

SETON MARKET STREET MULTI-FAMILY

DEVELOPMENT PERMIT APPLICATION 2025-08-15

S2ARCHITECTURE

CALGARY | EDMONTON | VANCOUVER

CONSULTANT INFORMATION



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Drawing List

DP0.00	COVER SHEET
DP0.01	SITE STATISTICS
DP0.02	SITE SURVEY
DP0.03	SITE PHOTOS
DP1.00	SITE PLAN
DP1.01	SITE DETAILS
DP1.02	WASTE AND RECYCLING
DP1.03	LOADING ACCESS PLANS
DP1.04	PARKADE RAMP DETAILS
DP1.05	BLOCK PLAN - PHASING PLAN
DP2.00	PARADE LEVEL 1 PLAN
DP2.01	LEVEL 1 PLAN
DP2.02	LEVEL 2 PLAN
DP2.03	LEVEL 3 PLAN
DP2.04	LEVEL 4 PLAN
DP2.05	LEVEL 5 PLAN
DP2.06	LEVEL 6 PLAN
DP2.07	ROOF PLAN
DP4.00	BUILDING ELEVATIONS
DP4.01	BUILDING ELEVATIONS
DP5.00	BUILDING SECTIONS
L110	LAYOUT PLAN
L130	PLANTING PLAN
L400	DETAILS PLAN
1	SITE SERVICING PLAN
2	SITE GRADING PLAN
3	SITE GRADING SECTIONS
E1.00	ELECTRICAL SITE PLAN

SETON MARKET STREET MULTI-FAMILY

4545 MARKET STREET SE, CALGARY, AB

CLIENT
CEDARGLEN LIVING

cedarglen
LIVING

NOTE

- This drawing supercedes previous issues. Do not scale these drawings.
- Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction.
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DRAWN BY KM

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PROJECT NO. 224149

DRAWING TITLE

COVER SHEET

DRAWING NO.

DP0.00

Design Team

CLIENT:	ARCHITECT:	LANDSCAPE ARCHITECT:	CIVIL:	ELECTRICAL:	MECHANICAL:
CEDARGLEN LIVING 100, 115 QUARRY PARK ROAD SE CALGARY AB T2C 5G9 PHONE: 403.255.0000	S2 ARCHITECTURE 6TH FLOOR, 220 - 12th AVENUE SW CALGARY, AB T2R 0E9 PHONE: 403.670.7000	NAK DESIGN STRATEGIES SUITE 310-438 11TH AVENUE SE CALGARY AB T2G 0Y4 PHONE: 403.261.1511	VERITAS DEVELOPMENT # 4, 141 - COMMERCIAL DRIVE NW CALGARY AB T3Z 2A7 PHONE: 587.393.5653	TLJ ENGINEERING # 301, 301 - 14th STREET NW CALGARY, AB T2N 2A1 PHONE: 403.289.8852	TLJ ENGINEERING # 301, 301 - 14th STREET NW CALGARY, AB T2N 2A1 PHONE: 403.289.8852

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SETON MARKET STREET MULTI-FAMILY

4545 MARKET STREET SE, CALGARY, AB

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CEDARGLEN LIVING

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PROJECT NO. 224149

DRAWING TITLE

SITE PHOTOS

DRAWING NO.

DPO.03



01



02



03



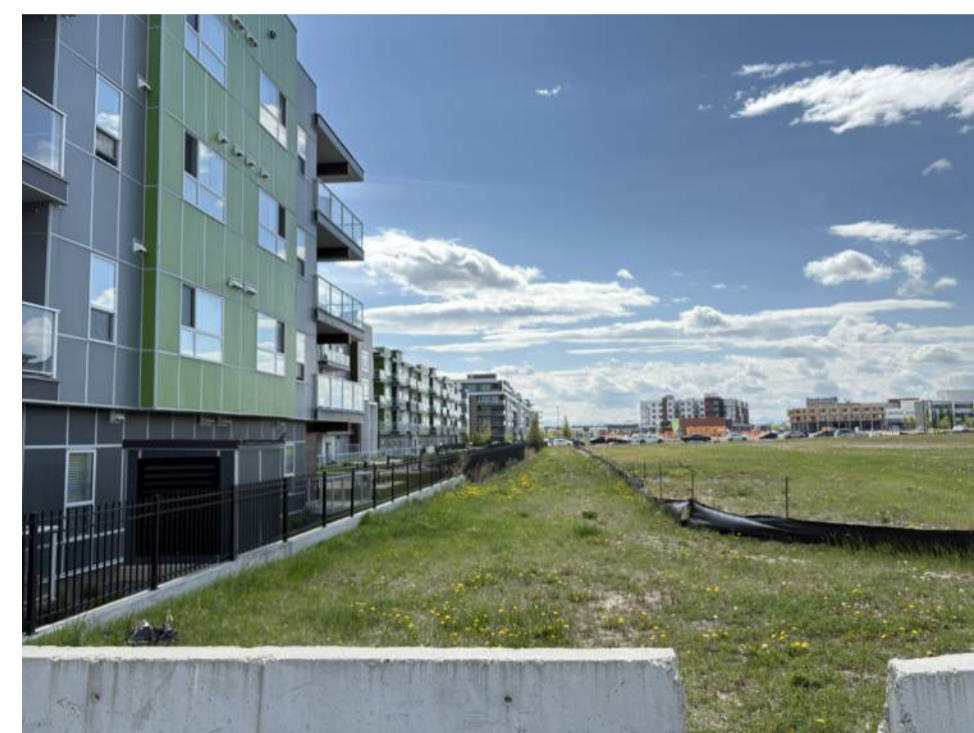
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05



