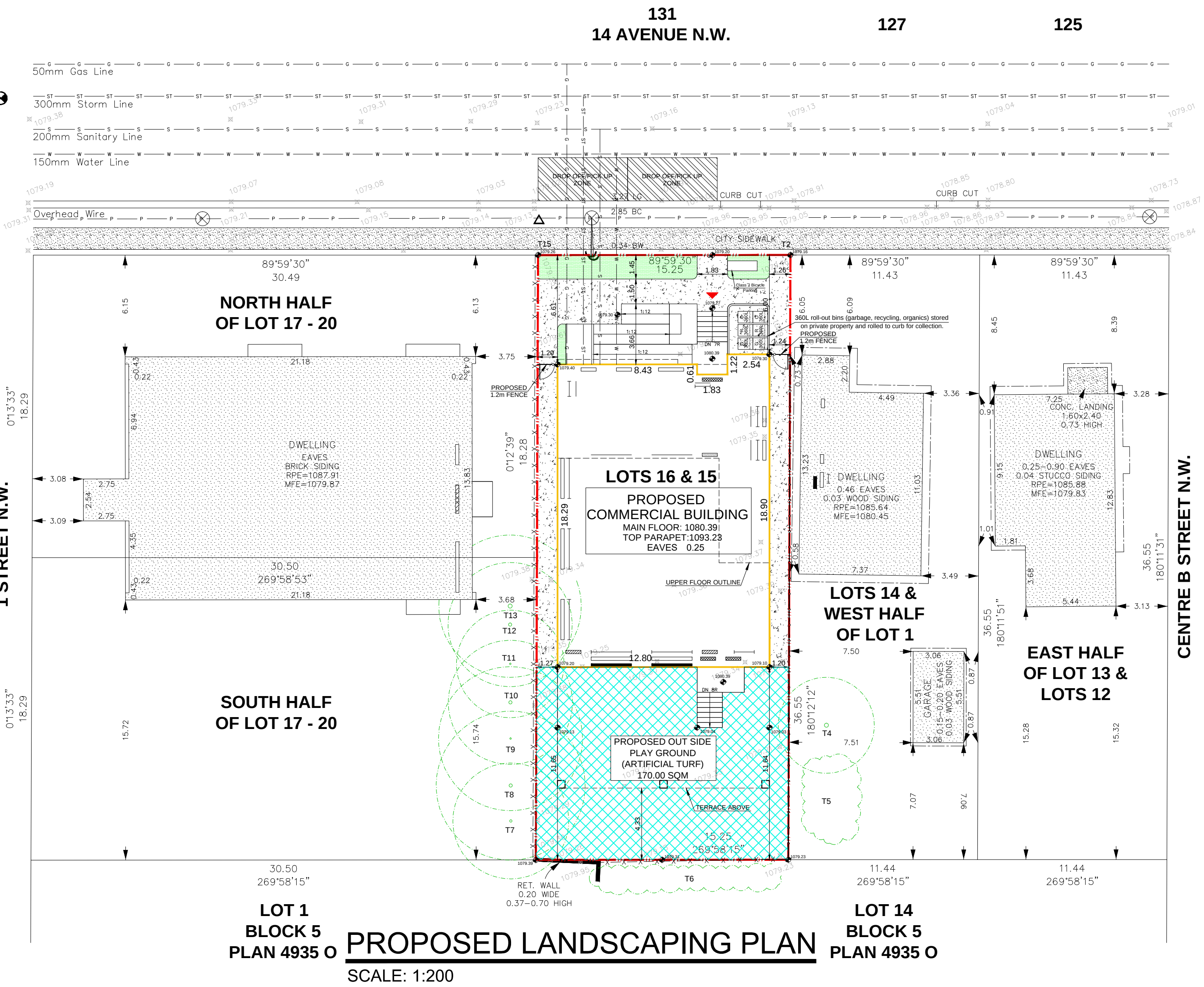




LEGEND

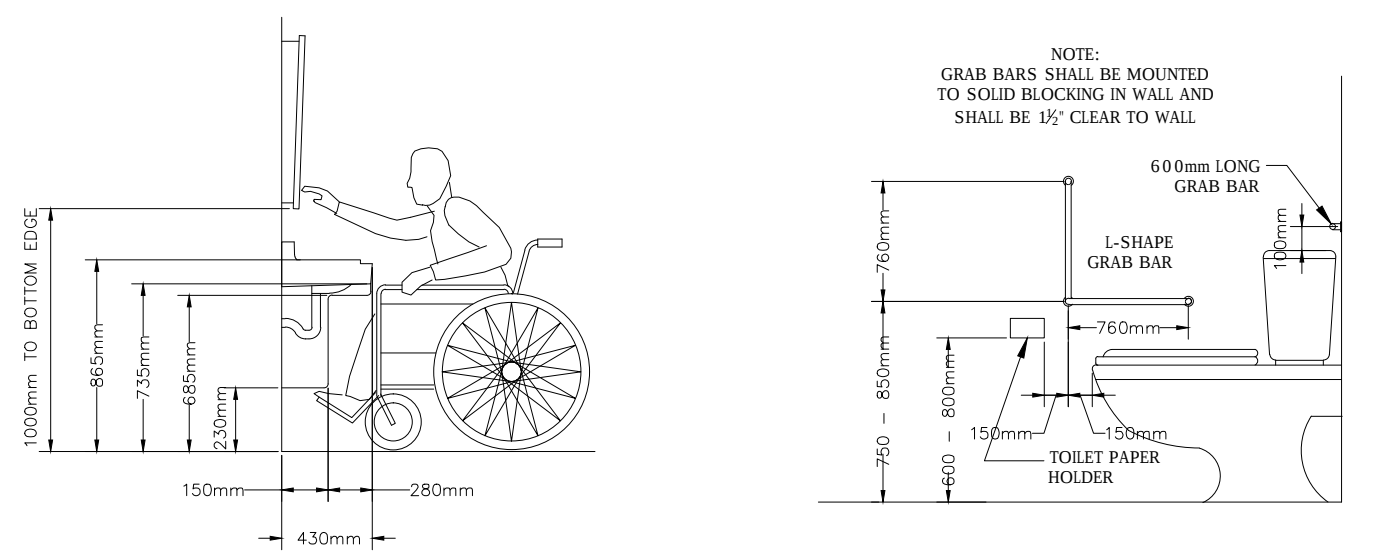
- PROPERTY LINE
- SETBACKS
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- PROPOSED BUILDING
- PROPOSED OUT SIDE PLAYGROUND
- CONCRETE PADWALK
- SOD ON 130mm TOPSOIL
- ACCESS POINT
- EXISTING GRADES
- PROPOSED GRADES
- GARBAGE, RECYCLING, & ORGANICS BINS
- BASEMENT FLOOR WINDOW
- MAIN FLOOR DOOR
- MAIN FLOOR WINDOW
- SECOND/THIRD FLOOR DOOR
- SECOND/THIRD FLOOR WINDOW
- FOURTH FLOOR DOOR
- FOURTH FLOOR WINDOW

LANDSCAPED AREAS

HARD SURFACED		SOFT SURFACED	
CONCRETE PADWALK	93.49 SQ.M.	SOD	18.81 SQ.M.
		ARTIFICIAL TURF	170.00 SQ.M.
TOTAL LANDSCAPED AREA : 282.30 SQ.M.			



VICINITY PLAN



TYPICAL BARRIER FREE LAVATORY DETAIL

WATER CLOSET, LAVATORIES, GRAB BAR, SOAP DISPENSER, HAND-HELD SHOWER HEAD IN THE BARRIER-FREE WASHROOM SHOULD COMPLY WITH N.B.C. 3.8.3.12 AND 3.8.3.13

TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Bush	-	3.00	5.00	On Property Line	to be Removed
T2	Bush	-	2.50	4.00	In City Property	to Stay
T3	Bush	-	2.50	4.00	On Property Line	to be Removed
T4	Coniferous	0.25	5.80	6.00	In Adjacent Property	to Stay
T5	Bush	-	4.00	6.00	In Adjacent Property	to Stay
T6	Bush	-	1.60	3.50	In Adjacent Property	to Stay
T7	Coniferous	0.15	7.00	8.00	In Adjacent Property	to Stay
T8	Coniferous	0.20	9.00	9.00	In Adjacent Property	to Stay
T9	Coniferous	0.10	8.70	8.50	In Adjacent Property	to Stay
T10	Coniferous	0.20	7.50	8.00	In Adjacent Property	to Stay
T11	Coniferous	0.10	6.50	7.00	In Adjacent Property	to Stay
T12	Coniferous	0.20	7.50	8.00	In Adjacent Property	to Stay
T13	Coniferous	0.25	8.60	9.00	In Adjacent Property	to Stay
T14	Bush	-	2.80	3.20	On Property Line	to be Removed
T15	Bush	-	2.80	3.20	In City Property	to Stay

PROJECT:

DAYCARE

131 14 AVENUE NW,
CALGARY, AB

DRAWING:

PROPOSED LANDSCAPING PLAN

Rev.	Comment	Date
4.		
3.		
2.		
1.	For Permit	2025-07-02

DESIGNED BY:

J. Z

CHECKED BY:

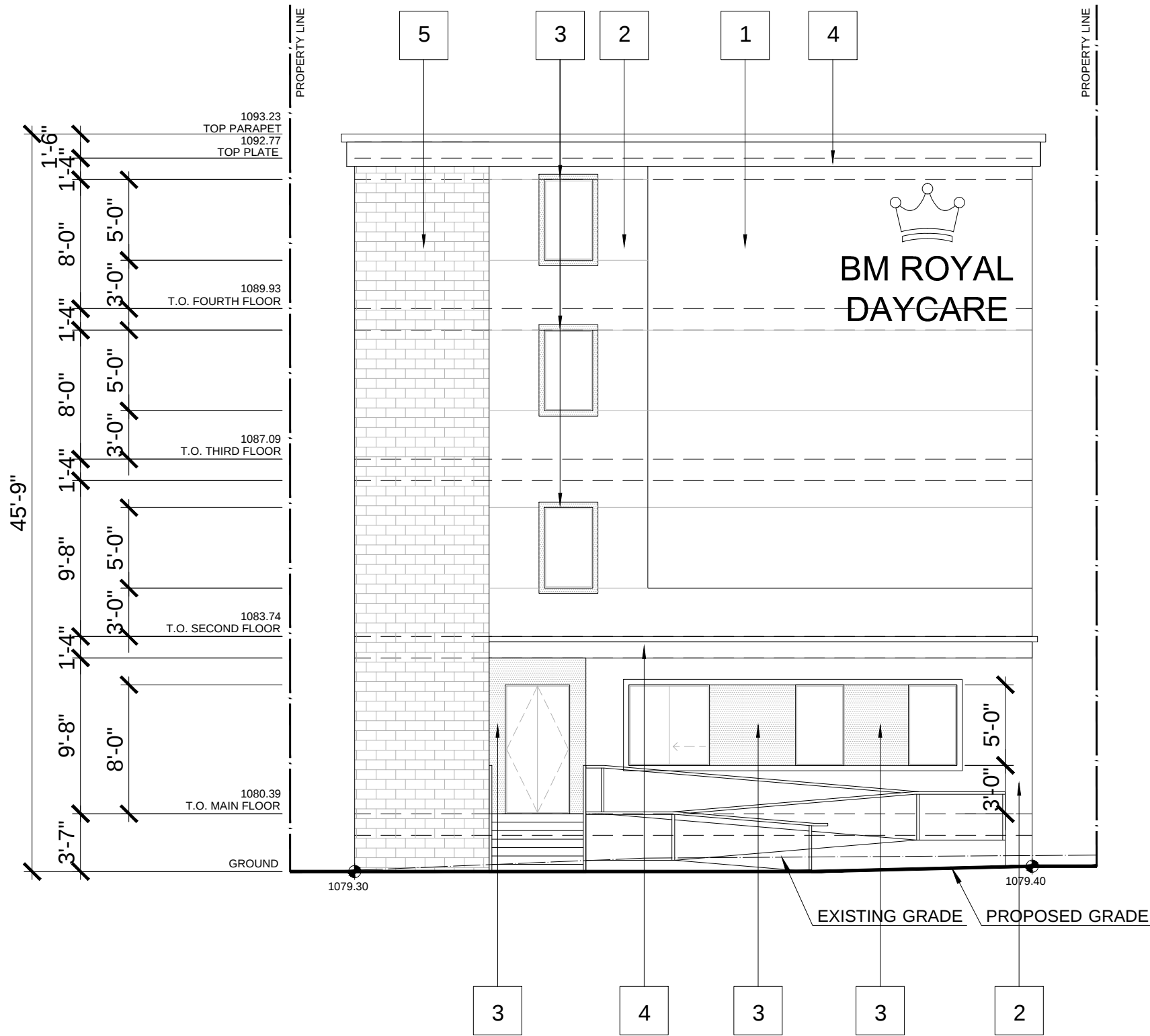
X. T

DATE:

2025-07-02

SHEET:

A-03



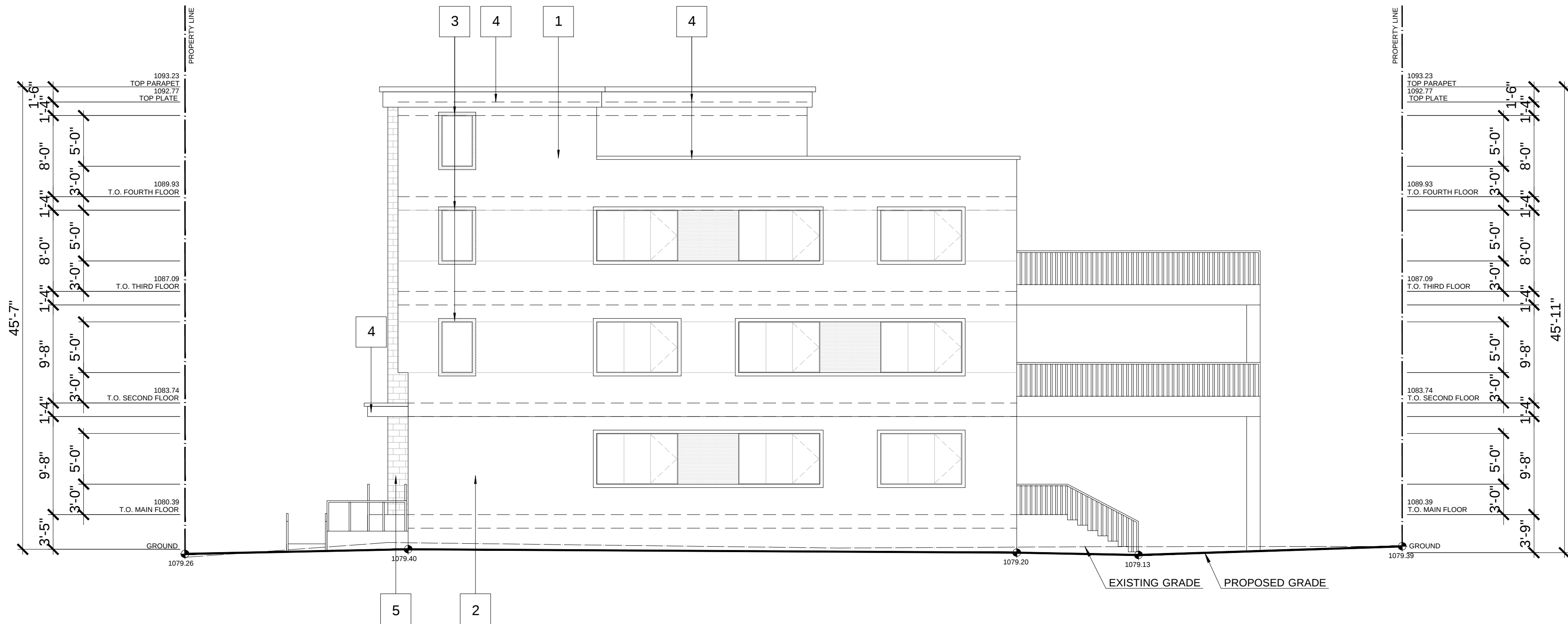
PROPOSED FRONT ELEVATION
1/8"=1'-0"



PROPOSED REAR ELEVATION
1/8"=1'-0"

PROJECT:		
DAYCARE		
131 14 AVENUE NW, CALGARY, AB		
DRAWING:		
PROPOSED FRONT & REAR ELEVATIONS		
Rev.	Comment	Date
4.		
3.		
2.		
1.	For Permit	2025-07-02
DESIGNED BY:		J. Z
CHECKED BY:		X. T
DATE:	2025-07-02	SHEET: A-07

- EXTERIOR FINISHES:**
- 1 STUCCO FINISH - LIGHT CREAM
 - 2 STUCCO FINISH - DARK BLUE
 - 3 STUCCO FINISH - GOLDEN YELLOW
 - 4 STUCCO FINISH - DARK BROWN
 - 5 BRICK CLADDING - DARK BROWN



PROPOSED RIGHT ELEVATION
1/8"=1'-0"

PROJECT:		
DAYCARE		
131 14 AVENUE NW, CALGARY, AB		
DRAWING:		
PROPOSED RIGHT ELEVATION		
Rev.	Comment	Date
4.		
3.		
2.		
1.	For Permit	2025-07-02

DESIGNED BY: J. Z	
CHECKED BY: X. T	
DATE: 2025-07-02	SHEET: A-08

EXTERIOR FINISHES:

1	STUCCO FINISH - LIGHT CREAM
2	STUCCO FINISH - DARK BLUE
3	STUCCO FINISH - GOLDEN YELLOW
4	STUCCO FINISH - DARK BROWN
5	BRICK CLADDING - DARK BROWN

