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NORR Architects Engineers Planners
A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
Adrian Todella, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

AMENDED DRAWINGS
DP No Date Received
DP2025-05095 06 17 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

WESTBROOK MULTI

3308/3312/3316/3320 - 14TH AVENUE S.W.
1445 - 32ND STREET S.W. CALGARY, ALBERTA

DEVELOPMENT PERMIT:DEVELOPMENT PERMIT NO. 2025-05095
NORR PROJECT NUMBER:RZ1125-0089



ISSUED FOR DR 2 RESPONSE - 22 APRIL, 2026

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
VISTA GEOMATICS LTD. BAY 1, 2135 32ND AVE NE CALGARY, ALBERTA, T2E 6Z3 403 270 4048	JUBILEE ENGINEERING CONSULTANTS 3702 EDMONTON TRAIL NE CALGARY, ALBERTA, T2E 3P4 403 276 1001	NORR ARCHITECTS ENGINEERS PLANNERS #2300, 411 1 ST SE CALGARY, ALBERTA, T2G 4Y5 403 264 4000	WOLSEY STRUCTURAL ENGINEERING #200, 1302 4 ST SW CALGARY, ALBERTA, T2R 0X8 403 452 4711
MECHANICAL	ELECTRICAL	INTERIORS	LANDSCAPE
TLJ ENGINEERING 301, 301 14TH ST NW CALGARY, ALBERTA, T2N 2A1 825 609 6848	TLJ ENGINEERING 301, 301 14TH ST NW CALGARY, ALBERTA, T2N 2A1 825 609 6848	- ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	GROUND CUBED LANDSCAPE ARCHITECTS #25, 6020 2 STREET SE CALGARY, ALBERTA, T2H 2L8 403 475 0719

LAND USE DISTRICT	PROP (MU-1)4.0 h28m	Proposed Mixed Use General District
LEGAL DESCRIPTION	PLAN 8594 GD	BLOCK 4 LOT 20
MUNICIPAL ADDRESS	14 AVENUE SW, CALGARY, AB	
COMMUNITY	WESTBROOK	
SITE AREA	2,619.4 SM	28,195.2 SF 0.65 AC 0.26 HA

Development Statistics

PROPOSED USE	Library & Residential, 1 Building, 104 Units, MU-1		
FAR			
Maximum	4.00	10,477.7 SM	
Proposed	3.70	9,692.3 SM	
DENSITY	REQUIRED	PROPOSED	
Maximum	N/A	397 units/hectare	
Proposed			
SITE COVERAGE	REQUIRED	PROPOSED	
	N/A	36.6%	
LANDSCAPE COVERAGE	REQUIRED	PROPOSED	
	N/A	33.8%	
AMENITY AREA	REQUIRED	PROPOSED	
Required per Unit	5.0 SM	53.8 SF	
Total Required	520.0 SM	5,597.2 SF	
Private (Balcony/Patio)		713.18 SM	7,676.6 SF
Indoor Amenity Area		99.63 SM	1,072.4 SF
Kids Playroom		73.47 SM	
Fitness Center		119.35 SM	1,284.7 SF
Rooftop Amenity Area		200.50 SM	2,158.2 SF
Total	520	5,597.228	12,056.13 12,982.66271

BUILDING SETBACKS	REQUIRED	PROPOSED	
Street West	0.0 M	0.6 M	
Street South	0.0 M	1.0 M	
Street East	0.0 M	0.6 M	
Lane (Adjacent Parcel Setback)	7.5 M	7.5 M	
BUILDING HEIGHT			

Vehicle Parking Provided

	TYPE	REQUIREMENT	COUNT	REQUIRED STALLS	PROVIDED STALLS
OVERALL			104	89	165
Resident	STUDIO	0.75 stalls/unit	0	0.00	
	1BED	0.75 stalls/unit	45	33.75	
	1BED+DEN	0.75 stalls/unit	0	0.00	
	2BED	0.75 stalls/unit	59	44.25	115
	2BED+DEN	0.75 stalls/unit	0	0.00	
	3BED	0.75 stalls/unit	0	0.00	
Visitor		0.10 stalls/unit		11.00	11
Library		0.04 stalls/SM		39.00	39
Total Stalls				89	165
Deficiency					
Surplus					76
Barrier Free Parking required		1 BF stall per 25 for first...		100	4
		1 BF stall per additional 100		65	1
TOTAL BF STALLS REQUIRED					5

Vehicle Parking Supply

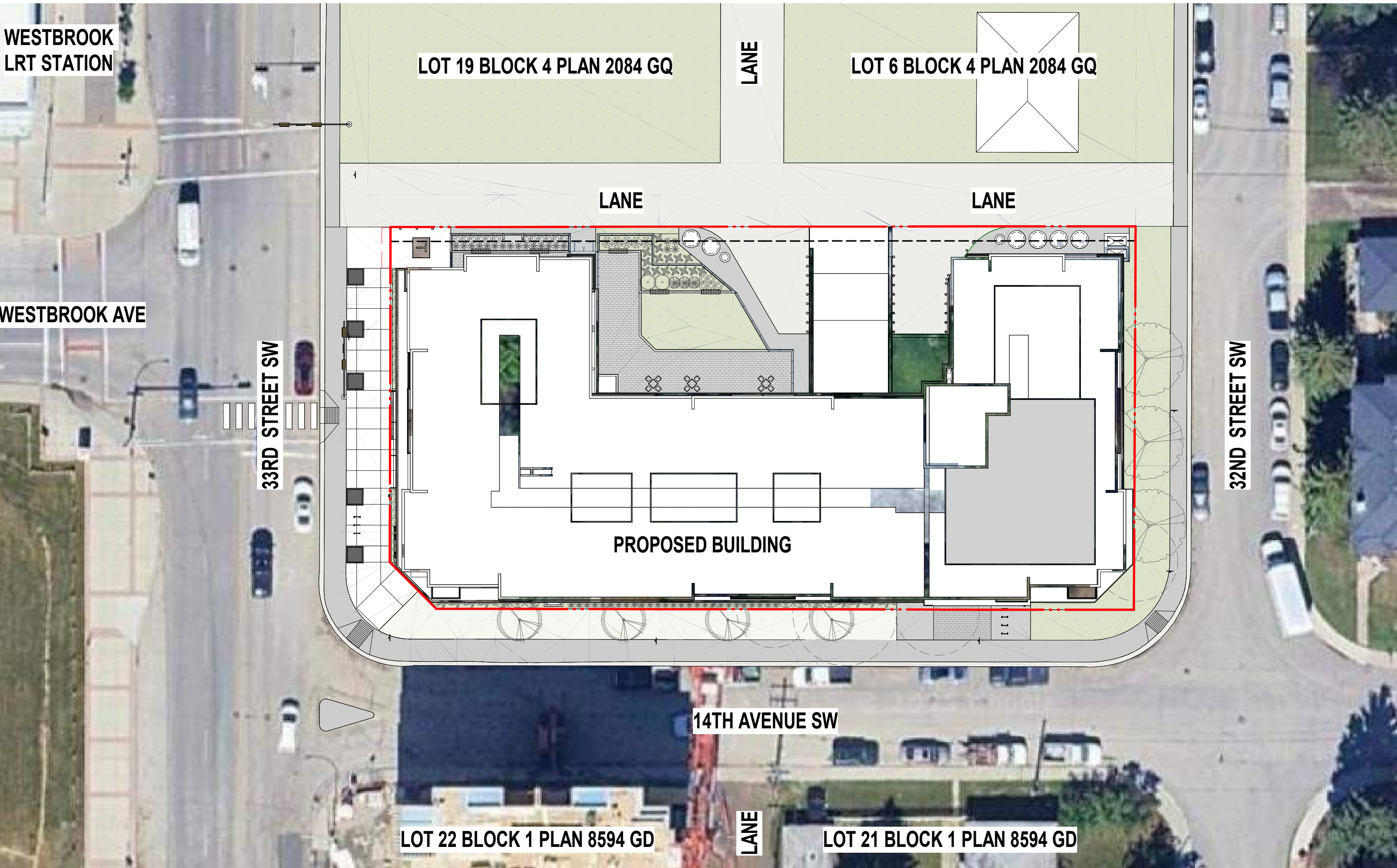
			165
	AREA	EFFICIENCY	
Surface			0
Level P1	2,200.57 SM	51.18 SM/stall	43
Level P2	2,452.68 SM	35.04 SM/stall	70
Level P3	1,793.95 SM	34.50 SM/stall	52
OVERALL TOTAL PARKING SUPPLY			165

Bicycle Parking

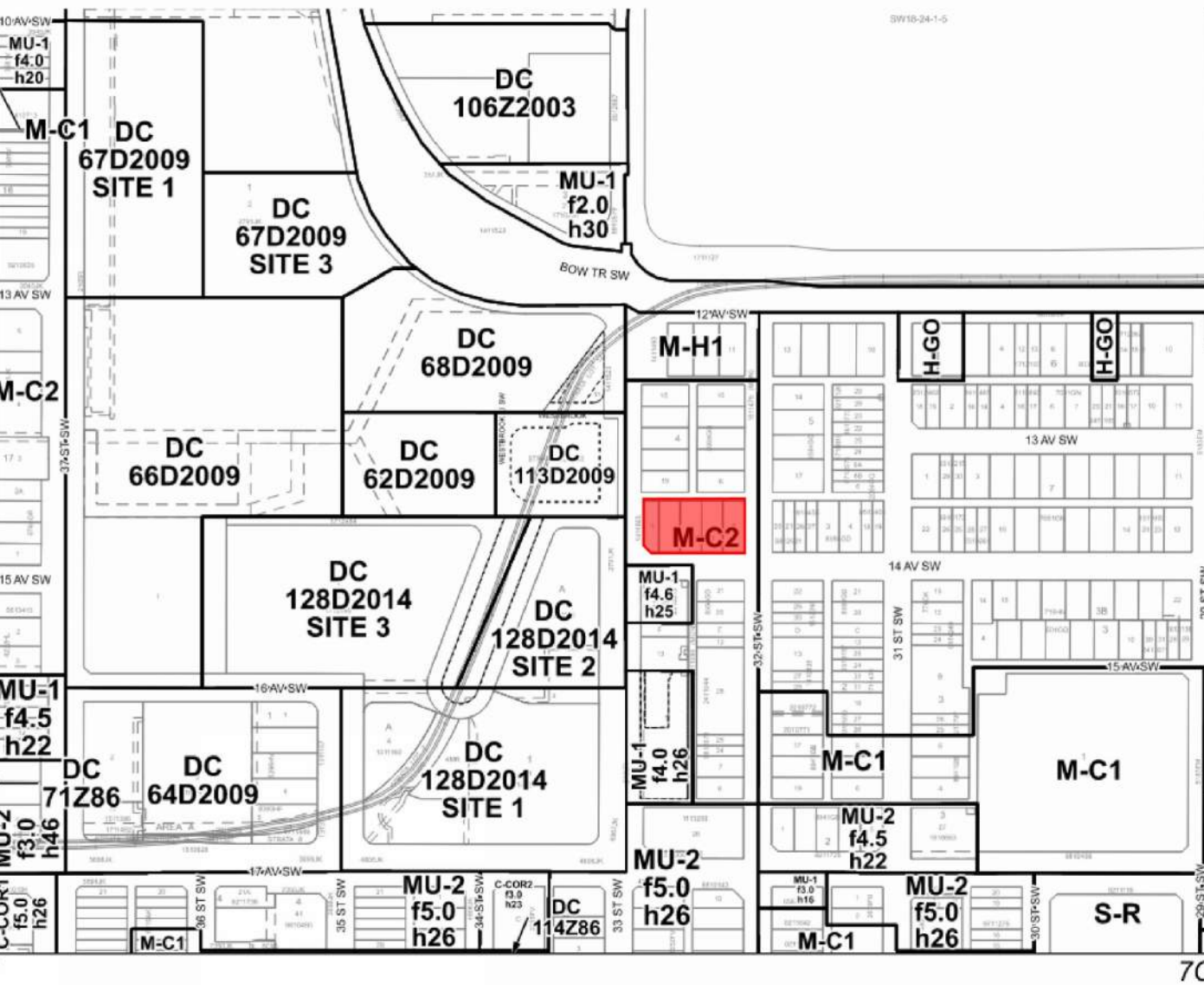
TYPE	REQUIREMENT	REQUIRED	PROVIDED
		STALLS	STALLS
Residential		63	64
Class 1	0.50 stalls/unit	52	52
Class 2	0.10 stalls/unit	11	12
Library			
Class 1	N/A		
Class 2	0.005 stalls/SM	5	6
Total Bike Stalls		63	64