06



07



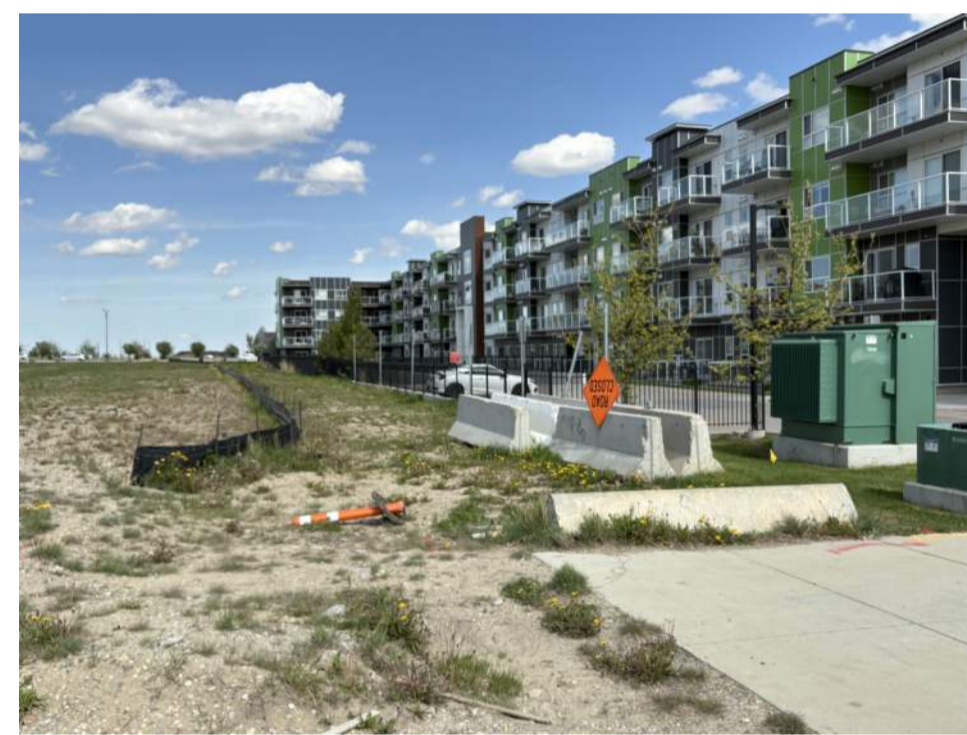
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09



