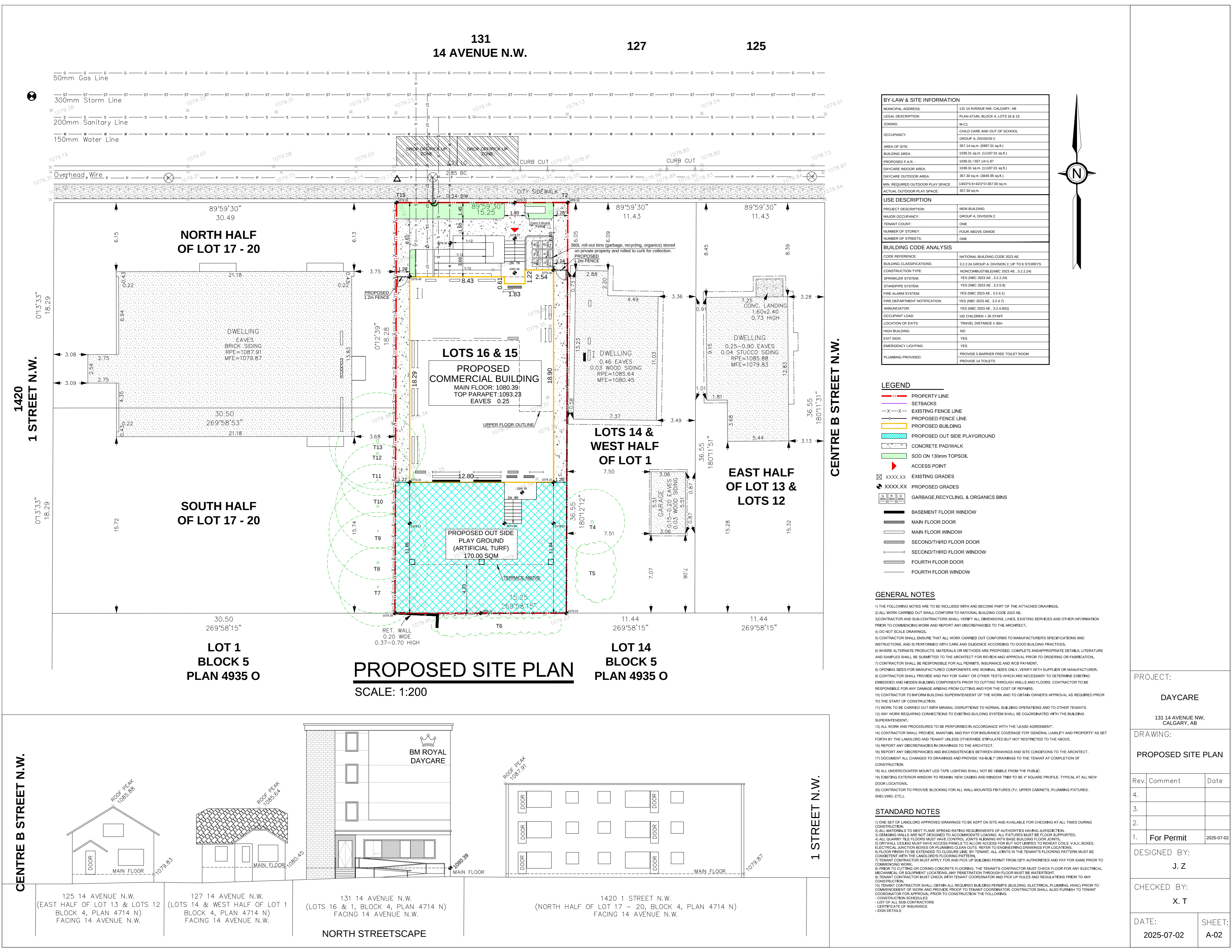




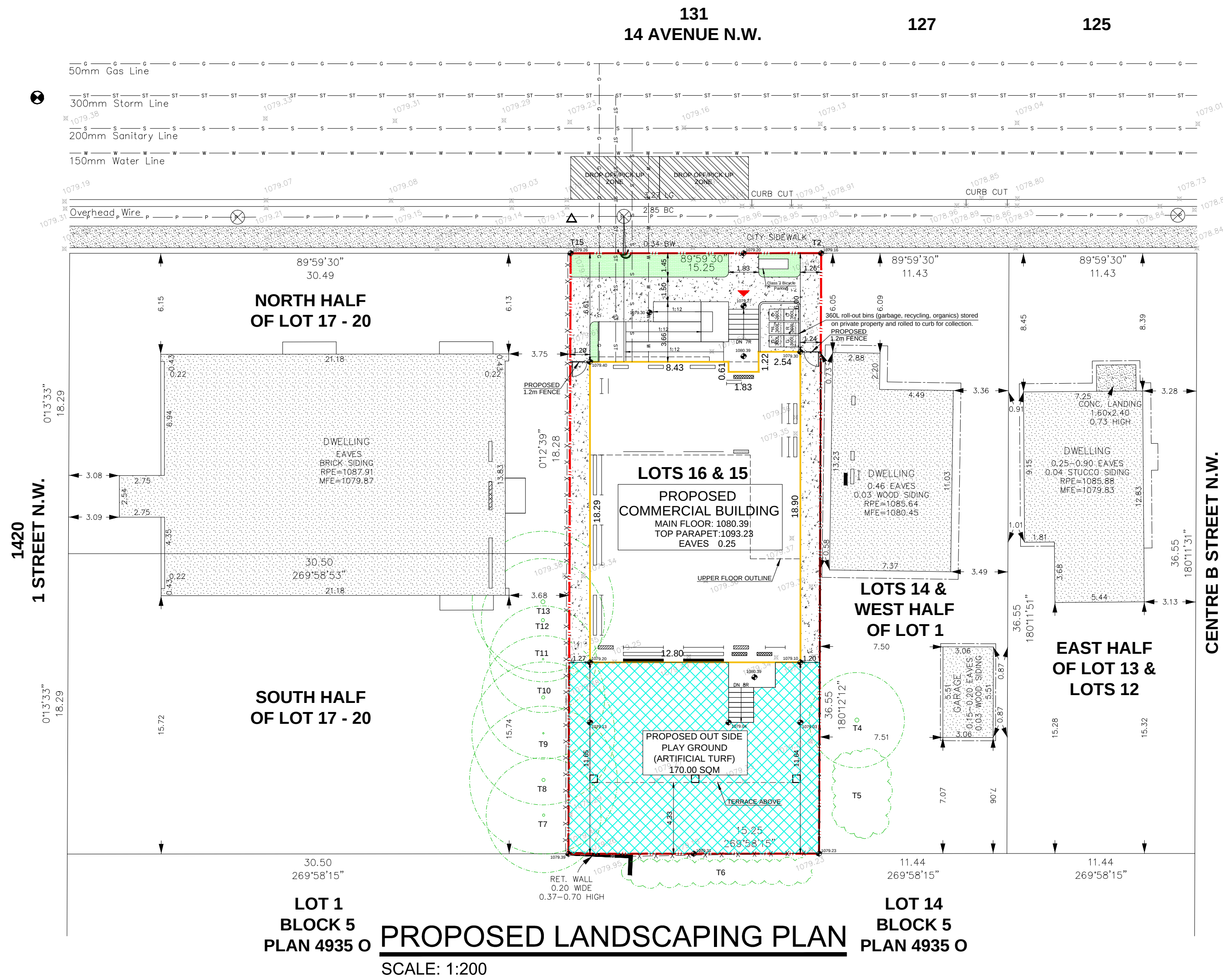
BY-LAW & SITE INFORMATION	
MUNICIPAL ADDRESS:	131 14 AVENUE NW, CALGARY, AB
LEGAL DESCRIPTION:	PLAN 4714N, BLOCK 4, LOTS 16 & 15
ZONING:	M-C1
OCCUPANCY:	CHILD CARE AND OUT OF SCHOOL GROUP A, DIVISION 2
AREA OF SITE:	557.14 sq.m. (5997.01 sq.ft.)
BUILDING AREA:	1039.31 sq.m. (11187.01 sq.ft.)
PROPOSED F.A.R.:	1039.31 / 557.14 = 1.87
DAYCARE INDOOR AREA:	1039.31 sq.m. (11187.01 sq.ft.)
DAYCARE OUTDOOR AREA:	357.30 sq.m. (3845.95 sq.ft.)
MIN. REQUIRED OUTDOOR PLAY SPACE:	1402'x4.5'x422'2"=357.00 sq.m.
ACTUAL OUTDOOR PLAY SPACE:	357.30 sq.m.
USE DESCRIPTION	
PROJECT DESCRIPTION:	NEW BUILDING
MAJOR OCCUPANCY:	GROUP A, DIVISION 2
TENANT COUNT:	ONE
NUMBER OF STOREY:	FOUR ABOVE GRADE
NUMBER OF STREETS:	ONE
BUILDING CODE ANALYSIS	
CODE REFERENCE:	NATIONAL BUILDING CODE 2023 AE
BUILDING CLASSIFICATIONS:	3.2.2.24 GROUP A, DIVISION 2, UP TO 6 STOREYS
CONSTRUCTION TYPE:	NONCOMBUSTIBLE(NBC 2023 AE, 3.2.2.24)