Building Areas

LEVEL	GROSS FLOOR AREA		RENTABLE AREA		EFFICIENCY	UNIT COUNT							
	SM	SF	SM	SF	%	STUDIO	1BED	1BED+DEN	2BED	2BED+DEN	3BED	TOTAL	
Level 1 (Library)	958.96 SM	10,322.16				0	0	0	0	0	0	0	
Level 1 (Residential)	515.43 SM	5,548.04					0	0	0	0	0	0	
Level 1 (Common)	71.75 SM	772.31				0	0	0	0	0	0	0	
Level 2	1,625.90 SM	17,501.04	1,298.65	13,978.55	79.87%	0	9	0	11	0	0	20	
Level 3	1,630.06 SM	17,545.82	1,375.42	14,804.90	84.38%	0	9	0	12	0	0	21	
Level 4	1,630.06 SM	17,545.82	1,375.42	14,804.90	84.38%	0	9	0	12	0	0	21	
Level 5	1,630.06 SM	17,545.82	1,375.42	14,804.90	84.38%	0	9	0	12	0	0	21	
Level 6	1,630.06 SM	17,545.82	1,375.42	14,804.90	84.38%	0	9	0	12	0	0	21	
OVERALL TOTAL	9,692.28 SM	104,327.5F	6,890.3 SM	73,198.5F	70.16%	0	45	0	59	0	0	104	
						0.00%	43.27%	0.00%	56.73%	0.00%	0.00%	100.00%	



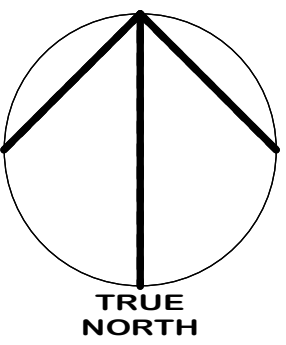
1 SITE CONTEXT PLAN
 DP10-01 SCALE: 1 : 300



2 SITE LAND USE MAP
 DP10-01 SCALE: 1 : 5000



3 SITE VICINITY PLAN
 DP10-01 SCALE: 1 : 5000



ARCHITECTURE SHEET LIST

SHEET NUMBER	TITLE
DP00-00	COVER SHEET
DP10-01	SITE STATISTICS AND VICINITY PLAN
DP10-02	OVERALL SITE PLAN
DP10-03	LOADING VEHICLE SWEEP PATH, W&R DETAILS
DP10-04	BIKE DETAILS
DP10-05	3D RENDERINGS MATERIALS & FINISHES
DP20-01	LEVEL P3 PARKADE PLAN
DP20-02	LEVEL P2 PARKADE PLAN
DP20-03	LEVEL P1 PARKADE PLAN
DP20-04	LEVEL 1 FLOOR PLAN
DP20-05	LEVEL 2 FLOOR PLAN
DP20-06	LEVEL 3 TO 6 TYPICAL FLOOR PLAN
DP20-07	ROOF PLAN
DP40-01	BUILDING EXTERIOR ELEVATIONS
DP40-02	BUILDING EXTERIOR ELEVATIONS
DP40-03	BUILDING EXTERIOR ELEVATIONS
DP40-04	BUILDING EXTERIOR ELEVATIONS
DP43-01	BUILDING SECTIONS
DP43-02	BUILDING SECTIONS
DP43-03	BUILDING SECTIONS
DP43-04	RAMP PLAN & SECTION
DP63-01	UNIT PLANS
DP63-02	UNIT PLANS
DP63-03	UNIT PLANS

CIVIL

SP 1	SITE SERVICING PLAN
SP 2	SITE GRADING PLAN
SP 3	SECTION AND DETAILS

LANDSCAPE

DP-L1	BYLAW AND TREE REMOVAL PLAN
DP-L2	LANDSCAPE PLAN
DP-L3	SECTION AND FURNITURE

ELECTRICAL

E01-00-01	ELECTRICAL SITE LIGHTING PLAN
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DATE	ISSUED FOR	REV
2025-08-29	DEVELOPMENT PERMIT	A
2026-01-30	DEVELOPMENT PERMIT-DR1	B
2026-04-22	DEVELOPMENT PERMIT-DR2	C



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Project Component
 DEVELOPMENT PERMIT

Key Plan

Consultants
 Survey: VISTA GEOMATICS LTD.
 Civil: JUBILEE ENGINEERING CONSULTANTS
 Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
 Structural: WOLSEY STRUCTURAL ENGINEERING
 Mechanical: TLJ ENGINEERING
 Electrical: TLJ ENGINEERING
 Interiors: TLJ ENGINEERING
 Landscape: GROUND CUBED LANDSCAPE ARCHITECTS

Seal(s)

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 Adrian Todor, P.Eng., APECA
 China Wu, P.Eng., APECA

Project Manager	Drawn
T.JAIN	S.KARVETI / M.SALAS
Project Leader	Checked
M.SALAS	Checker

Client

TRUMAN

#2236, 10 ASPEN STONE BOULEVARD SE CALGARY, ALBERTA

Project
 WESTBROOK MULTI

3308/3312/3316/3320 - 14TH AVENUE S.W.
 1445 - 32ND STREET S.W. CALGARY, ALBERTA

Drawing Title
 SITE STATISTICS AND VICINITY PLAN

Scale

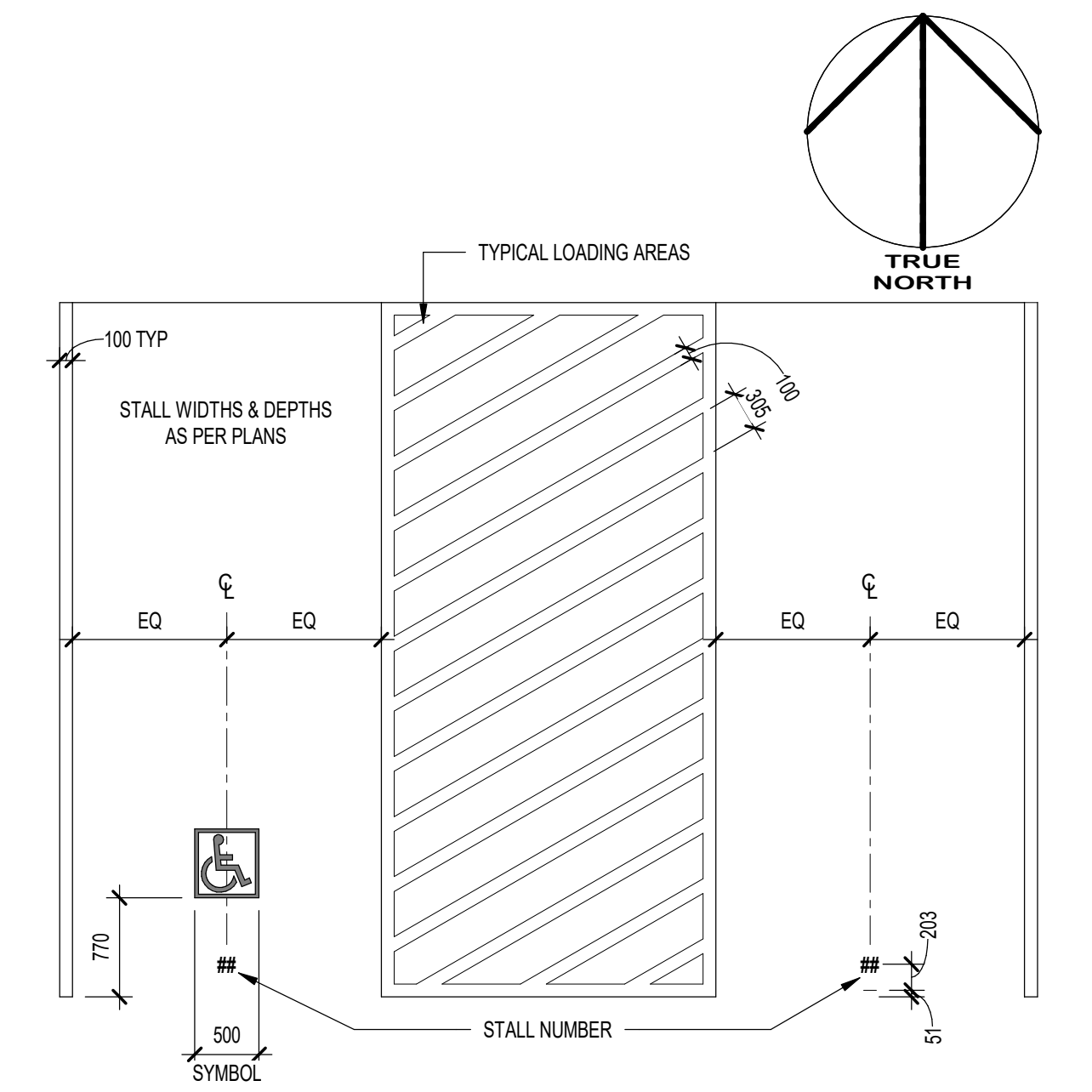
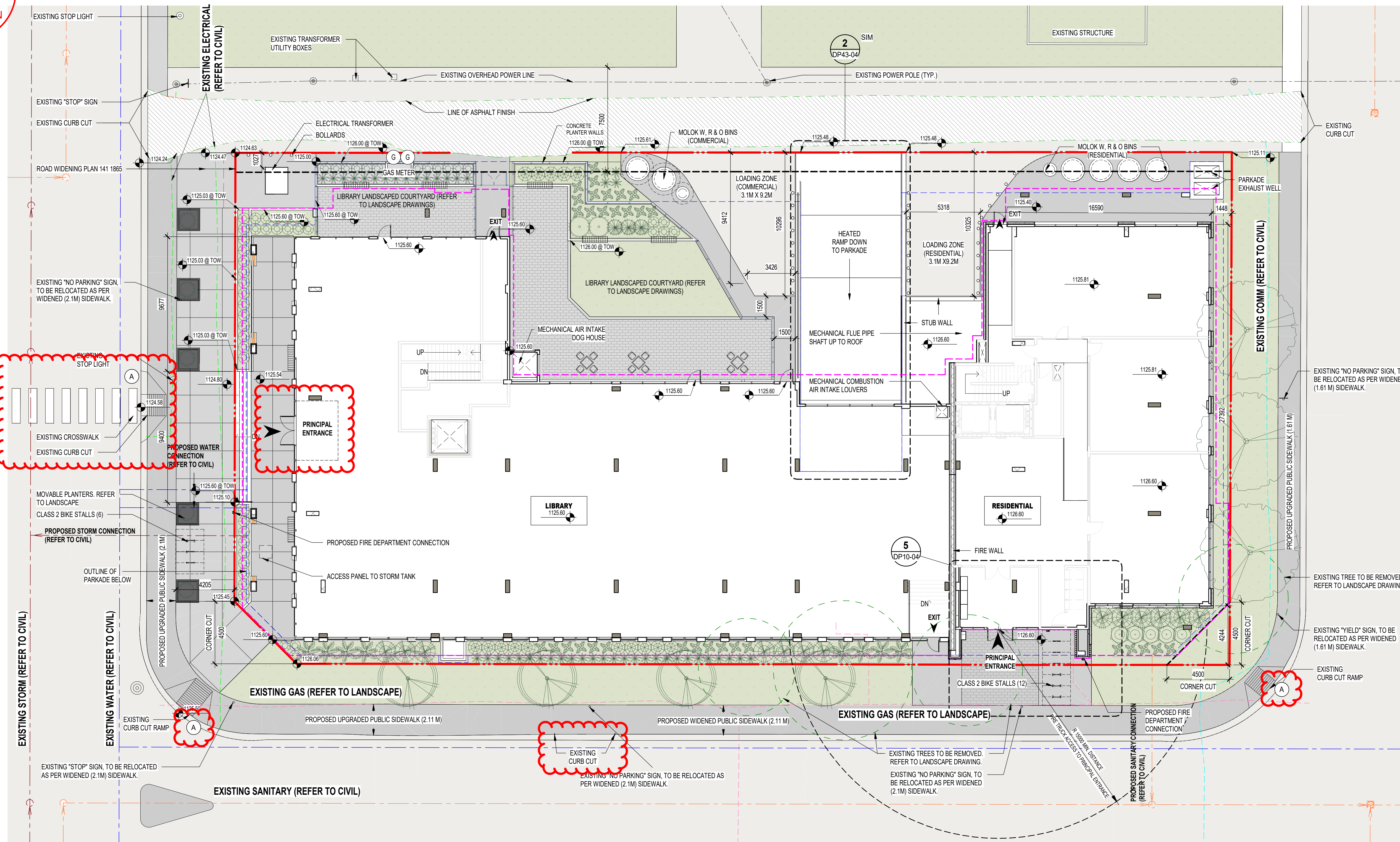
As indicated

Project No.

