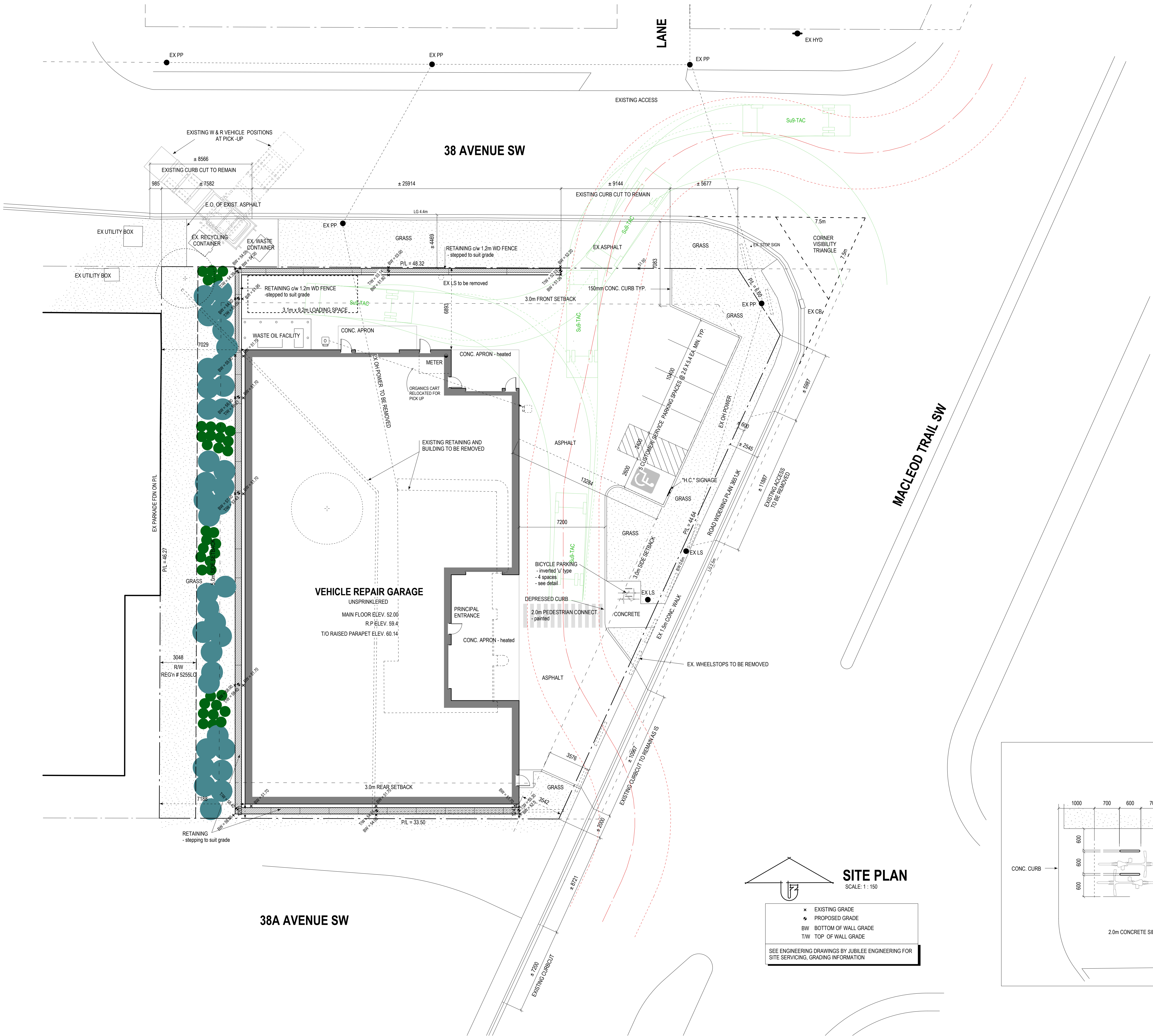
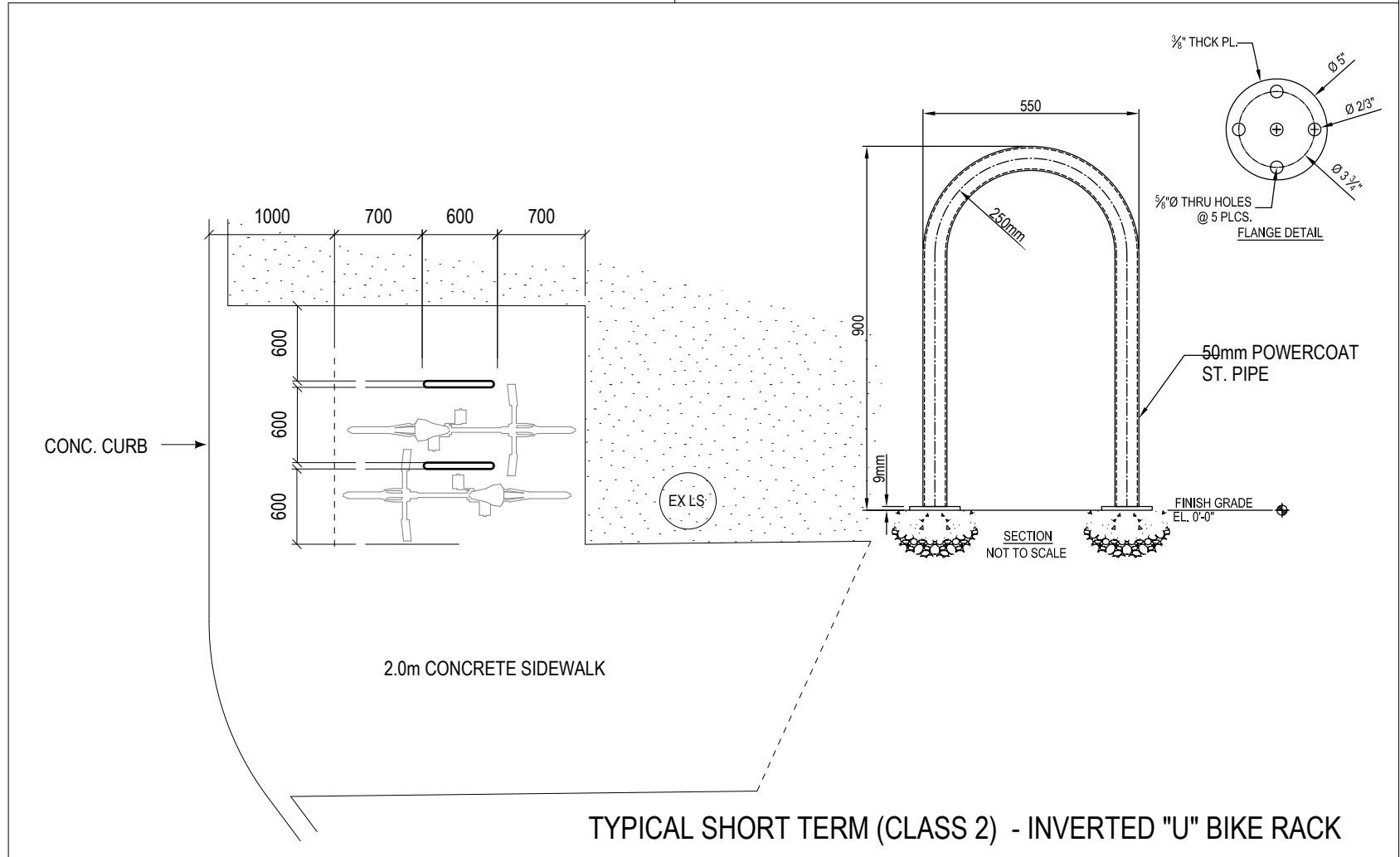
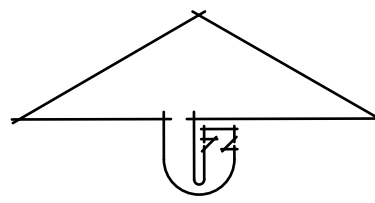