10



11



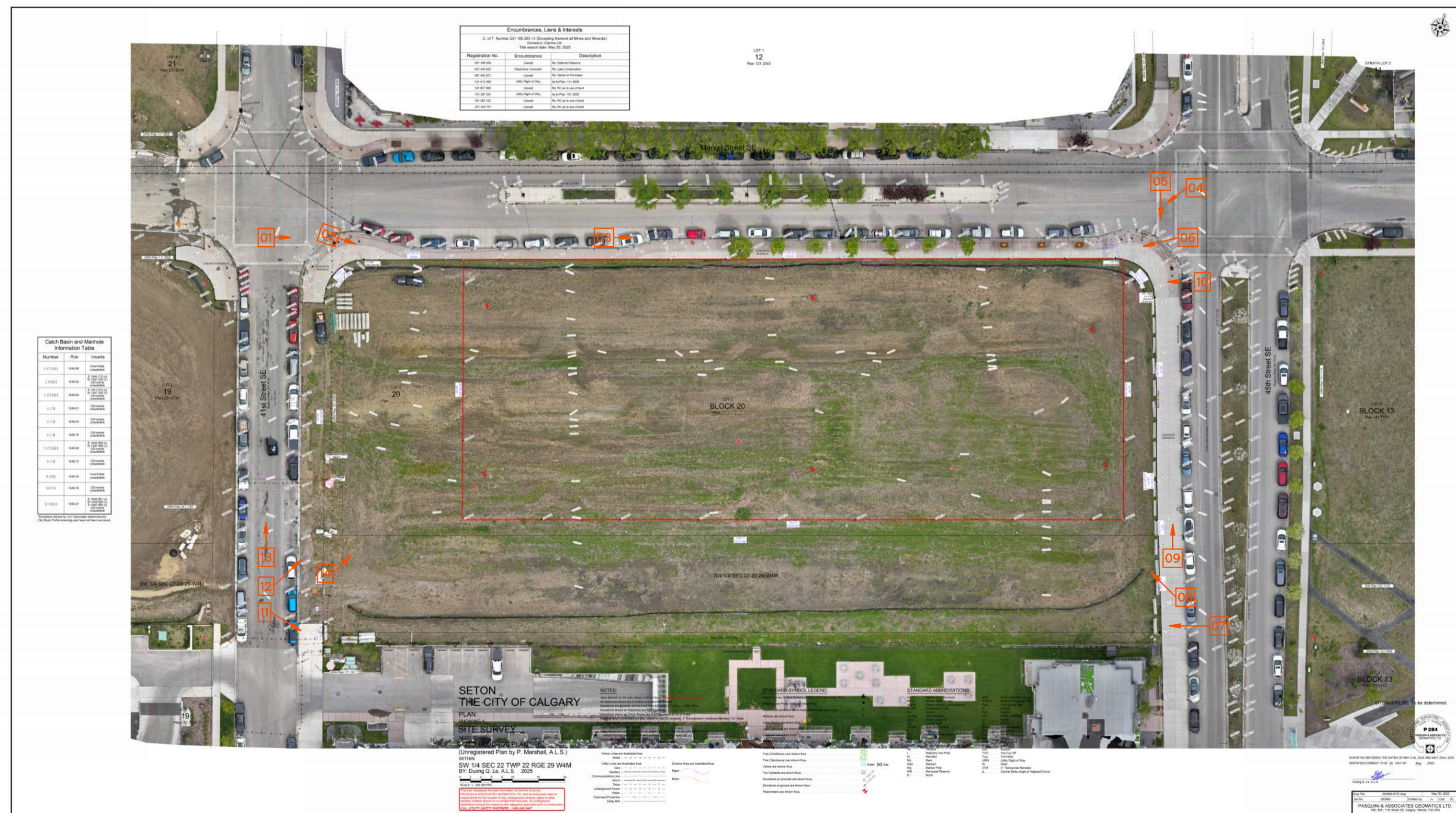
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13