RZ1125-0089

Drawing No.

DP10-01

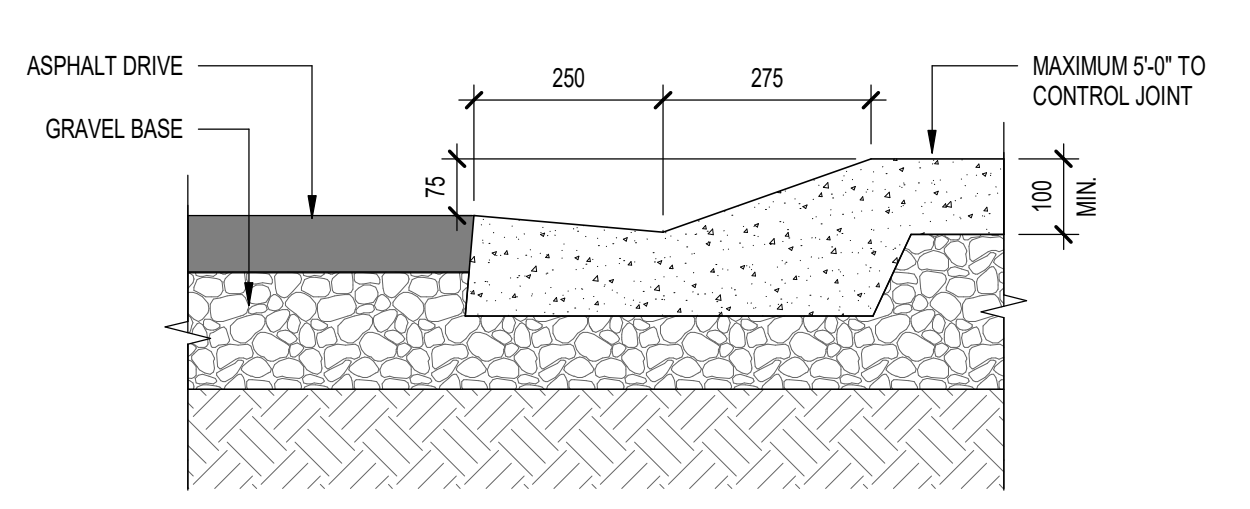


9 BARRIER FREE STALL
SCALE: 1 : 50

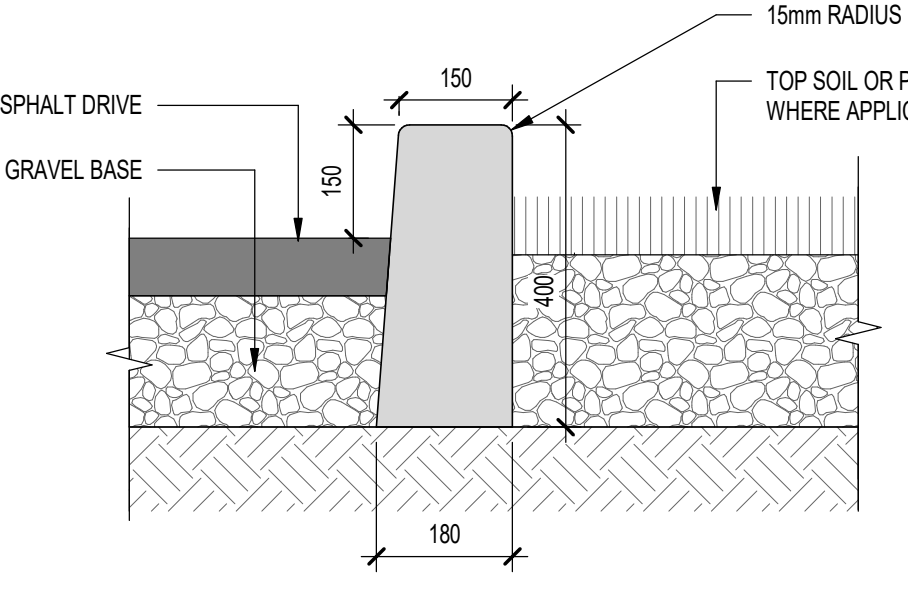
- SITE PLAN NOTES**
- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS, WALKWAYS AND FEATURES AND DETAILS.
 - REFER TO ELECTRICAL DRAWINGS FOR PROPOSED SITE LIGHTING.
 - NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION.
 - INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED.
 - WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.).
 - ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL.
 - ALL INFORMATION ABOUT SITE SERVICES GRADING, PEDESTALS, CONDUIT, UTILITY RIGHT OF WAY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS. GRADING IS FOR REFERENCE ONLY ON ARCH DRAWINGS.
 - C&T-IN-PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED - REFER TO CIVIL.
 - ALL BUILT ELEMENTS WITHIN THE PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE. NO PARKING ANYTIME/FIRE LANE SIGNAGE TO BE POSTED ON ALL INTERNAL ROADS LESS THAN 8.5m.
 - FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,558kg (85,000lbs) LOAD & NFPA 1901-POINT LOAD OF 57kN/A OVER 2422" AREA.
- A. WHEELCHAIR RAMP - WILL BE REPLACED AS PER ROADS STANDARD SPECIFICATION, FIGURE 42, FILE NO. 454.1013.001**

- SITE LEGEND**
- PROPERTY LINE - DELINEATES SCOPE OF WORK
 - PROPERTY SETBACK LINE
 - EXTENTS OF PARKADE WALLS BELOW GRADE
 - OUTLINE OF BUILDING ABOVE
 - SERVICE - STORM
 - SERVICE - SANITARY
 - SERVICE - WATER
 - UTILITY RIGHT OF WAY (UROW) - REFER TO CIVIL
 - HEAVY DUTY ASPHALT
 - SOFT LANDSCAPE (REFER TO LANDSCAPE DRAWING)
 - PLANTER (REFER TO LANDSCAPE DRAWING)
 - BOULEVARD LANDSCAPE (SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE DRAWINGS)
 - CONCRETE PAVING / WALKWAY
 - PRINCIPAL ENTRANCE
 - B.F. BARRIER FREE PARKING SIGNAGE/SYMBOL
 - R.P. RESIDENT PARKING SIGNAGE
 - V.P. VISITOR PARKING SIGNAGE
 - E.V. (R) E.V. READY STALL. E.V. SUPPLY EQUIPMENT (EVS) INSTALLATION TO SUPPORT LEVEL 2 ELECTRIC VEHICLE.
 - E.V. (C) E.V. CAPABLE STALL (INCLUDES ELECTRICAL CAPACITY & DISTRIBUTION PANELS, WALL & FLOOR PENETRATION TO ACCOMMODATE FUTURE CHARGING CABLES & MAY INCLUDE E.V. ENERGY MANAGEMENT SYSTEM FOR FUTURE).
 - ELECTRIC METER
 - ELECTRIC VEHICLE CHARGER (SERVES 2 STALLS)
 - FIRE DEPARTMENT CONNECTION
 - GAS METER
 - LOADING ZONE
 - WATER METER
 - NO PARKING
 - TRANSFORMER
 - FIRE HYDRANT
 - CATCH BASIN
 - MANHOLE
 - DIRECTION OF TRAVEL
 - EXISTING POWERPOLE
 - EXISTING POWERPOLE TO BE REMOVED, SERVICE DISCONNECTED

