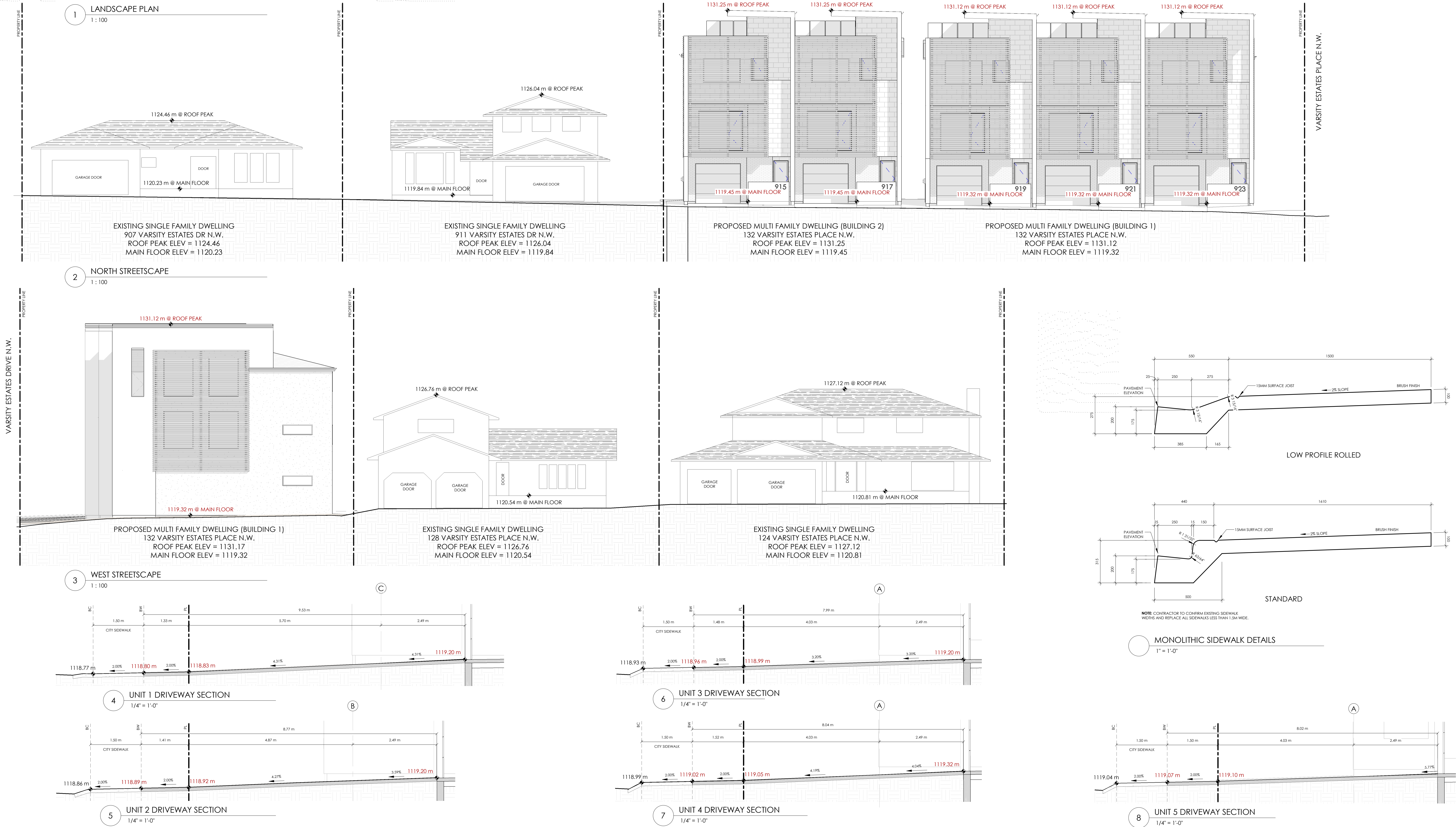
FLOOR AREAS

UNIT 1	MAIN FLOOR	521 SF
UNIT 1	SECOND FLOOR	827 SF
UNIT 1	THIRD FLOOR	851 SF
UNIT 1	LOFT	58 SF
UNIT 1 TOTAL		2256 SF
UNIT 2	MAIN FLOOR	521 SF
UNIT 2	SECOND FLOOR	825 SF
UNIT 2	THIRD FLOOR	852 SF
UNIT 2	LOFT	58 SF
UNIT 2 TOTAL		2256 SF
UNIT 3	MAIN FLOOR	521 SF
UNIT 3	SECOND FLOOR	824 SF
UNIT 3	THIRD FLOOR	852 SF
UNIT 3	LOFT	58 SF
UNIT 3 TOTAL		2256 SF
UNIT 4	MAIN FLOOR	521 SF
UNIT 4	SECOND FLOOR	824 SF
UNIT 4	THIRD FLOOR	852 SF
UNIT 4	LOFT	58 SF
UNIT 4 TOTAL		2256 SF
UNIT 5	MAIN FLOOR	522 SF
UNIT 5	SECOND FLOOR	824 SF
UNIT 5	THIRD FLOOR	852 SF
UNIT 5	LOFT	58 SF
UNIT 5 TOTAL		2256 SF

NOT FOR CONSTRUCTION

SITE & BLOCK PLAN

DP-01



PLANTING REQUIREMENTS

- A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 m² of parcel area.
Parcel Area = **807.47 m² / 110.00 = 7.34**
7.34 x 1.0 = **8 trees**
7.34 x 3.0 = **23 shrubs**
- Shrubs must be a minimum height or spread of 0.6 meters at the time of planting.
- The requirements for the provision of 1.0 tree is met where:
 - a deciduous tree has a minimum caliper of 40 mm; or
 - a coniferous tree has a minimum height of 2.0 m.
- The requirements for the provision of 3.0 shrubs is met where:
 - a deciduous tree has a minimum caliper of 85 mm; or
 - a coniferous tree has a minimum height of 2.0 m.
- The requirements for the provision of 3.0 trees is met where an existing deciduous tree with a caliper greater than 100 mm is preserved.

All plant materials must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association.

LANDSCAPED AREA: 285.61 m²

Minimum 30% of the landscape area must be covered with soft surfaced landscaping.