14



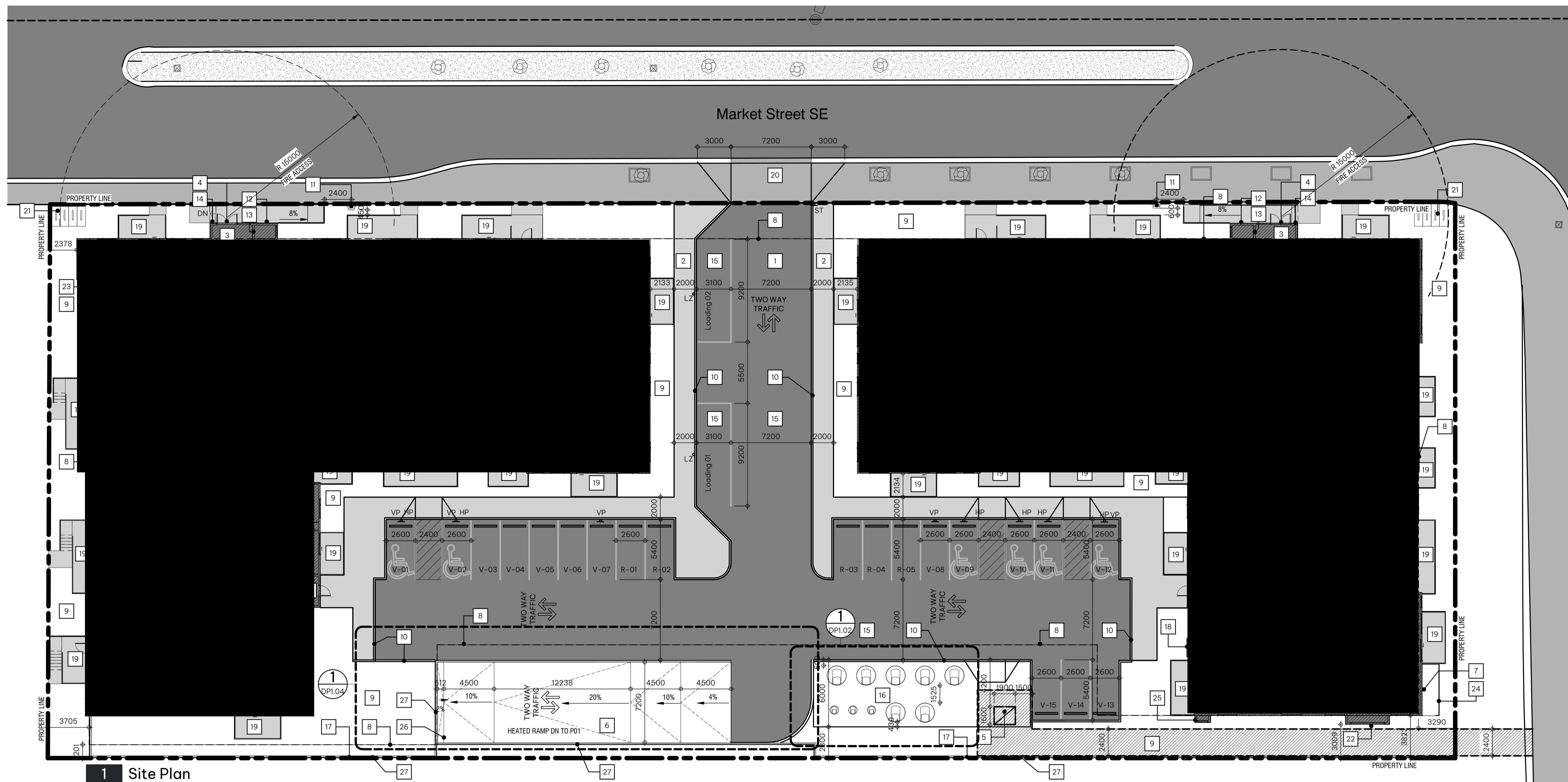
SETON MARKET STREET MULTI-FAMILY

4545 MARKET STREET SE, CALGARY, AB

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1 Site Plan

DPI.00 SCALE: 1:200

Site Plan - General Notes

1. REFER TO SITE SERVICING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2. REFER ALSO TO THE LANDSCAPE PLAN
3. ALL EXISTING FENCING TO BE REMOVED UNLESS OTHERWISE INDICATED
4. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
5. ALL AREAS NOT INDICATED AS PAVED/HARD SURFACING TO BE GRASSED

Site Plan - Code Legend

- | | | | |
|----|---|----|--|
| 1 | PROPOSED ASPHALT ACCESS LANEWAY TO SUPPORT MIN. 38,556kg | 19 | RESIDENTIAL PATIO |
| 2 | PROPOSED CONCRETE SIDEWALK - REFER TO LANDSCAPING | 20 | SITE ENTRANCE CURB CUT |
| 3 | PROPOSED ENTRANCE / EXIT | 21 | PROPOSED CLASS 02 BIKE PARKING - 15 STALLS |
| 4 | PROPOSED PRINCIPAL FIRE ENTRANCE | 22 | PARKADE EXHAUST |
| 5 | PROPOSED TRANSFORMER LOCATION | 23 | PARKADE MUA INTAKE |
| 6 | PARKADE RAMP - REFER TO DPI.04 | 24 | METAL SLAT MECHANICAL SCREENING |
| 7 | GAS METER | 25 | COMBUSTION / RELIEF AIR INTAKE |
| 8 | OUTLINE OF PARKADE BELOW | 26 | TRENCH DRAIN |
| 9 | PROPOSED SOFTSCAPE LANDSCAPING - REFER TO LANDSCAPING | 27 | ALUMINUM PICKET RAILING - BLACK |
| 10 | TYPICAL CURB - REFER TO 6/DPI.02 | | |
| 11 | STANDPIPE CONNECTION | | |
| 12 | FIRE ALARM STROBE LIGHT LOCATION | | |
| 13 | FIRE ALARM PANEL LOCATION | | |
| 14 | FIRE DEPARTMENT APPROVED LOCKBOX LOCATION | | |
| 15 | PROPOSED RESIDENTIAL LOADING STALL AND WASTE COLLECTION ROUTE TO SUPPORT 38,556kg | | |
| 16 | MOLOK WASTE AND RECYCLING LOCATION - REFER TO DETAILS 1/DPI.02 & 2/DPI.02 | | |
| 17 | RETAINING WALL - REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR DETAILS | | |
| 18 | MECHANICAL FLUE PIPE SHAFT | | |