SITE INFORMATION
LEGAL DESCRIPTION: LOT 8-10 BLOCK 3 PLAN 5793U ADDRESS: 3901 MACLEOD TRAIL CALGARY, AB. LAND USE: C-COR23.0h30 SITE AREA: 2015.04 sq.m.
BUILDING AREAS: MAIN FLOOR: 797.02 sq.m. MEZZANINE: 159.67 sq.m. 956.69 sq.m.
F.A.R.: 0.47
PARKING
VEHICLE PARKING PROVIDED: 5 STAFF/SERVICE SPACES BICYCLE PARKING REQ'D: 1 class 2/250 sq.m. GFA 956.69 sq.m./250m2 = 4 SPACES
LANDSCAPING
LANDSCAPING IN SETBACKS NORTH SETBACK: 148 sq.m. REQ'D: 1 tree + 2 shrubs/35 sq.m. = 5 trees + 10 shrubs PROVIDED (IN WEST SETBACK): 16 shrubs EAST SETBACK: 144 sq.m. REQ'D: 1 tree + 2 shrubs/35.0 sq.m. = 5 trees + 10 shrubs PROVIDED (IN WEST SETBACK): 16 shrubs SOUTH SETBACK: 103 sq.m. REQ'D: 1 tree + 2 shrubs/35.0 sq.m. = 3 trees + 6 shrubs PROVIDED (IN WEST SETBACK): 12 shrubs WEST SETBACK: 232 sq.m. REQ'D: 1 tree + 2 shrubs/30.0 sq.m. = 8 trees + 16 shrubs PROVIDED (IN WEST SETBACK): 24 shrubs
PLANTING LEGEND
- DECIDUOUS SHRUBS - MIN. 600 ht/spread - Globe Caragana - CONIFEROUS SHRUBS - MIN. 600mm ht/spread - Savin Juniper - SHRUB BEDS: MIN. 2" LOOSE LAID RUNDLE STONE SHALE BED OVER WEED CONTROL MATT & STERILIZED SUBSOIL - SHRUB BEDS TO BE DESIGNED TO PROVIDE YEAR ROUND ENHANCEMENT, USING PLANTS TO LOCAL AREA ACCEPTABILITY.
GRASS/SOD - EXISTING AND PROPOSED - (DROUGHT RESISTANT MIX) EXISTING TREE TO BE REMOVED NOTE: ALL LANDSCAPED AREAS TO BE IRRIGATED W/ UNDERGROUND SYSTEM AND BOUNDED BY CONCRETE CURB. 600mm TOP SOIL REQUIRED FOR ALL SHRUB BEDS
WASTE & RECYCLING
EXISTING FACILITIES TO REMAIN AS IS
6.0m FIRE FIGHTING ACCESS ROUTE - 12.0m CENTRELINE RADIUS TYP. ACCESS ROUTE & ALL DRIVE AISLES TO RECEIVE HEAVY DUTY PAVING DESIGNED TO SUPPORT 38 556kg LOAD ACCESS ROUTE DESIGNED TO SUPPORT NFPA 1901 POINT LOAD OF 517 KPA (75 PSI) OVER A 24" X 24" AREA W/ CORRESPONDS TO TO THE OUTRIGGER PAD SIZE.