285.61 m² x 0.3 = 85.68 m²

All soft surfaced landscaped area must be irrigated by an underground irrigation system.

NOTE: Tree and shrub areas to be irrigated w/ low water underground sprinkler system c/w BacNet monitoring & bounded by concrete curb. All sodded areas are planted with a drought tolerant grass species.

A minimum depth of 0.3m of topsoil is required for sod areas.
A minimum depth of 0.6m of topsoil is required shrub and tree beds.

LANDSCAPING LEGEND

SOFT / PERMEABLE LANDSCAPING	HARD / NON-PERMEABLE LANDSCAPING
GRASS SOIL DEPTH 300mm MIN.	CONCRETE
MULCH SOIL DEPTH 600mm MIN.	GRAVEL / ROCKS
BUILDING FOOTPRINT	COVERED
NEIGHBORING BUILDING FOOTPRINT	

PLANTING LEGEND



All trees and shrubs will be of a species capable of healthy growth in Calgary and will conform to the standards of the Canadian Nursery Landscape Association.

New matured trees to be planted after construction as required by Land Use Bylaw

PLANTING SCHEDULE

PROPOSED TREES

TREE NO.	TREE TYPE	SPECIES	CALIPER	CANOPY DIA.	HEIGHT	QTY.
1.	DECIDUOUS	ROSTERN CRABAPPLE	0.6M	2M	4M	5
2.	CONIFEROUS	SIBERIAN LARCH	0.3M	2M	4M	3

PROPOSED SHRUBS

SHRUB NO.	SHRUB TYPE	SPECIES	CALIPER	CANOPY DIA.	HEIGHT	QTY.
3.	MUGO PINE	SHRUB	.08M	.76M	1.22M	15
4.	POIENTILLA DWARF ILAC	SHRUB	.08M	.76M	1.22M	2
5.		SHRUB	.08M	.76M	1.22M	6

Name	Imperial	Metric
Soft Landscape Surface		
GRASS	928 SF	86.24 m ²
MULCH	1294 SF	120.23 m ²
	2223 SF	206.48 m ²
Hard Landscape Surface		
CONCRETE	337 SF	31.35 m ²
GRAVEL	514 SF	47.77 m ²
	852 SF	79.12 m ²
Gross Landscape Area		
LANDSCAPE AREA	3074 SF	285.61 m ²
	3074 SF	285.61 m ²
SOFT LANDSCAPING SURFACE COVERAGE		= 72.25%