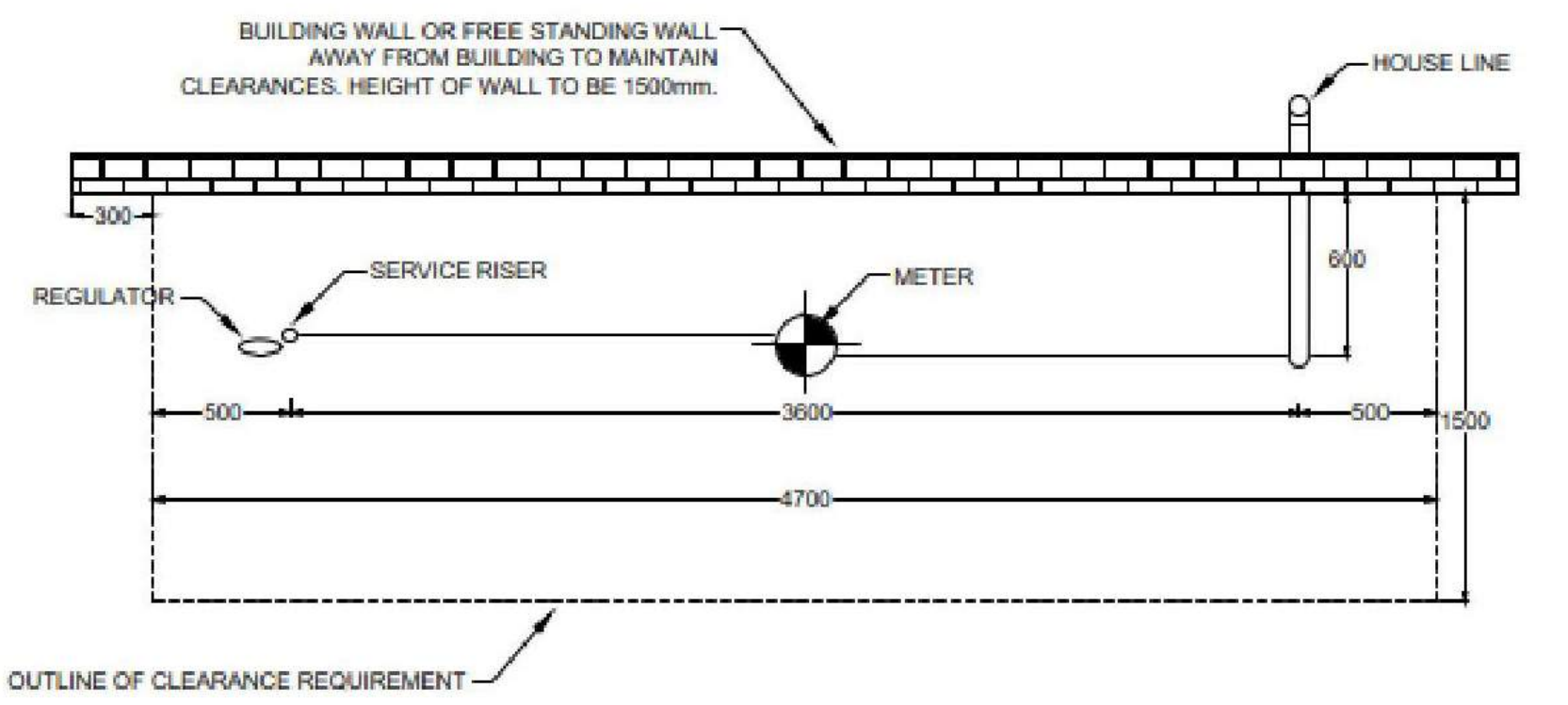
1 SITE PLAN
SCALE: 1 : 150



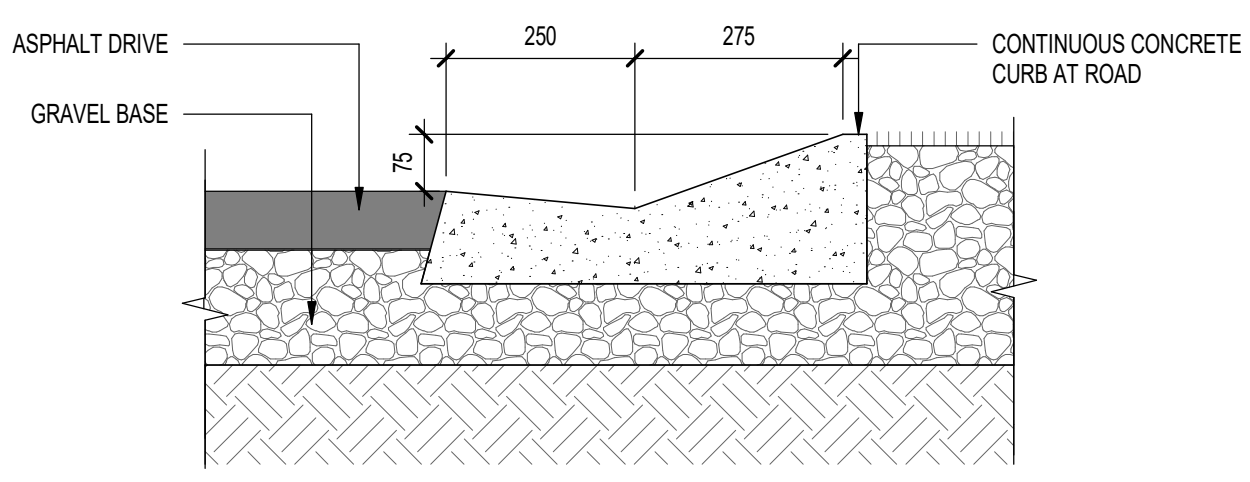
3 ROLLED CURB SIDEWALK DETAIL
SCALE: 1 : 10



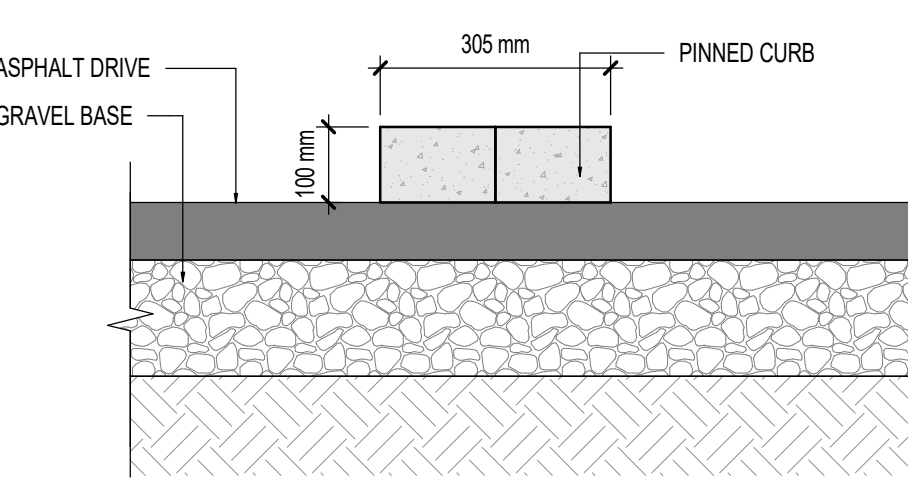
5 CURB WALL DETAIL
SCALE: 1 : 10



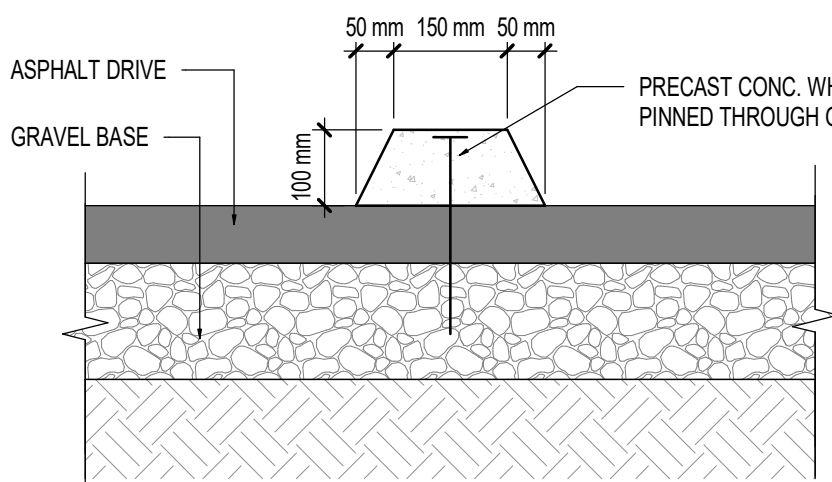
7 GAS METER
SCALE: 1 : 20



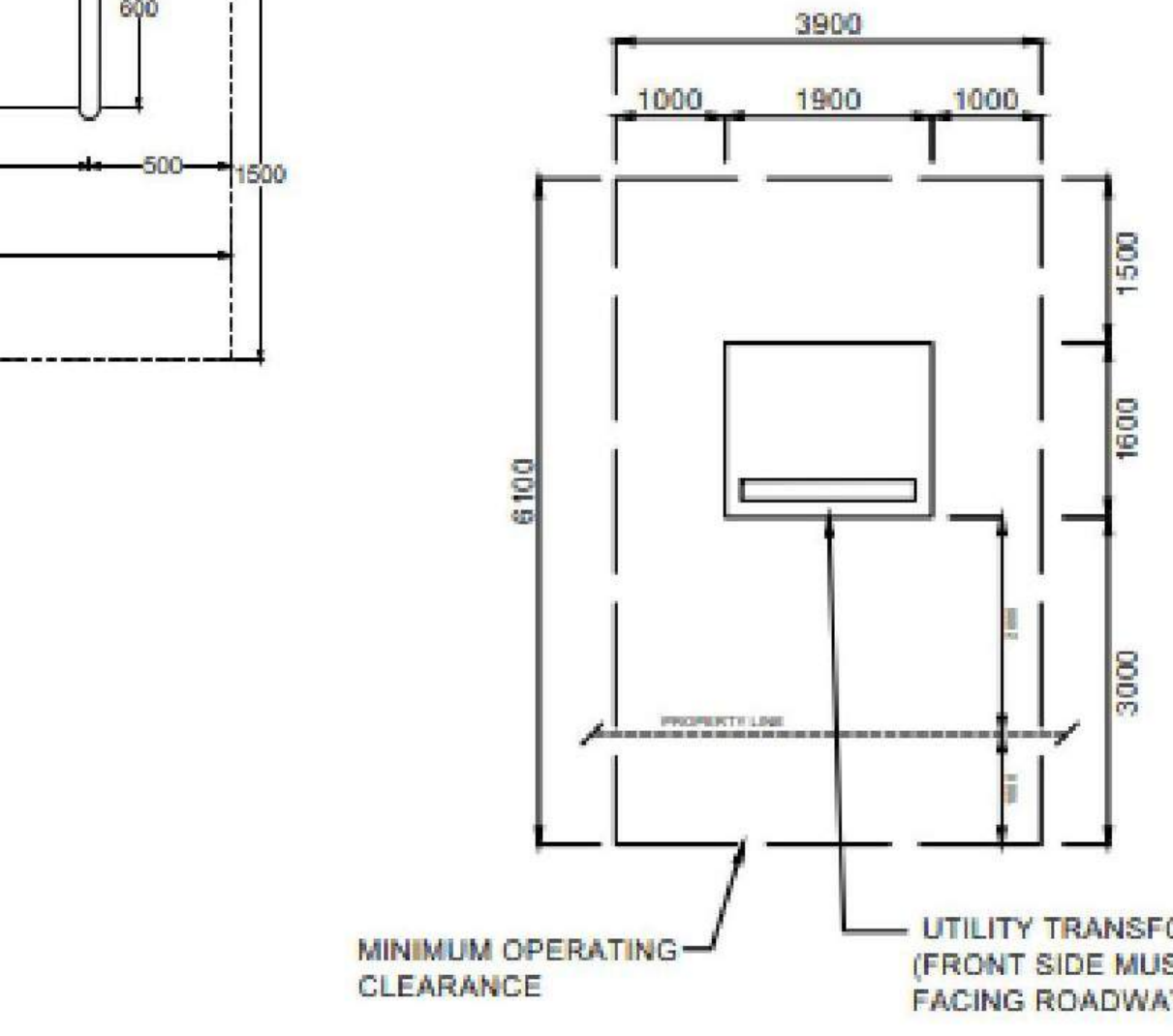
2 ROLLED CURB LANDSCAPE DETAIL
SCALE: 1 : 10



4 PINNED CURB DETAIL
SCALE: 1 : 10



6 WHEEL STOP DETAIL
SCALE: 1 : 10



8 TRANSFORMER CLEARANCE
SCALE: 1 : 50

NOTE: ALL DIMENSIONS ARE IN MILLIMETERS.

DATE	ISSUED FOR	REV
2025-08-29	DEVELOPMENT PERMIT	A
2026-01-30	DEVELOPMENT PERMIT-DR1	B
2026-04-22	DEVELOPMENT PERMIT-DR2	C



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Project Component
DEVELOPMENT PERMIT

Key Plan

Survey:	VISTA GEOMATICS LTD.
Civil:	JUBILEE ENGINEERING CONSULTANTS
Architecture:	NORR ARCHITECTS ENGINEERS PLANNERS
Structural:	WOLSEY STRUCTURAL ENGINEERING
Mechanical:	TLJ ENGINEERING
Electrical:	TLJ ENGINEERING
Interiors:	TLJ ENGINEERING
Landscape:	GROUND CUBED LANDSCAPE ARCHITECTS

Seal(s)



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NORR Architects Engineers Planners
A Partnership of Corporations
Jonathan Hughes, Architect, AIA, OAA, ABC, MAA, AANB, AAPE
Adam Tiedje, P.Eng., APEGA
Chris Pao, P.Eng., APEGA

Project Manager	Drawn
T.JAIN	Author
Project Leader	Checked
M.SALAS	Checker

Client

TRUMAN

#2236, 10 ASPEN STONE BOULEVARD SE CALGARY, ALBERTA

Project

WESTBROOK MULTI

3308/3312/3316/3320 - 14TH AVENUE S.W.
1445 - 32ND STREET S.W. CALGARY, ALBERTA

Drawing Title

OVERALL SITE PLAN

Scale
As indicated

Project No.
RZ1125-0089

Drawing No.
DP10-02



MATERIAL BOARD			
	MATERIAL: FULL BRICK MASONRY MANUFACTURER: DXL BRICK OR EQUAL COLOR: COAL		MATERIAL: FIBER CEMENT VERTICAL - BOARD & BATTEN SIDING (SMOOTH) MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: ARCTIC WHITE
	MATERIAL: FIBER CEMENT VERTICAL - BOARD & BATTEN SIDING (SMOOTH) MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: DARK GRAY		MATERIAL: METAL SIDING - V GROOVE PLANK SIDING MANUFACTURER: LUX ARCHITECTURAL PRODUCT OR EQUAL COLOR: HEMLOCK
	MATERIAL: METAL PANEL MANUFACTURER: TBD COLOR: CHARCOAL		MATERIAL: METAL SIDING MANUFACTURER: LUX ARCHITECTURAL PRODUCT OR EQUAL COLOR: HEMLOCK

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NORR Architects Engineers Planners
A Partnership of Corporations

From: McCarthy Architects (Alberta) Inc. From: McCarthy Holdings Inc.