Site Plan - Symbol Legend

- | | | | | | |
|--|--|--|--|--|---|
| | INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING | | INDICATES LOCATION OF EXISTING TRANSFORMER / PEDESTAL | | INDICATES 'EMERGENCY VEHICLE NO PARKING' POST MOUNTED SIGNAGE |
| | INDICATES EXTENT AND LOCATION OF CONCRETE SIDEWALK | | INDICATES LOCATION OF PROPOSED LIGHT STANDARD | | INDICATES 'HANDICAP PARKING SYMBOL' POLE MOUNTED SIGNAGE |
| | INDICATES EXTENT AND LOCATION OF HEAVY DUTY ASPHALT | | INDICATES LOCATION OF EXISTING LIGHT STANDARD | | INDICATES 'LOADING ZONE' POST MOUNTED SIGNAGE |
| | INDICATES EXTENT AND LOCATION OF PROPOSED UTILITY RIGHT OF WAY | | INDICATES LOCATION OF PROPOSED POWER POLE | | INDICATES 'NO PARKING' POST MOUNTED SIGNAGE |
| | INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY) | | INDICATES LOCATION OF EXISTING POWER POLE | | INDICATES 'STOP' POST MOUNTED SIGNAGE |
| | INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY) | | INDICATES LOCATION OF PROPOSED POWER POLE ANCHOR | | INDICATES 'VISITOR PARKING' POST MOUNTED SIGNAGE |
| | INDICATES LINE OF FENCE | | INDICATES LOCATION OF EXISTING POWER POLE ANCHOR | | INDICATES EXISTING GEODETIC SPOT ELEVATION |
| | INDICATES LOCATION OF PROPOSED CATCH BASIN | | INDICATES LOCATION OF PROPOSED LIGHT BOLLARD | | INDICATES PROPOSED GEODETIC SPOT ELEVATION |
| | INDICATES LOCATION OF EXISTING CATCH BASIN | | INDICATES LOCATION OF EXISTING LIGHT BOLLARD | | |
| | INDICATES LOCATION OF PROPOSED MANHOLE | | INDICATES LOCATION OF PROPOSED CAR PLUG POST | | |
| | INDICATES LOCATION OF EXISTING MANHOLE | | INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP | | |
| | INDICATES LOCATION OF PROPOSED FIRE HYDRANT | | INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE | | |
| | INDICATES LOCATION OF EXISTING FIRE HYDRANT | | INDICATES PARKING LINE PAINTED ON ASPHALT | | |
| | INDICATES LOCATION OF BUILDING SIAMESE CONNECTION | | INDICATES LOCATION OF PROPOSED GUARD BOLLARD | | |
| | INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL | | INDICATES LOCATION OF BIKE RACK | | |
| | | | INDICATES LOCATION OF PROPOSED FLAG POLE | | |

SEALS

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SCALE As indicated

DATE 8/15/2025 9:08:44 AM

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PROJECT NO. 224149

DRAWING TITLE

SITE PLAN

DRAWING NO.