SEPTEMBER 12, 2025

VARSITY ROWHOUSE

REVISION SCHEDULE

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DEVELOPMENT PERMIT

PROJECT LOCATION

132 VARSITY ESTATES PLACE N.W., CALGARY, ALBERTA

LOT: 4, BLOCK: 21,

PLAN: 7510331

FLOOR AREAS

UNIT 1		
MAIN FLOOR		521 SF
SECOND FLOOR		827 SF
THIRD FLOOR		851 SF
LOFT		58 SF
UNIT 1 TOTAL		2256 SF
UNIT 2		
MAIN FLOOR		521 SF
SECOND FLOOR		825 SF
THIRD FLOOR		852 SF
LOFT		58 SF
UNIT 2 TOTAL		2256 SF
UNIT 3		
MAIN FLOOR		521 SF
SECOND FLOOR		824 SF
THIRD FLOOR		852 SF
LOFT		58 SF
UNIT 3 TOTAL		2256 SF
UNIT 4		
MAIN FLOOR		521 SF
SECOND FLOOR		824 SF
THIRD FLOOR		852 SF
LOFT		58 SF
UNIT 4 TOTAL		2256 SF
UNIT 5		
MAIN FLOOR		522 SF
SECOND FLOOR		824 SF
THIRD FLOOR		852 SF
LOFT		58 SF
UNIT 5 TOTAL		2256 SF

NOT FOR
CONSTRUCTIONLANDSCAPE PLAN &
STREETSCAPE

DP-02



- ## MATERIAL LEGEND
- | | | | |
|---|--|---|--|
| ① | ASPHALT SHINGLES | ⑨ | BRICK VENEER, SELECTION T.B.D. |
| ② | EPDM FLAT ROOFING | ⑩ | METAL PANEL, MANUFACTURER T.B.D. - BLACK |
| ③ | ALUMINUM SOFFIT & RAINFARE | ⑪ | LARGE FORMAT CONCRETE TILE, SELECTION T.B.D. |
| ④ | CEDAR SOFFIT | ⑫ | EXTERIOR WINDOWS - PER SPECIFICATION - BLACK FRAME |
| ⑤ | 8" HARDIE TRIM FASCIA | ⑬ | PRE-CAST CONCRETE STEP, FINISH TO BE SELECTED |
| ⑥ | 1 1/4" HARDIE TRIM FASCIA - MATCH METAL PANEL | ⑭ | NEW TECH WOOD SCREEN WALL, OR SIM. |
| ⑦ | FLOAT FINISHED ACRYLIC STUCCO OVER CEMENTITIOUS BASE - GREY | ⑮ | OPAQUE GLASS PRIVACY SCREEN |
| ⑧ | FLOAT FINISHED ACRYLIC STUCCO OVER CEMENTITIOUS BASE - WHITE | ⑯ | CONCRETE CORNER MONUMENT WALL |



SEPTEMBER 12, 2025

VARSITY ROWHOUSE

REVISION SCHEDULE

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DEVELOPMENT PERMIT

PROJECT LOCATION

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CALGARY, ALBERTA
LOT: 4, BLOCK: 21,
PLAN: 7510331