Jonathan Hughes, Architect, AIA, OAA, ABC, MAA, AANB, AAPE
Adrian Todor, P.Eng., APEGA
Chris Pelt, P.Eng., APEGA

Project Manager T.JAIN	Drawn Author
Project Leader M.SALAS	Checked Checker
Client TRUMAN	

#2236, 10 ASPEN STONE BOULEVARD SE CALGARY, ALBERTA

Project
WESTBROOK MULTI

3308/3312/3316/3320 - 14TH AVENUE S.W.
1445 - 32ND STREET S.W. CALGARY, ALBERTA

Drawing Title
**3D RENDERINGS
MATERIALS & FINISHES**

Scale
1 : 1

Project No.
B71125-0088

Drawing No.
DP10-05

DATE	ISSUED FOR	REV
2025-08-29	DEVELOPMENT PERMIT	A
2026-01-30	DEVELOPMENT PERMIT-DR1	B
2026-04-22	DEVELOPMENT PERMIT-DR2	C



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Mechanical:	TLJ ENGINEERING
Electrical:	TLJ ENGINEERING
Interiors:	-
Landscape:	GROUND CUBED LANDSCAPE ARCHITECTS

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Adrian Todella, P.Eng., APEGA

Project Manager T.JAIN	Drawn S.KARVETI / M.SALAS
Project Leader M.SALAS	Checked T. JAIN

Client
TRUMAN

#2236, 10 ASPEN STONE BOULEVARD SE CALGARY, ALBERTA

Project
WESTBROOK MULTI

3308/3312/3316/3320 - 14TH AVENUE S.W.
1445 - 32ND STREET S.W. CALGARY, ALBERTA

Drawing Title
**BUILDING EXTERIOR
ELEVATIONS**

Scale	As indicated
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Project No.	RZ1125-0089
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Drawing No. **DP40-01**

50 B1 Title Block - v.2(23) - Rev (Sept23) - Copyright © 2023



MATERIAL LEGEND

- | | | | | | |
|----|--|----|---|----|---|
| 01 | MATERIAL: FULL BRICK MASONRY
MANUFACTURER: IXL BRICK OR EQUAL
COLOR: COAL | 08 | MATERIAL: PRE-FINISHED ALUMINUM FLASHING
COLOR: BLACK | 15 | MATERIAL: PVC PATIO DOOR
COLOR: BLACK (FRAME)
GLASS: CLEAR |
| 02 | MATERIAL: FIBER CEMENT VERTICAL - BOARD & BATTEN SIDING (SMOOTH)
MANUFACTURER: JAMES HARDIE OR EQUAL
COLOR: ARCTIC WHITE | 09 | MATERIAL: ALUMINUM GLAZED CURTAIN WALL SYSTEM
COLOR: BLACK ANODIZED (FRAME)
GLASS: CLEAR | 16 | MATERIAL: EXTERIOR INSULATED OVERHEAD DOOR
COLOR: DARK GRAY |
| 03 | MATERIAL: FIBER CEMENT VERTICAL - BOARD & BATTEN SIDING (SMOOTH)
MANUFACTURER: JAMES HARDIE OR EQUAL
COLOR: DARK GRAY | 10 | MATERIAL: PRE-FINISHED METAL RAILING (PICKET)
COLOR: BLACK | 17 | MATERIAL: EXTERIOR METAL DOOR & FRAME
COLOR: TO MATCH ADJACENT WALL FINISH |
| 04 | MATERIAL: METAL SIDING - V GROVE PLANK SIDING
MANUFACTURER: LUX ARCHITECTURAL PRODUCT OR EQUAL
COLOR: HEMLOCK | 11 | MATERIAL: PRE-FINISHED METAL AND GLASS RAILING
COLOR: BLACK (POST)
GLASS: CLEAR | 18 | MATERIAL: PAVING (SMOOTH FINISH CONCRETE F
COLOR: GRAY |
| 05 | MATERIAL: CEMENT BOARD FASCIA (SMOOTH)
MANUFACTURER: JAMES HARDIE OR EQUAL
COLOR: ARCTIC WHITE | 12 | MATERIAL: BALCONY PRIVACY SCREEN
COLOR: BLACK (POST & FRAME)
GLASS: FROSTED | 19 | DECORATIVE CONCRETE CONCRETE FINISH:
COLOR: TO MATCH BRICK FINISH |
| 06 | MATERIAL: CEMENT BOARD FASCIA (SMOOTH)
MANUFACTURER: JAMES HARDIE OR EQUAL
COLOR: DARK GRAY | 13 | MATERIAL: METAL SLATS (NEO LUMBER SCREEN)
MANUFACTURER: LUX ARCHITECTURAL PRODUCTS
COLOR: HEMLOCK | 20 | MATERIAL: METAL LOUVER
COLOR: PAINTED TO MATCH ADJACENT WALL FINISH |
| 07 | MATERIAL: CEMENT BOARD FASCIA (SMOOTH) | 14 | MATERIAL: PVC WINDOW
COLOR: BLACK (PVC FRAME)
GLASS: CLEAR - TRIPLE GLAZED | 21 | MATERIAL: EXTRUDED METAL SIGNAGE |
| | | | | 22 | SMOOTH CONCRETE FINISH:
COLOR: GRAY |

GENERAL NOTES

- REFER TO CIVIL PLANS FOR ALL SLIP-OUT CONNECTIONS, CONFIRM W/ MECHANICAL AND ELECTRICAL DRAWINGS.
- WALL FINISHES AT CORNERS AND BUMP-OUTS RETURN BACK TO BUILDING W/ IDENTICAL MATERIALS AND COLORS, UNLESS NOTED OTHERWISE ON FLOOR PLANS
- ALL INFORMATION REGARDING SITE GRADING & PROVIDED BY THE CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IN THE CASE OF A DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS
- PROVIDE PRE-FINISHED METAL FLASHING ABOVE / BELOW ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. METAL FLASHING TO MATCH ADJACENT TRIM OR WALL FINISH COLOR WHERE APPLICABLE
- PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED FOR INSTALLATION AND AS RECOMMENDED BY MATERIAL MANUFACTURER
- REFER TO CIVIL FOR NUMBER OF RISERS AT EXTERIOR WALLS AND STAIRS
- COLORS AND MATERIALS SHOWN / SELECTED ARE FOR GENERAL REFERENCE ONLY. FINAL SELECTIONS ARE SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY. MATCHING ALTERNATE MANUFACTURER COLORS AND MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION
- ALL WALL VENT / WALL CAP LOCATIONS ARE APPROXIMATE - REFER TO MECHANICAL COLOR TO MATCH ADJACENT EXTERIOR FINISH
- ALL EXTERIOR FINISH MATERIALS ARE REQUIRED TO BE NON-COMBUSTIBLE AS PER NBC2023, AB. ED.
- REFER TO ELEC. PLANS FOR EXTERIOR AND PATIO/BALCONY LIGHTING
- ALL RAILINGS TO BE TOP MOUNTED, DOUBLE TOP BAR SQUARE BAR PROFILE
- ALL EXTERIOR GRILLS, VENTS & FLASHING COLOR TO MATCH ADJACENT MATERIAL

DATE	ISSUED FOR	REV
2025-08-29	DEVELOPMENT PERMIT	A
2026-01-30	DEVELOPMENT PERMIT-DR1	B
2026-04-22	DEVELOPMENT PERMIT-DR2	C



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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component	DEVELOPMENT PERMIT
-------------------	--------------------

2	Key Plan
---	----------

Consultants	
Survey:	VISTA GEOMATICS LTD.
Civil:	JUBILEE ENGINEERING CONSULTANTS
Architecture:	NORR ARCHITECTS ENGINEERS PLANNERS
Structural:	WOLSEY STRUCTURAL ENGINEERING
Mechanical:	TLJ ENGINEERING
Electrical:	TLJ ENGINEERING
Interiors:	-
Landscape:	GROUND CUBED LANDSCAPE ARCHITECTS

Seal(s)

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
npr.com

NORR Architects Engineers Planners
A Partnership of Corporations
 Poon McKenzie Architects (Norbert) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
 Adrian Todella, P.Eng., APEGA
 Chris Pui, P.Eng., APEGA

Project Manager T.JAIN	Drawn S.KARVETI / M.SALAS
Project Leader M.SALAS	Checked T. JAIN

Client
TRUMAN

#2236, 10 ASPEN STONE BOULEVARD SE CALGARY, ALBERTA

Project
WESTBROOK MULTI

3308/3312/3316/3320 - 14TH AVENUE S.W.
1445 - 32ND STREET S.W. CALGARY, ALBERTA

Drawing Title
**BUILDING EXTERIOR
ELEVATIONS**

Scale	As indicated
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Project No.	B71125-0089
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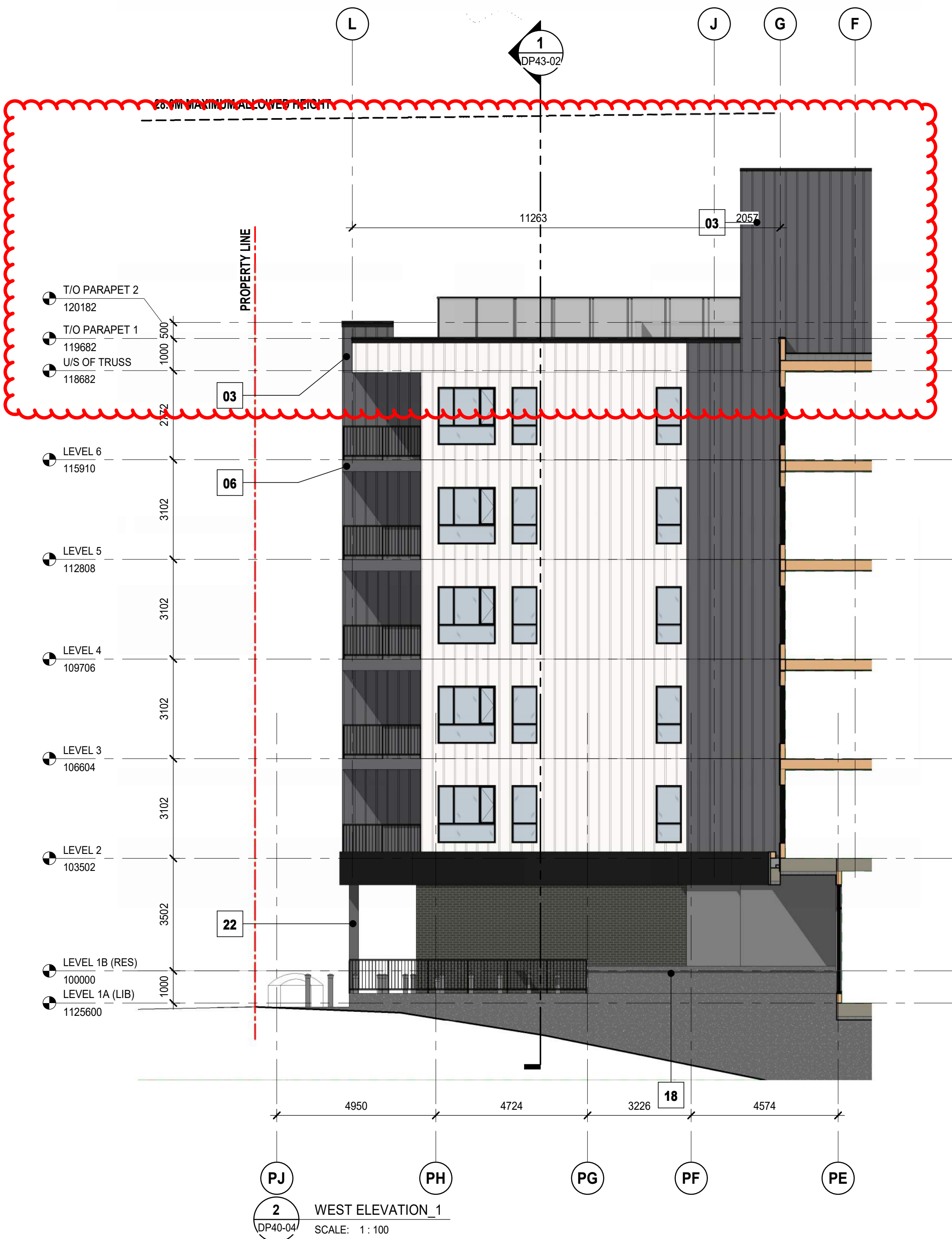
Drawing No. **DP40-02**