SITE PLAN
SCALE: 1:150

×

 EXISTING GRADE

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 PROPOSED GRADE

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 BOTTOM OF WALL GRADE

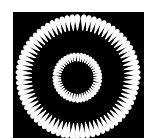
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 TOP OF WALL GRADE

SEE ENGINEERING DRAWINGS BY JUBILEE ENGINEERING FOR
SITE SERVICING, GRADING INFORMATION



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Seal:

Site Servicing:

Structural:

Mechanical:

Electrical:

VEHICLE REPAIR GARAGE
3901 MACLEOD TRAIL SW
Calgary, Alberta

Revisions:

Drawing Title:

Site Plan

JOB No.

24.205

DATE:

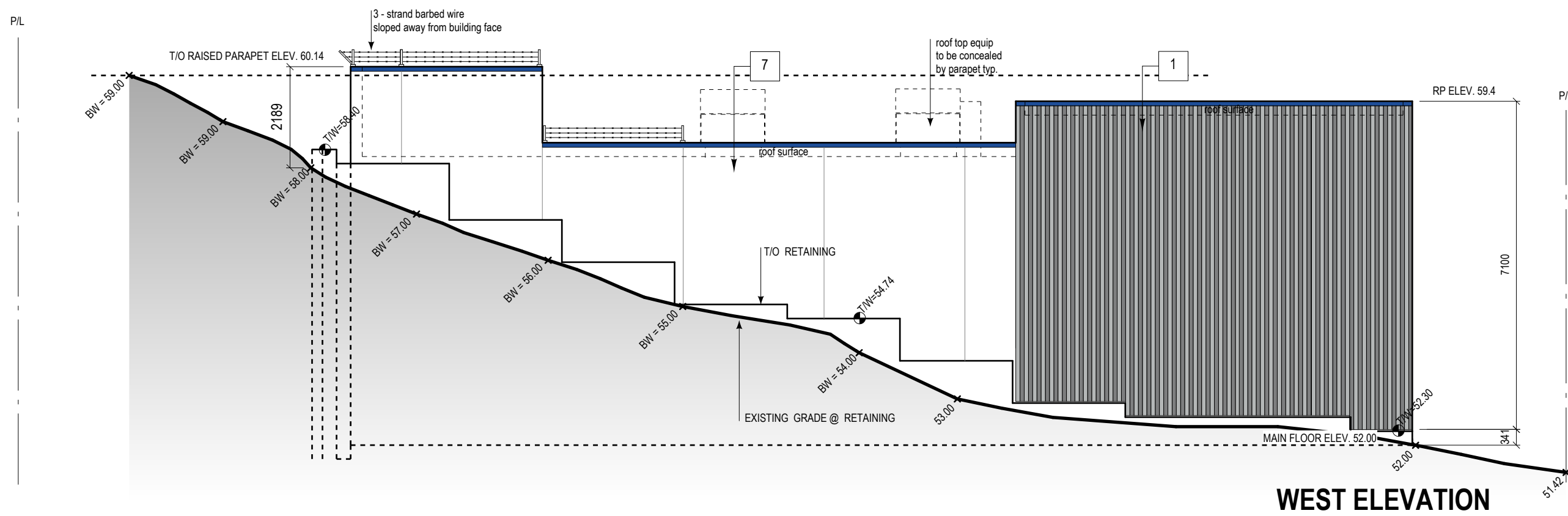
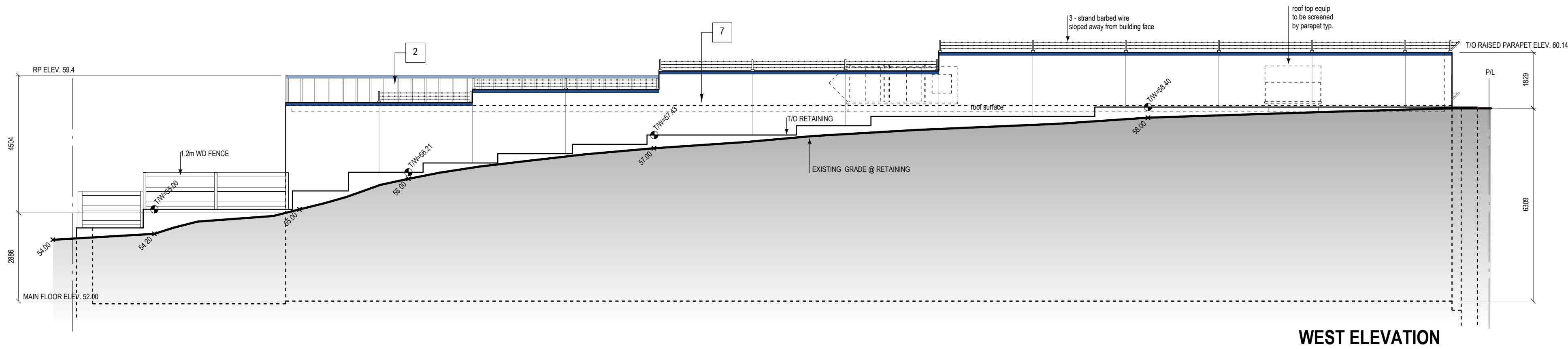
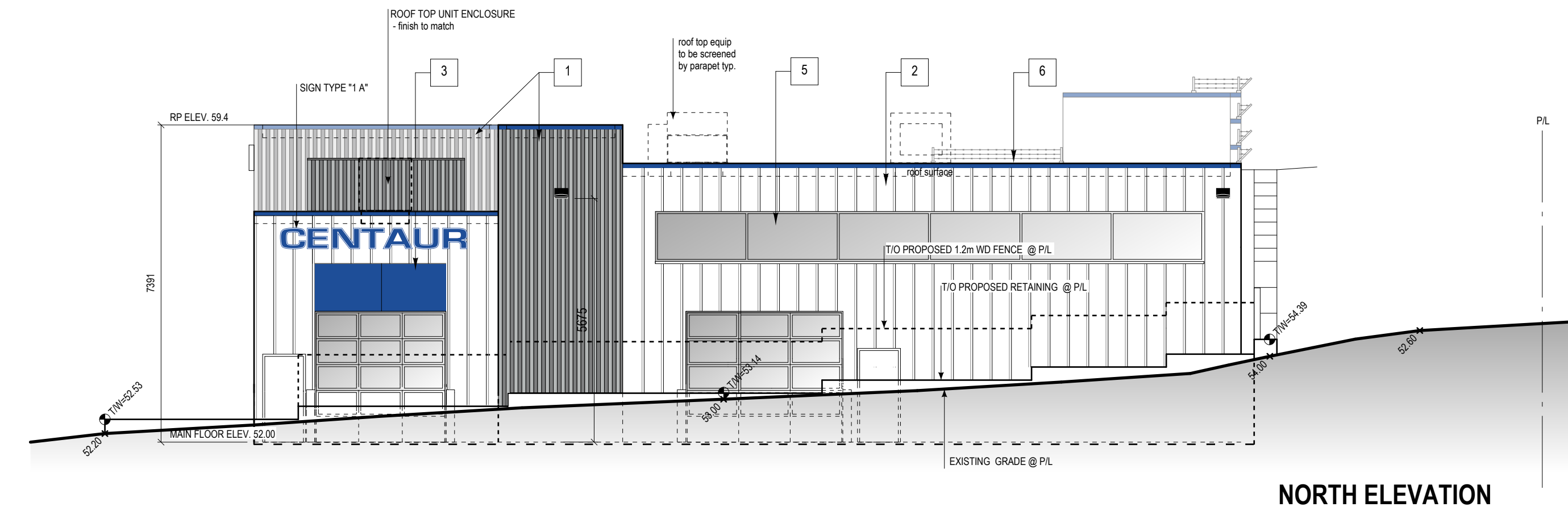
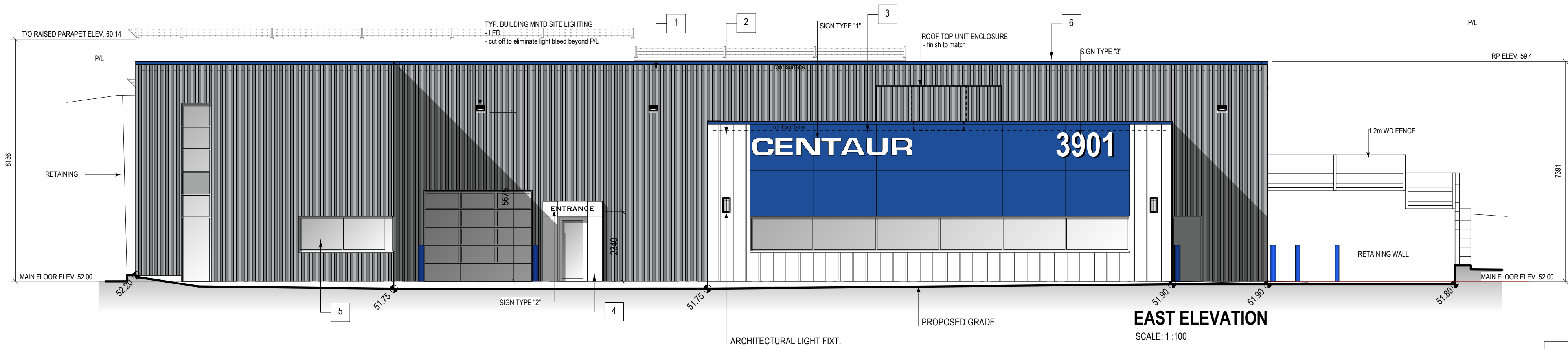
Oct 14/25