DP1.00

SETON MARKET STREET MULTI-FAMILY

4545 MARKET STREET SE, CALGARY, AB

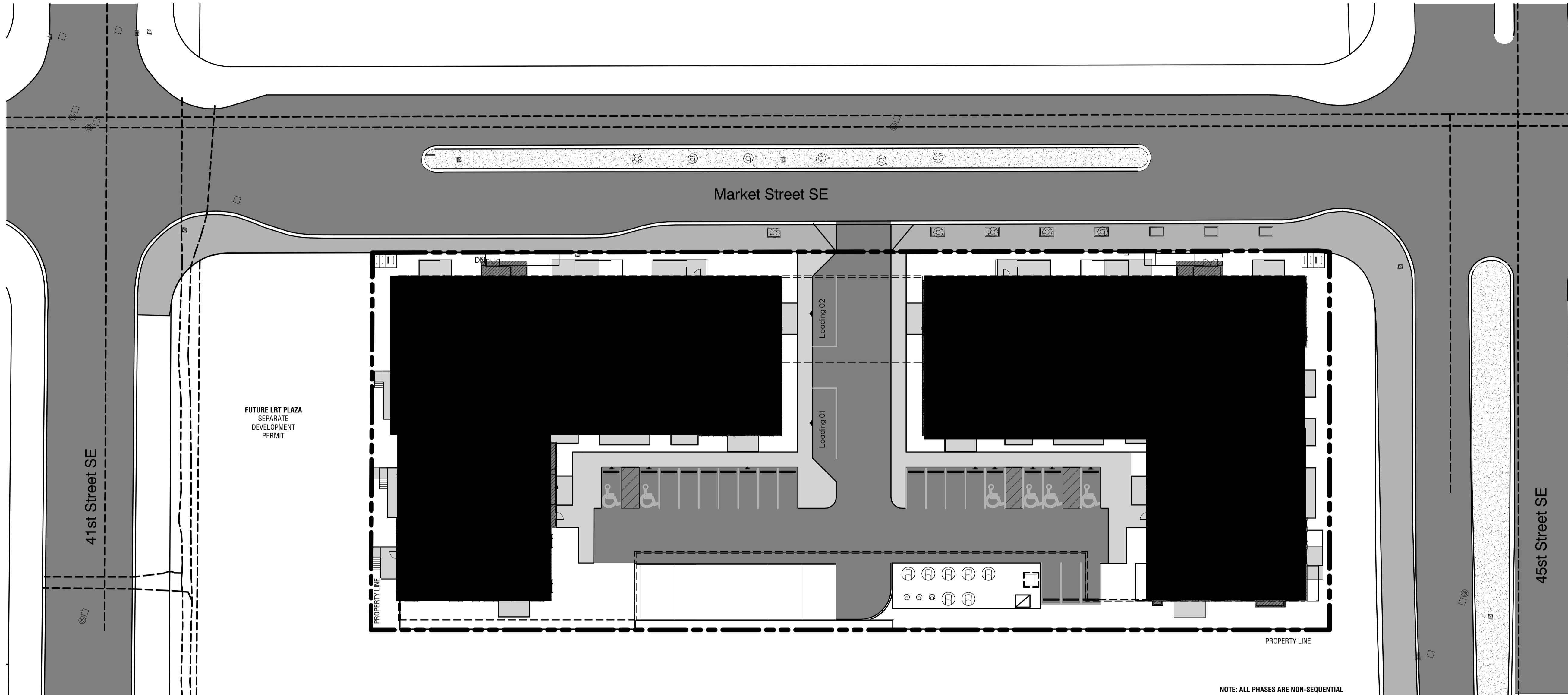
CLIENT
CEDARGLEN LIVING

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1 Block Plan - PHASING PLAN

DP1.05 SCALE: 1:300

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SCALE 1:300

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BLOCK PLAN - PHASING PLAN

DRAWING NO.

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1 North Elevation

DP4.00 SCALE: 1/16" = 1'-0"



2 South Elevation

DP4.00 SCALE: 1/16" = 1'-0"

Elevation - Material Legend

- | | |
|----|---|
| 1 | MASONRY CLADDING - COLOUR: CHARCOAL |
| 2 | FIBRE CEMENT LAP SIDING AND TRIM - COLOUR: CEDAR |
| 3 | FIBRE CEMENT PANEL AND TRIM - COLOUR: JH RICH ESPRESSO |
| 4 | PVC WINDOW WITH CLEAR GLAZING - COLOUR: BLACK |
| 5 | PVC FIXED WINDOW WITH CLEAR GLAZING - COLOUR: BLACK |
| 6 | ALUMINUM MAIN ENTRANCE DOOR WITH CLEAR GLAZING - BLACK FRAME |
| 7 | PARAPET CAP - COLOUR: BLACK |
| 8 | INSULATED METAL DOOR WITH CLEAR GLAZING IN PRESSED STEEL FRAME - COLOUR: DARK BROWN |
| 9 | ALUMINUM GUARDRAIL WITH CLEAR GLAZING - COLOUR: BLACK |
| 10 | ENTRANCE CANOPY |
| 11 | ALUMINUM PICKET RAILING - BLACK |
| 12 | ALUMINUM SOFFT - COLOUR: BLACK |
| 13 | ALUMINUM SLIDING DOOR WITH CLEAR GLAZING - COLOUR: BLACK |
| 14 | MECHANICAL SCREENING |
| 15 | RETAINING WALL - REFER LANDSCAPE DRAWINGS |
| 16 | MECHANICAL LOUVER |
| 17 | INSULATED FIBERGLASS DOOR WITH CLEAR GLAZING IN WOOD FRAME - COLOUR: DARK BROWN |

Elevation - General Notes

1. ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE BLACK
2. ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

SEALS

NOT FOR CONSTRUCTION

SCALE As indicated

DATE 8/18/2025 12:17:15 PM

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PROJECT NO. 224149

DRAWING TITLE

BUILDING ELEVATIONS

DRAWING NO.