ISO B1 Title Block - v.2023 - Rev (Sept23) - Copyright © 2023



1 SOUTH ELEVATION
DP40-02 SCALE: 1:100

MATERIAL LEGEND					GENERAL NOTES	
01	MATERIAL: FULL BRICK MASONRY MANUFACTURER: IXL BRICK OR EQUAL COLOR: COAL	08	MATERIAL: PRE-FINISHED ALUMINUM FLASHING COLOR: BLACK	15	MATERIAL: PVC PATIO DOOR COLOR: BLACK (FRAME) GLASS: CLEAR	- REFER TO CIVIL PLANS FOR U/G SERVICE CONNECTIONS. CONFIRM W/ MECHANICAL AND ELECTRICAL DRAWINGS. - WALL FINISHES AT CORNERS AND BUMP-OUTS RETURN BACK TO BUILDING W/ IDENTICAL MATERIALS AND COLORS, UNLESS NOTED OTHERWISE ON FLOOR PLANS - ALL INFORMATION REGARDING SITE GRADING IS PROVIDED BY THE CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IN THE CASE OF A DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS - PROVIDE PRE-FINISHED METAL FLASHING ABOVE / BELOW ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. METAL FLASHING TO MATCH ADJACENT TRIM OR WALL FINISH COLOR WHERE APPLICABLE - PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED FOR INSTALLATION AND AS RECOMMENDED BY MATERIAL MANUFACTURER - REFER TO CIVIL FOR NUMBER OF RISERS AT EXTERIOR WALKS AND STAIRS - COLORS AND MATERIALS SHOWN / SELECTED ARE FOR GENERAL REFERENCE ONLY. FINAL SELECTIONS ARE SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY. MATCHING ALTERNATE MANUFACTURER COLOURS AND MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION - ALL WALL VENT / WALL CAP LOCATIONS ARE APPROXIMATE - REFER TO MECHANICAL. COLOR TO MATCH ADJACENT EXTERIOR FINISH - ALL EXTERIOR FINISH MATERIALS ARE REQUIRED TO BE NON-COMBUSTIBLE AS PER NBC2023, AB. ED. - REFER TO ELEC. PLANS FOR EXTERIOR AND PATIO/BALCONY LIGHTING - ALL RAILINGS TO BE TOP MOUNTED, DOUBLE TOP BAR SQUARE BAR PROFILE - ALL EXTERIOR GRILLS, VENTS & FLASHING COLOR TO MATCH ADJACENT MATERIAL
02	MATERIAL: FIBER CEMENT VERTICAL - BOARD & BATTEN SIDING (SMOOTH) MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: ARCTIC WHITE	09	MATERIAL: ALUMINUM GLAZED CURTAIN WALL SYSTEM COLOR: BLACK ANODIZED (FRAME) GLASS: CLEAR	16	MATERIAL: EXTERIOR INSULATED OVERHEAD DOOR COLOR: DARK GRAY	
03	MATERIAL: FIBER CEMENT VERTICAL - BOARD & BATTEN SIDING (SMOOTH) MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: DARK GRAY	10	MATERIAL: PRE-FINISHED METAL RAILING (PICKET) COLOR: BLACK	17	MATERIAL: EXTERIOR METAL DOOR & FRAME COLOR: TO MATCH ADJACENT WALL FINISH	
04	MATERIAL: METAL SIDING - V GROOVE PLANK SIDING MANUFACTURER: LUX ARCHITECTURAL PRODUCT OR EQUAL COLOR: HEMLOCK	11	MATERIAL: PRE-FINISHED METAL AND GLASS RAILING COLOR: BLACK (POST) GLASS: CLEAR	18	MATERIAL: PARGING (SMOOTH FINISH CONCRETE FACE INSULATION) COLOR: GRAY	
05	MATERIAL: CEMENT BOARD FASCIA (SMOOTH) MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: ARCTIC WHITE	12	MATERIAL: BALCONY PRIVACY SCREEN COLOR: BLACK (POST & FRAME) GLASS: FROSTED	19	DECORATIVE COLOR CONCRETE FINISH: COLOR: TO MATCH BRICK FINISH	
06	MATERIAL: CEMENT BOARD FASCIA (SMOOTH) MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: ARCTIC WHITE	13	MATERIAL: METAL SLATS (NEO LUMBER SCREEN) MANUFACTURER: LUX ARCHITECTURAL PRODUCTS COLOR: HEMLOCK	20	MATERIAL: METAL LOUVER COLOR: PAINTED TO MATCH ADJACENT WALL FINISH	
07	MATERIAL: CEMENT BOARD FASCIA (SMOOTH) MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: BLACK	14	MATERIAL: PVC WINDOW COLOR: BLACK (PVC FRAME) GLASS: CLEAR - TRIPLE GLAZED	21	MATERIAL: EXTRUDED METAL SIGNAGE	
				22	SMOOTH CONCRETE FINISH: COLOR: GRAY	



MATERIAL LEGEND			GENERAL NOTES
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		15	
		16	
		17	
		18	
		19	
		20	
		21	
		22	

DATE	ISSUED FOR	REV
2025-08-29	DEVELOPMENT PERMIT	A
2026-01-30	DEVELOPMENT PERMIT-DR1	B
2026-04-22	DEVELOPMENT PERMIT-DR2	C

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Project Component
DEVELOPMENT PERMIT
Key Plan

Consultants
Survey: VISTA GEOMATICS LTD.
Civil: JUBILEE ENGINEERING CONSULTANTS
Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
Structural: WOLSEY STRUCTURAL ENGINEERING
Mechanical: TLJ ENGINEERING
Electrical: TLJ ENGINEERING
Interiors: TLJ ENGINEERING
Landscape: GROUND CUBED LANDSCAPE ARCHITECTS

Seal(s)

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Jonathan Hughes, Architect, AIA, OAA, ASBC, MAA, AANB, AAPE
Adrian Todor, P.Eng., APEGA
Chris Pao, P.Eng., APEGA

Project Manager T. JAIN	Drawn S. KARVETI / M. SALAS
Project Leader M. SALAS	Checked T. JAIN

Client
TRUMAN

#2236, 10 ASPEN STONE BOULEVARD SE CALGARY, ALBERTA

Project
WESTBROOK MULTI

3308/3312/3316/3320 - 14TH AVENUE S.W.
1445 - 32ND STREET S.W. CALGARY, ALBERTA

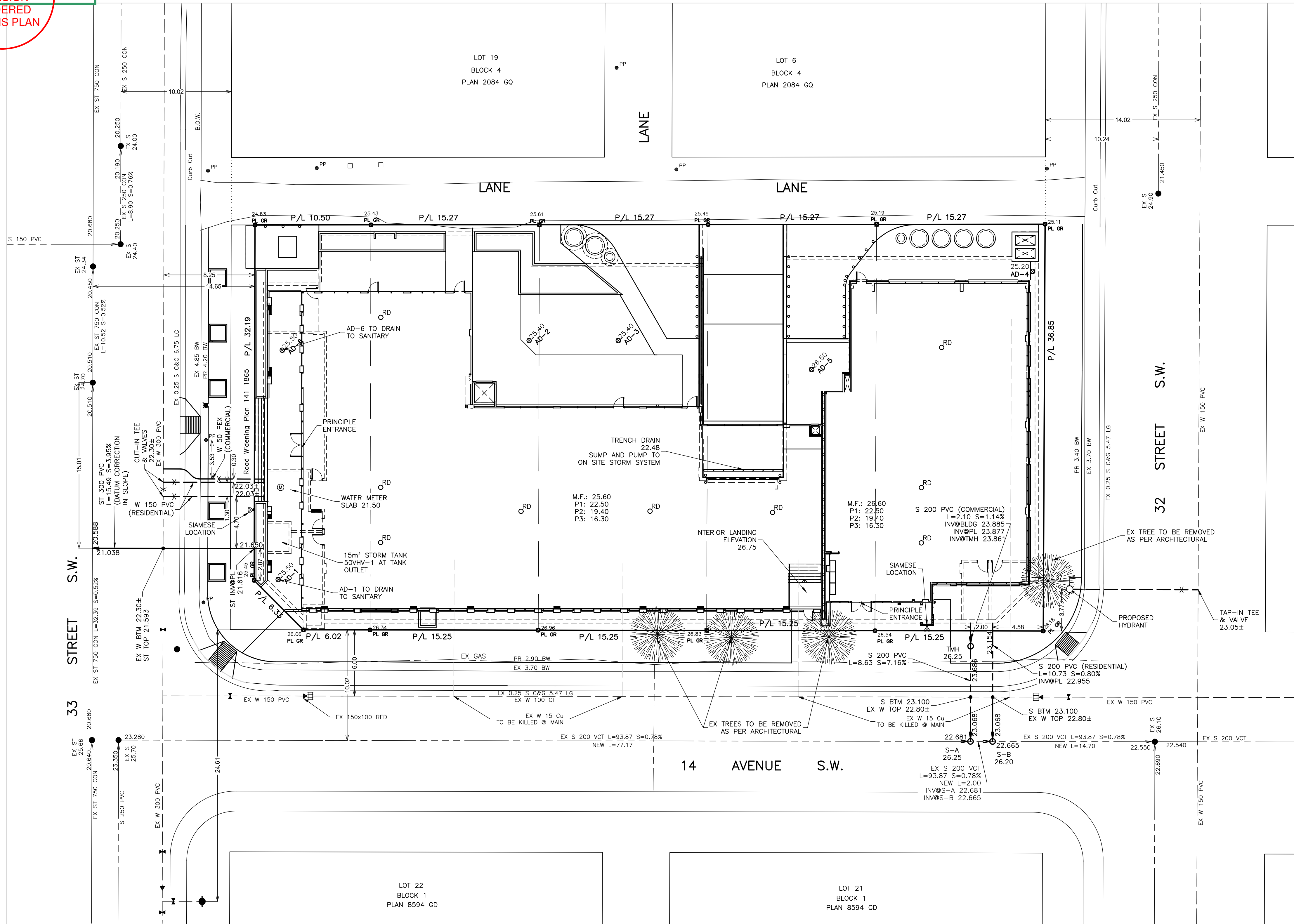
Drawing Title
BUILDING EXTERIOR ELEVATIONS