DRAWN:

MM

DP 1.0

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EXTERIOR FINISHES

1. PREFIN VERTICAL METAL CLADDING - 37mm x 79mm PROFILE - LT. GRAY
2. PREFIN VERTICAL METAL CLADDING - BOARD & BATTEN 340mm PROFILE - WHITE
3. ACM - SUBARU BLUE
4. ACM - WHITE
5. CLEAR GLAZING W/ CLEAR ANODIZED ALUM. FRAMES
6. PREFIN METAL FLASHING - SUBARU BLUE
7. PRECAST CONCRETE - PAINTED, WHITE

BUILDING MOUNTED SIGNAGE *

5400

800

CENTAUR

SIGN TYPE 1

- individual letters
- internally illuminated
- concealed mounting & power supply
- font to match existing dealership

1500

ENTRANCE

SIGN TYPE 2

- individual cut metal or acrylic lettering
- copperplate font

1900

900

3901

SIGN TYPE 3

- individual letters
- internally illuminated
- concealed mounting & power supply

* SIGNAGE SHOWN TO CONVEY LOCATION & DESIGN INTENT ONLY. TO BE REVIEWED/APPROVED UNDER SEPARATE APPLICATION BY SIGN SUPPLIER

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VEHICLE REPAIR GARAGE

3901 MACLEOD TRAIL SW
Calgary, Alberta

Revisions:

Drawing Title:

Elevations

JOB No. 24.205
DATE: Sept 24/25
DRAWN: MM

DP 3.0