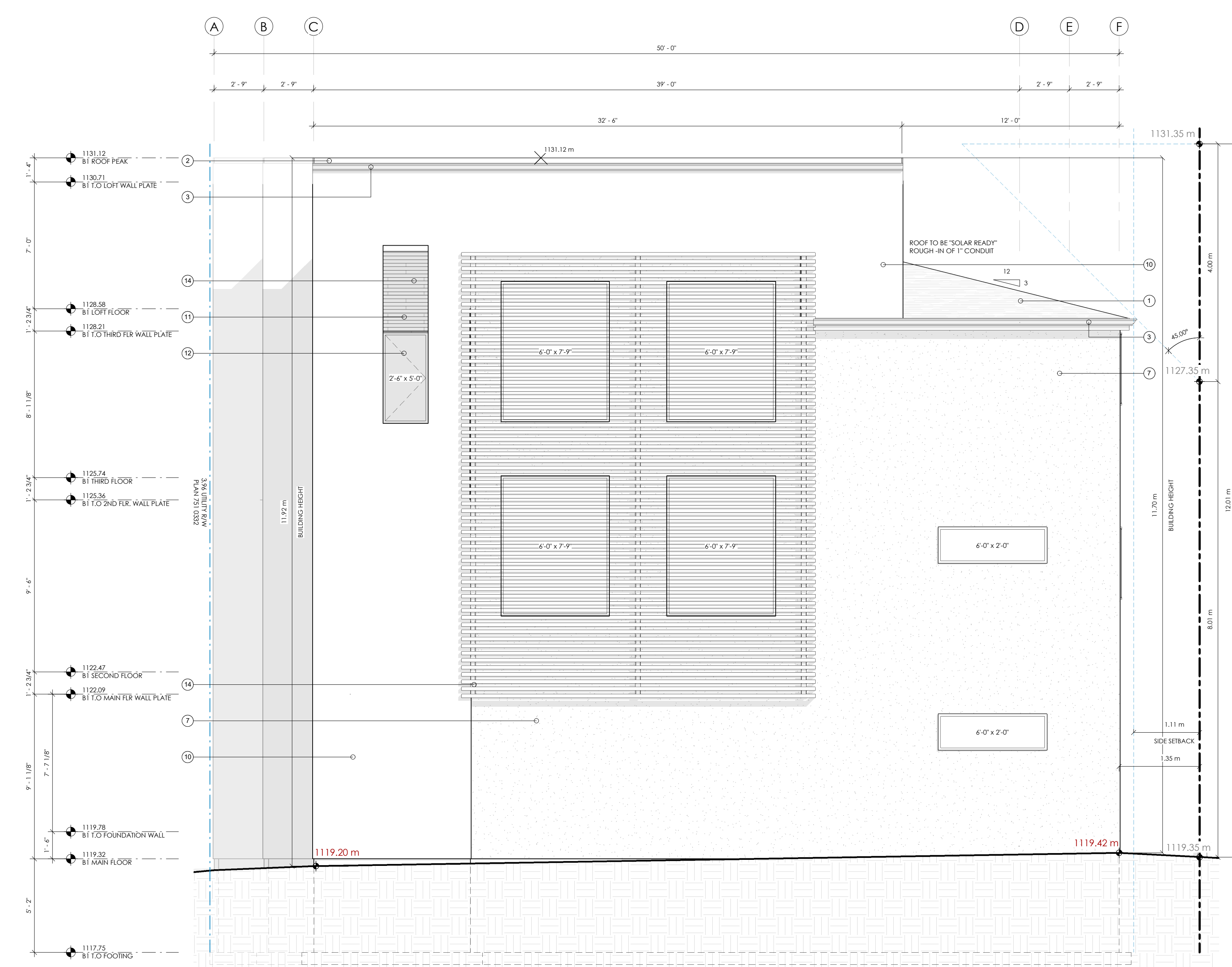
FLOOR AREAS

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UNIT 3	THIRD FLOOR	854 SF
UNIT 3	LOFT	58 SF
UNIT 3	UNIT 3 TOTAL	2256 SF
UNIT 4	MAIN FLOOR	521 SF
UNIT 4	SECOND FLOOR	824 SF
UNIT 4	THIRD FLOOR	851 SF
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UNIT 4	UNIT 4 TOTAL	2255 SF
UNIT 5	MAIN FLOOR	522 SF
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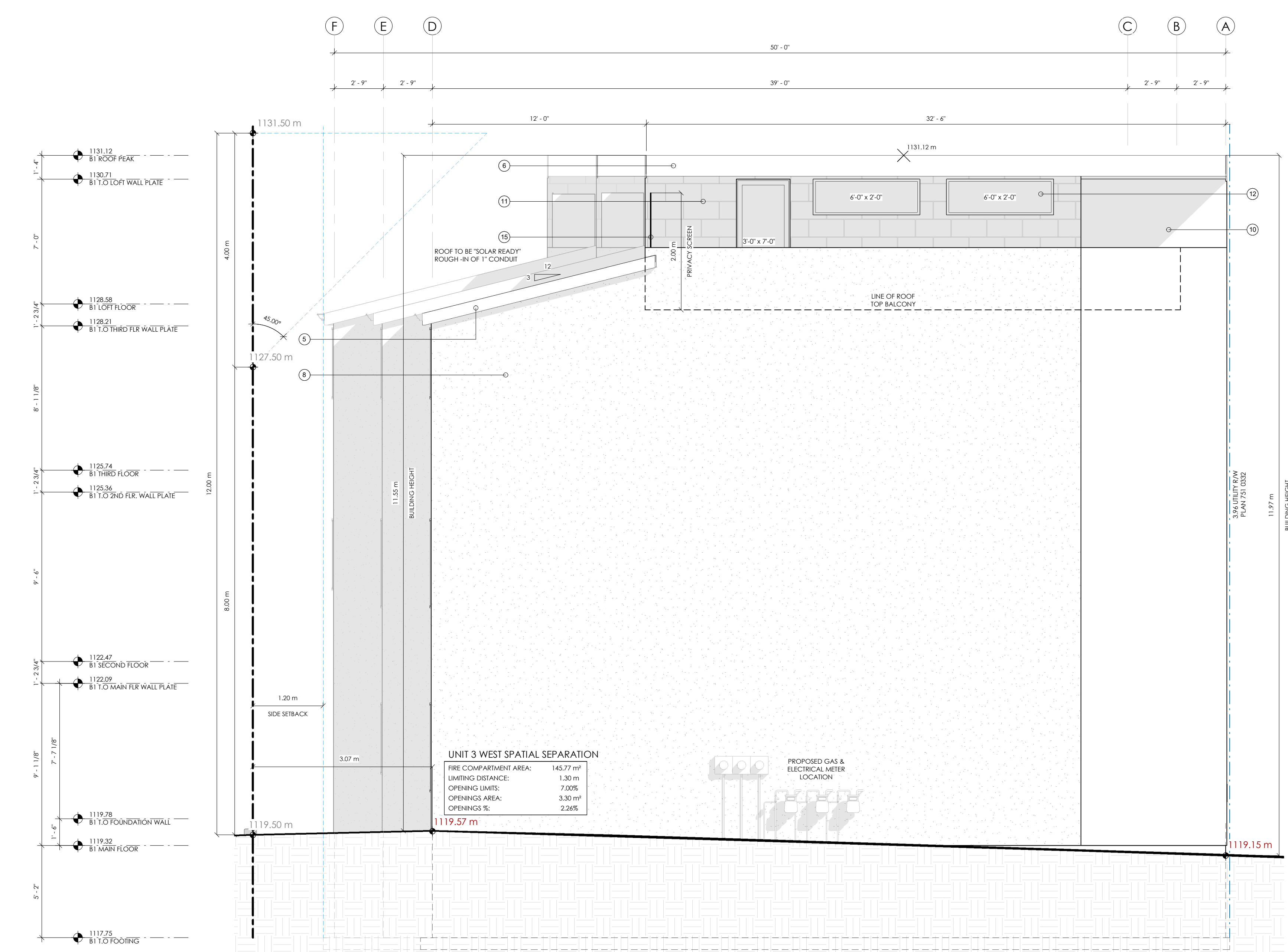
NOT FOR
CONSTRUCTION

SOUTH ELEVATION &
STREETSCAPE

DP-04



1 BUILDING 1 WEST ELEVATION
1/4" = 1'-0"



2 BUILDING 1 EAST ELEVATION
1/4" = 1'-0"

MATERIAL LEGEND

- 1 ASPHALT SHINGLES
- 2 EPDM FLAT ROOFING
- 3 ALUMINUM SOFFIT & RAINWARE
- 4 CEDAR SOFFIT
- 5 8" HARDIE TRIM FASCIA
- 6 14" HARDIE TRIM FASCIA - MATCH METAL PANEL
- 7 FLOAT FINISHED ACRYLIC STUCCO OVER CEMENTITIOUS BASE - GREY
- 8 FLOAT FINISHED ACRYLIC STUCCO OVER CEMENTITIOUS BASE - MATCH METAL PANEL COLOUR
- 9 BRICK VENEER, SELECTION T.B.D.
- 10 METAL PANEL MANUFACTURER T.B.D. - BLACK
- 11 LARGE FORMAT CONCRETE TILE, SELECTION T.B.D.
- 12 NEW TECH WOOD SCREEN WALL OR SIM.
- 13 PRECAST CONCRETE STEP, FINISH TO BE SELECTED
- 14 OPAQUE GLASS PRIVACY SCREEN
- 15 CONCRETE CONE TIE MONUMENT WALL



3 SOUTH ELEVATION
1/4" = 1'-0"