Scale
As indicated

Project No.
RZ1125-0089

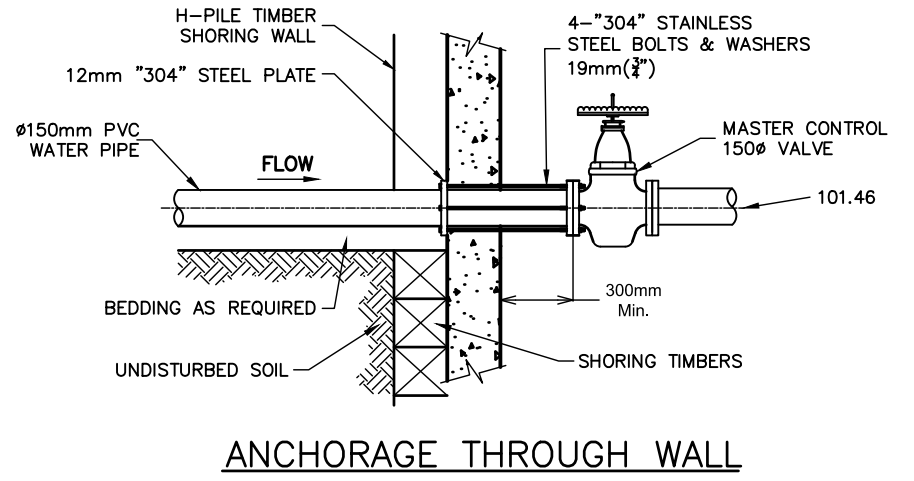
Drawing No.
DP40-04

RENDERED DRAWINGS
NO DEVELOPMENT PERMIT
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.
RENDERED
ON THIS PLAN



THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS. DSSP PLANS TO MATCH DP PLANS WHEN ALL IS COMPLETE



- NOTES:
1. THE MASTER CONTROL VALVE SHALL BE ONE OF THE FOLLOWING:
a) RESILIENT SEATED RISING SPINDLE (OS & Y) FLANGE GATE VALVE (UL OR ULC LISTED) FOR FIRE LINES AND CSA APPROVED FOR DOMESTIC LINES.
b) SHORT-BODY, RUBBER SEATED FLANGED OR LUG WATER TYPE BUTTERFLY VALVE c/w HAND WHEEL, REDUCTION GEAR OPERATOR, POSITION INDICATOR (UL OR ULC LISTED) PROVIDED THEY ARE NOT IN A SUCTION LINE FOR FIRE PUMPS.
 2. ENTRANCE PIPE MATERIAL THROUGH THE OUTSIDE WALL AND THROUGH THE FLOOR SHALL BE DUCTILE IRON PIPE AWWA C153 (LATEST EDITION) CLASS 53 OR APPROVED EQUAL. BURIED FITTINGS (SOT ELEV) SHALL BE CAST OR DUCTILE IRON CONFORMING TO AWWA C110 (LATEST EDITION) OR APPROVED EQUAL. ALL SERVICE ENTRIES (INCLUDING ANCHOR DETAILS) SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND DETAILED ON THE DEVELOPMENT SITE SERVICING PLAN (DSSP). (ANCHOR RODS SHALL BE 18-8 304 STAINLESS STEEL, WHERE A STANDARD 3m LENGTH OF ROD REQUIRES EXTENSION, AN APPROVED STAINLESS HEXAGON NUT COUPLING SHALL BE INSTALLED AT THE UPPER END OF THE ROD).
 3. PROVIDE ADEQUATE PIPE SUPPORT. REFER TO DEVELOPMENT SITE SERVICING PLAN (DSSP) GUIDELINES (2.8.8.3 PIPING SUPPORT).
 4. INTERNAL PLUMBING STUD TO TERMINATE A MINIMUM OF 2.0m OUT FROM EXTERNAL WALL OR FOOTING. ENTRANCE OF PIPE THROUGH WALL SHALL BE PERPENDICULAR (90°) TO WALL.
 5. ANCHOR RODS TO BE 3/4" FOR 100mm - 200mm SERVICE, 7/8" 250mm - 300mm SERVICE & 1" FOR 350mm 400mm SERVICE. ANCHOR ROD AND NUTS TO BE TYPE "304" STAINLESS STEEL.
 6. A RESTRAINED FLANGE ADAPTOR MAY BE USED TO CONNECT THE RISER OR WALL ENTRY PIPE TO THE MASTER CONTROL VALVE. RESTRAINED FLANGE ADAPTOR SHALL BE EBAY SERIES 2100 MEGA FLANGE OR APPROVED EQUAL.

PIPE ANCHOR DETAIL
N.T.S.

MUNICIPAL ADDRESS
3308-3320 14 AVE SW
1445 32 ST SW
Calgary AB

LEGAL DESCRIPTION
LOT 20, BLOCK 4
PLAN 251 2165, SW 1/4
SEC. 18-24-1-W5M

CITY OF CALGARY DEVELOPMENT SITE SERVICING PLAN			
DATE RECEIVED			
CIRCULATION TO		INITIAL	DATE
WATER RESOURCES			
REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.			
THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.			

FOR DEVELOPMENT PERMIT SUBMISSION ONLY.
NOT FOR TENDER OR CONSTRUCTION.



Municipal Engineering • Industrial, Commercial, & Residential Land Development • Planning • Engineering Surveys

3702 Edmonton Trail N.E., Calgary, Alberta, T2E 3P4
www.jubileeengineering.com
P 403 276 1001 | F 403 276 1012 |

PERMIT STAMP

- NOTES
1. All elevations referenced to 1000m Geodetic Datum.
 2. Hydrants, valves, check valves, manholes, sewer lines, water lines etc., to be installed to City of Calgary standards.
 3. All manholes to be S.R.C.
 4. Match crown minimum at all sewer connections.
 5. All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes <= to 150mm to be SDR 28 PVC. Sewer service pipes > than 150mm to be SDR 35.
 6. Sewer lines to minimum slopes as per City of Calgary Standards.
 7. Use City of Calgary Type 2 Installation, Class 1A bedding for sewer pipes unless otherwise noted.
 8. Insulation required for sanitary sewers if cover less than 2.50m on mains.
 9. Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
 10. All water mains to be DR 18 PVC unless otherwise noted.
 11. Use City of Calgary Type 1 Installation, Class 1A bedding for water mains, Type 2 installation, class 'B' bedding for services.
 12. Depth of bury for water lines to conform with City of Calgary standards.
 13. No trees to be planted over water line(s).
 14. Protection of Potable Water Supply From Contamination: All Cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 22M82 and the National Plumbing Code of Canada.
 15. For building locations and dimensions refer to latest Architectural drawings.
 16. The contractor is responsible for locating all shallow utilities.
 17. The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
 18. Weeping Tile & Free Flow area drains to be tied to unrestricted free flow storm sewer.
 19. All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.

LEGEND	
	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Water meter location
	Existing elevation
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Main floor elevation
	Top of footing elevation
	Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2025-05095
DSSP 2026-0122

REVISIONS		
No.	DATE	DESCRIPTION
5		
4		
3		
2		
1		

ISSUED FOR		
No.	DATE	DESCRIPTION
4		AS-BUILT
3		FOR CONSTRUCTION
2		FOR TENDER
1		DEVELOPMENT PERMIT - DR2
No.	DATE	DRAWING STATUS

CLIENT
TRUMAN HOMES

PROJECT
PROPOSED CONDOMINIUM
125 UNITS
3308-3320 14 AVE SW & 1445 32 ST SW

TITLE
SITE SERVICING PLAN

DESIGN BY: DV	SCALE: 1:200	JOB NUMBER: 25-121
DRAWN BY: WB	REV NO.: -	DRAWING NUMBER: SP1
CHECKED BY: DV		
DATE: 21-Apr-26		

AMENDED DRAWINGS
DEVELOPMENT PERMIT
DATE RECEIVED 06/17/2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.
RENDERED ON THIS DATE

symbol	description
	property line
	setback line
	private deciduous tree - to be removed
	private coniferous tree - to be removed

Landscape Bylaw Calculations - City of Calgary Land-Use Bylaw 1P2007 (Zone MU-1)		
standard	required	provided
		total shrubs (within PL) = 123
		total trees (within PL) = 3 total trees (outside PL) = 7
coniferous trees must have a minimum height of 2.0 metres and at least 50.0 per cent of the provided coniferous trees must have a minimum height of 3.0 metres at the time of planting.	2m height coniferous trees required (3 x 0.50) = 1.5	2m height coniferous trees = 0
	3m height coniferous trees (2 x 0.50) = 1.5	3m height coniferous trees = 3

Public Tree Chart				
tree key	species	City Tree ID#	caliper (mm)	protect/remain/ remove
A	crabapple	T-32396989	530	remove
B	crabapple	T-32396968	530	remove
C	white Spruce	T-32030101	560	remove

- General Notes
1. site plan prepared using information provided by Norr Architecture on April 21st, 2026.
 2. contractor is responsible for locating utilities and protecting same from damage during construction, contact Utility Safety Partners at 1-800-242-3447, commencement of work indicates completion of utility locates.
 3. all drawings are property of landscape architect. site clean-up is incidental to the work. the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
 4. if discrepancies exist between drawings, the largest scale shall be taken as correct. final interpretation belongs to the landscape architect.
 5. contractor to coordinate and attend all inspections and approvals required by the owner.
 6. all drawings are metric unless otherwise noted.
 7. all layouts shall be approved on site by landscape architect prior to construction. contractor to notify owner's representative minimum 72 hours prior.
 8. contractor shall refer to related disciplines as indicated on plan's where applicable.
 9. all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.n.o.
 10. disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.
 11. refer to civil engineering drawings for grading information.

- Irrigation Note
1. All soft surfaced landscaped areas must be irrigated by an underground irrigation system.

- Parkade Planting Notes
1. all tree planting above the parkade requires a minimum of 1200mm depth topsoil
 2. all shrub planting beds above the parkade requires a minimum of 600mm depth topsoil
 3. all other landscaped areas above the parkade requires a minimum of 300mm depth topsoil



issue	date	no.
issued for development permit	25/08/29	1
issued for DR response	26/01/30	2
issued for DR2 response	26/04/22	3

revision	date	no.

project		
Westbrook Multifamily		

drawn	checked	approved
JK	JJ	JJ

project #	date
25.0013.00	2026/04/21

drawing
Bylaw & Tree Removal Plan

	sheet
	DP-L1



APPROVED DRAWINGS
FOR DEVELOPMENT PERMIT
DATE RECEIVED 06/27/2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.
RENDERED ON THIS DATE

Utility and Linetype Legend

symbol	description
	property line
	setback line
	parkade boundary - refer to architecture
	water line - refer to civil
	storm line - refer to civil
	sanitary line - refer to civil
	overhead powerline - refer to civil

Landscape Legend

symbol	description
	sod
	mulch
	coloured concrete (broom finish) - refer to architecture for assembly
	concrete (broom finish) - refer to architecture for assembly

Plant List for Trees

number	symbol	description
10		deciduous trees - 50mm caliper
3		• brandon elm <i>ulmus americana 'brandon'</i>
4		• amur maple <i>acer ginnala</i>
3		coniferous trees - 3.0m ht.
		• columnar colorado spruce <i>pinus uncinata</i>