DP4.00

SETON MARKET STREET MULTI-FAMILY

4545 MARKET STREET SE, CALGARY, AB

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CEDARGLEN LIVING

NOTE

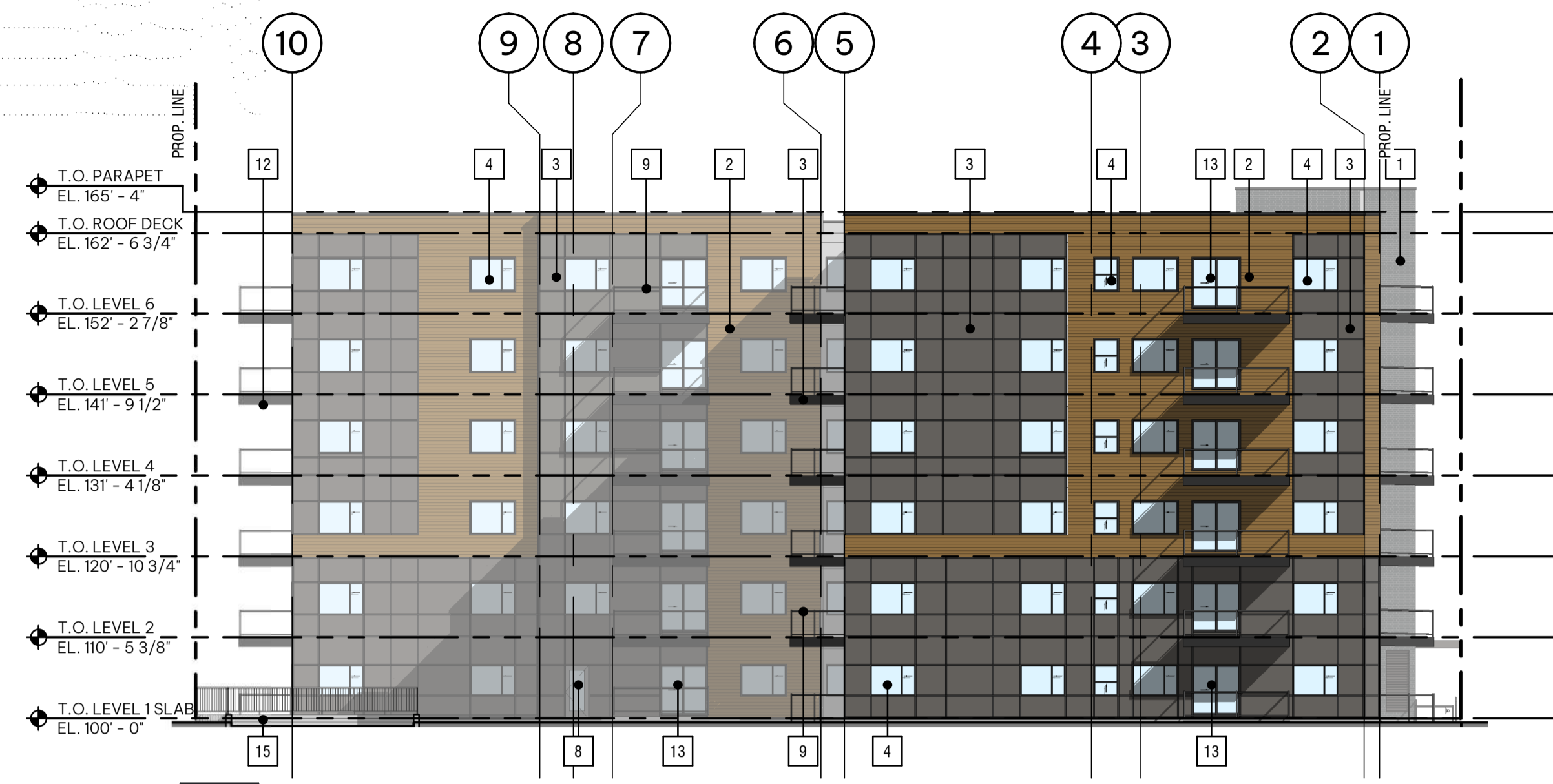
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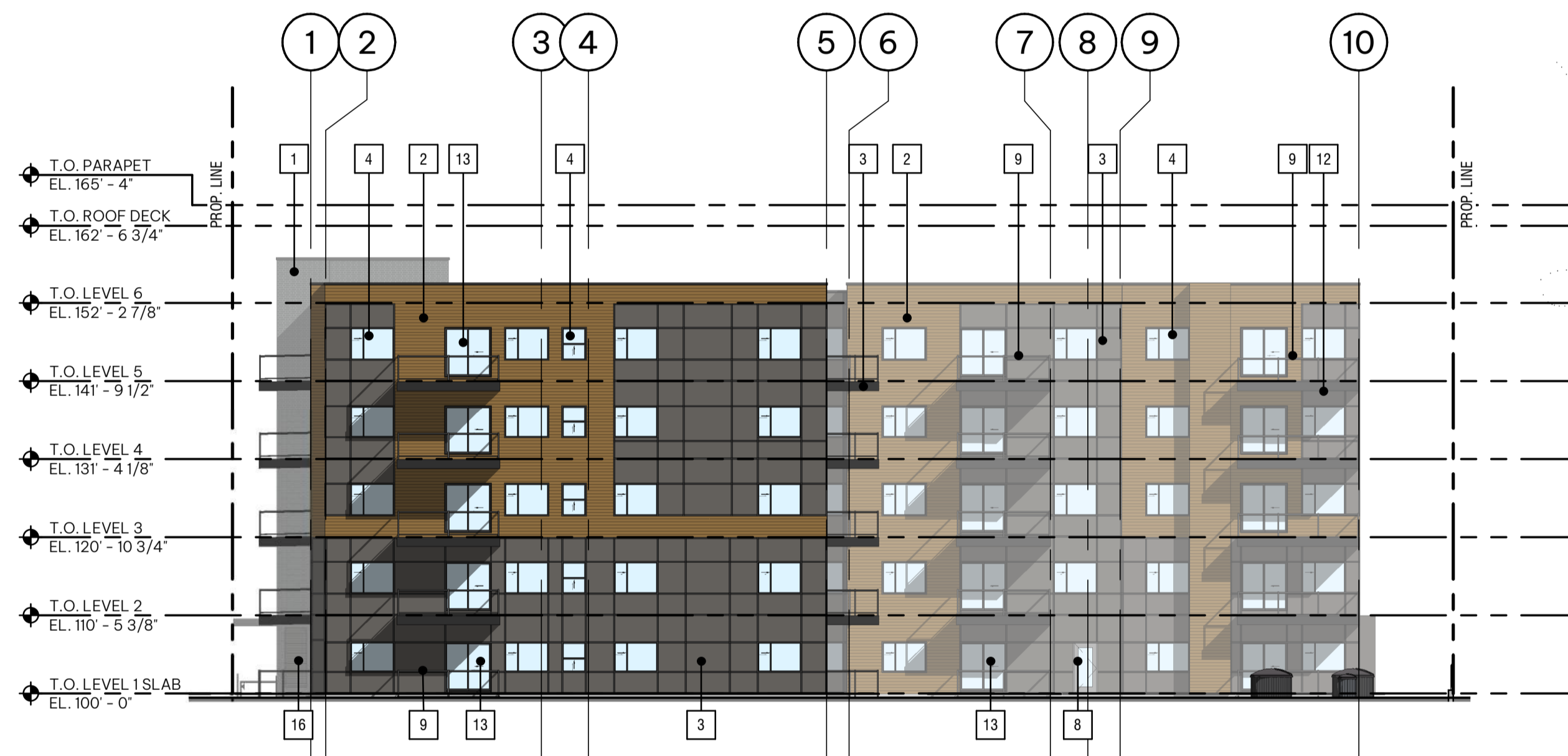
1 Building A West Elevation

DP4.01 SCALE: 1/16" = 1'-0"



2 Building A East Elevation

DP4.01 SCALE: 1/16" = 1'-0"



3 Building B West Elevation

DP4.01 SCALE: 1/16" = 1'-0"



4 Building B East Elevation

DP4.01 SCALE: 1/16" = 1'-0"

Elevation - Material Legend	
1	MASONRY CLADDING - COLOUR: CHARCOAL
2	FIBRE CEMENT LAP SIDING AND TRIM - COLOUR: CEDAR
3	FIBRE CEMENT PANEL AND TRIM - COLOUR: JH RICH ESPRESSO
4	PVC WINDOW WITH CLEAR GLAZING - COLOUR: BLACK
5	PVC FIXED WINDOW WITH CLEAR GLAZING - COLOUR: BLACK
6	ALUMINUM MAIN ENTRANCE DOOR WITH CLEAR GLAZING - BLACK FRAME
7	PARAPET CAP - COLOUR: BLACK
8	INSULATED METAL DOOR WITH CLEAR GLAZING IN PRESSED STEEL FRAME - COLOUR: DARK BROWN
9	ALUMINUM GUARDRAIL WITH CLEAR GLAZING - COLOUR: BLACK
10	ENTRANCE CANOPY
11	ALUMINUM PICKET RAILING - BLACK
12	ALUMINUM SOFFT - COLOUR: BLACK
13	ALUMINUM SLIDING DOOR WITH CLEAR GLAZING - COLOUR: BLACK
14	MECHANICAL SCREENING
15	RETAINING WALL - REFER LANDSCAPE DRAWINGS
16	MECHANICAL LOUVER
17	INSULATED FIBERGLASS DOOR WITH CLEAR GLAZING IN WOOD FRAME - COLOUR: DARK BROWN

Elevation - General Notes	
1.	ALL ALUMINUM SOFFT, EAVES & RAINWATER LEADERS TO BE BLACK
2.	ALL PRE-FINISHED METAL FLASHING TO MATCH ADJACENT FINISH

SEALS

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DRAWING TITLE

BUILDING ELEVATIONS

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DP4.01