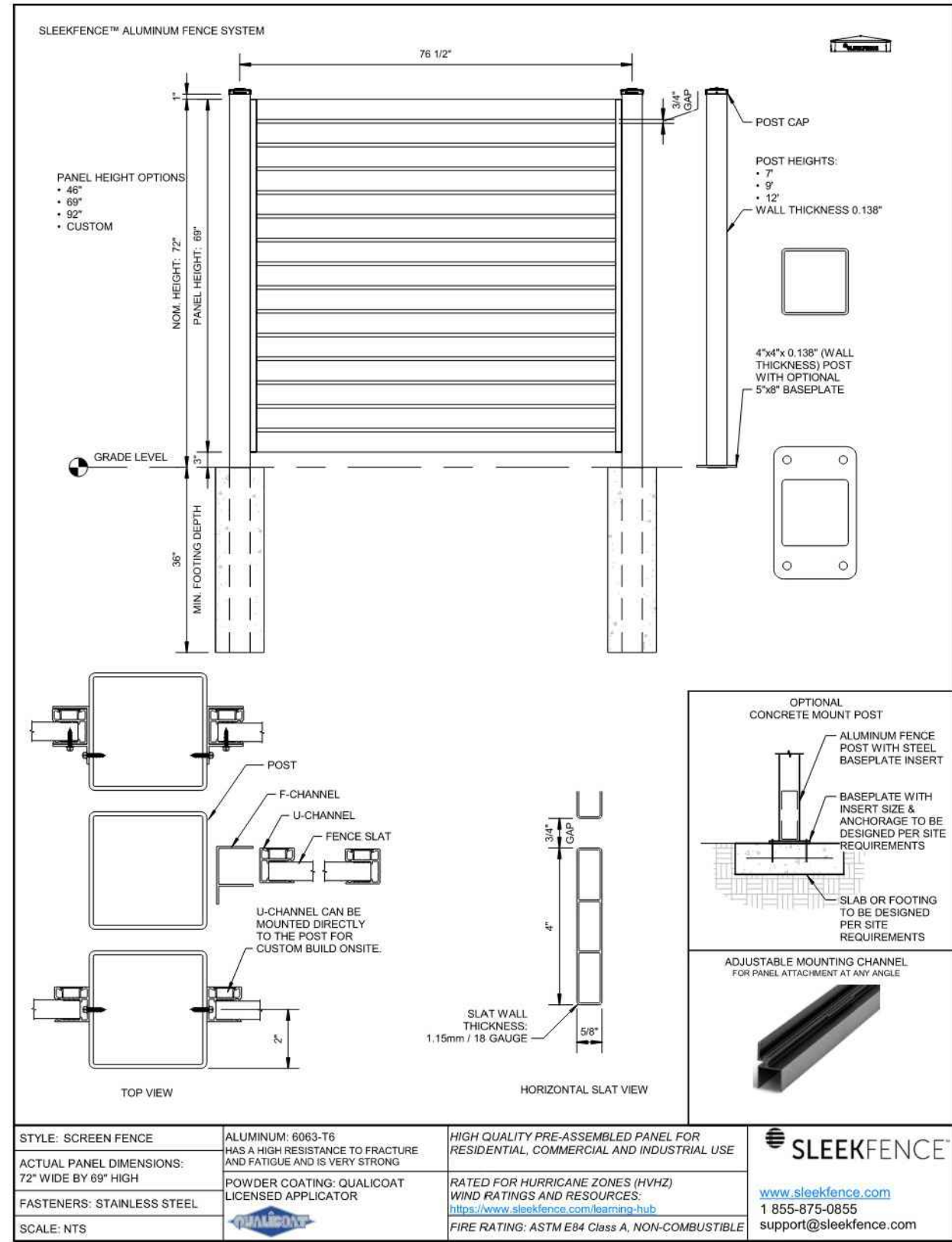
Plant List for Shrubs

number	symbol	description
128		
8		• golden flowering currant <i>ribes aureum</i>
13		• dwarf mugo pine <i>pinus mugo var. pumilio</i>
2		• effusa juniper <i>juniperus communis 'effusa'</i>
6		• aurora honeyberry <i>lonicera caerulea 'aurora'</i>
5		• columnar mugo pine <i>pinus mugo 'columnaris'</i>
33		• snowberry <i>symphoricarpos albus</i>
15		• mops mugo pine <i>pinus mugo 'mops'</i>
46		• blue fox willow <i>salix brachycarpa 'blue fox'</i>

shrub notes:
600 sp / ht
± 900-2000 mature
min. #2 container size

Plant List for Perennials

number	symbol	description
54		• karl foerster reed grass <i>calamagrostis x acutiflora 'karl foerster'</i>



J16 1800mm (6') Screen Fence
DP-L2 Scale n.t.s

General Notes

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Irrigation Note

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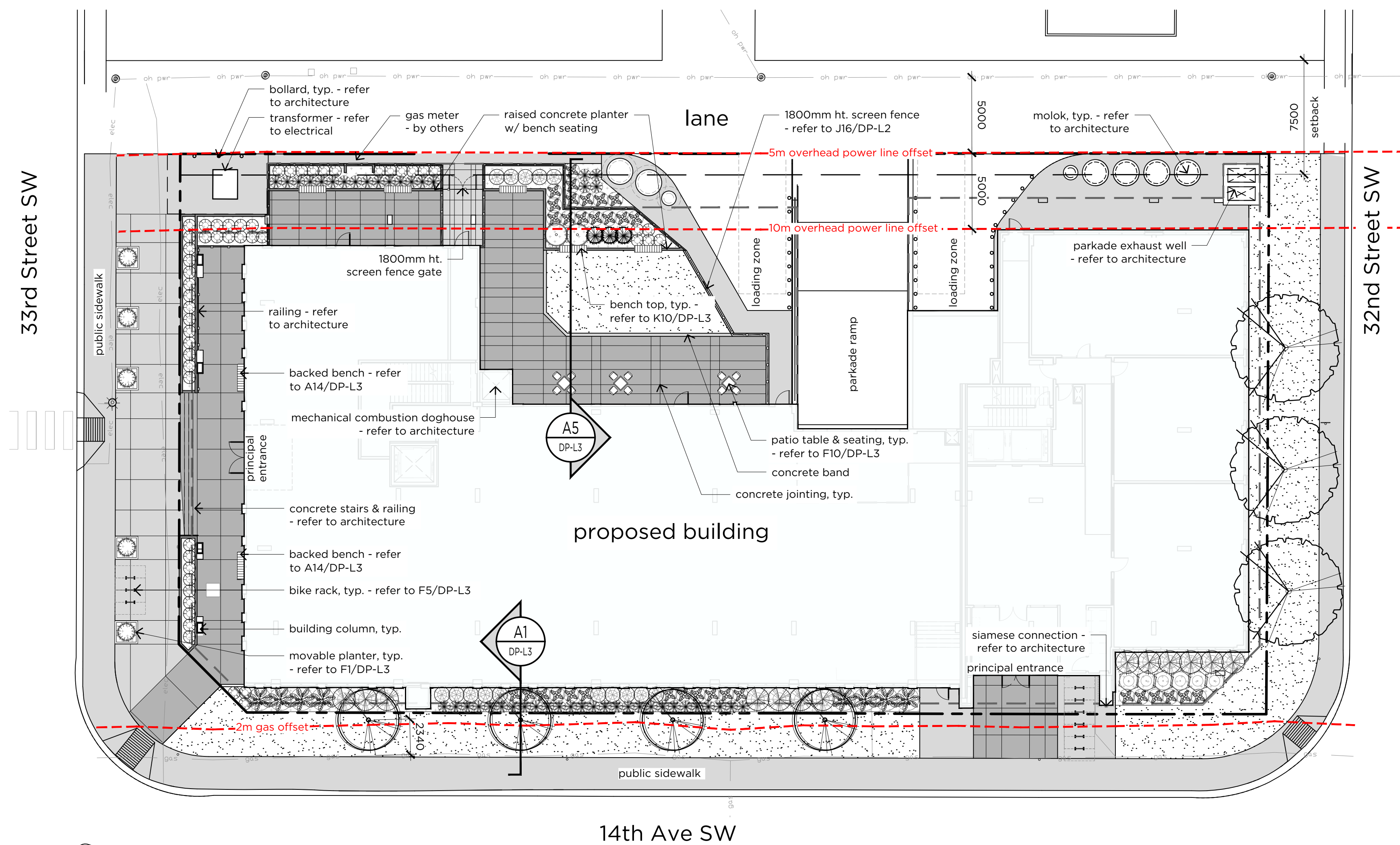
project
Westbrook Multifamily

drawn	checked	approved
JK	JJ	JJ

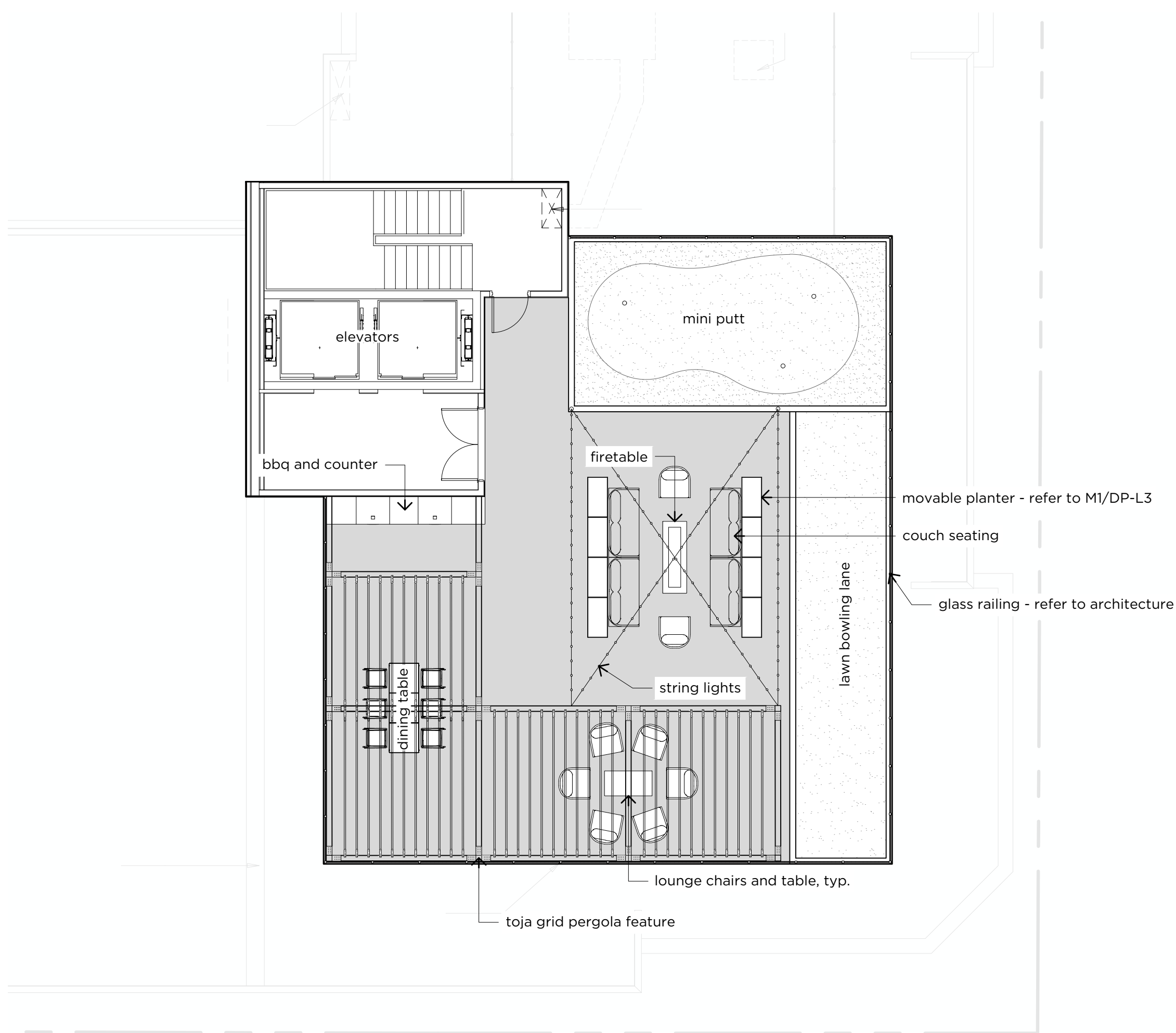
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25.0013.00	2026/04/21

drawing
Landscape Plans

N	sheet
	DP-L2



A1 Landscape Plan
DP-L2 Scale 1:200



A12 Rooftop Amenity Landscape Plan
DP-L2 Scale 1:100