SPRINKLER SYSTEM:	YES (NBC 2023 AE, 3.2.2.24)
STANDPIPE SYSTEM:	YES (NBC 2023 AE, 3.2.5.6)
FIRE ALARM SYSTEM:	YES (NBC 2023 AE, 3.2.4.1)
FIRE DEPARTMENT NOTIFICATION:	YES (NBC 2023 AE, 3.2.4.7)
ANNUNCIATOR:	YES (NBC 2023 AE, 3.2.4.8(5))
OCCUPANT LOAD:	182 CHILDREN + 26 STAFF
LOCATION OF EXITS:	TRAVEL DISTANCE ≤ 30m
HIGH BUILDING:	NO
EXIT SIGN:	YES
EMERGENCY LIGHTING:	YES
PLUMBING PROVIDED:	PROVIDE 5 BARRIER FREE TOILET ROOM PROVIDE 14 TOILETS

- LEGEND**
- PROPERTY LINE
 - SETBACKS
 - EXISTING FENCE LINE
 - PROPOSED FENCE LINE
 - PROPOSED BUILDING
 - PROPOSED OUT SIDE PLAYGROUND
 - CONCRETE PAD/WALK
 - SOD ON 130mm TOPSOIL
 - ACCESS POINT
 - EXISTING GRADES
 - PROPOSED GRADES
 - GARBAGE, RECYCLING, & ORGANICS BINS
 - BASEMENT FLOOR WINDOW
 - MAIN FLOOR DOOR
 - MAIN FLOOR WINDOW
 - SECOND/THIRD FLOOR DOOR
 - SECOND/THIRD FLOOR WINDOW
 - FOURTH FLOOR DOOR
 - FOURTH FLOOR WINDOW

- GENERAL NOTES**
- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED DRAWINGS.
 - ALL WORK CARRIED OUT SHALL CONFORM TO NATIONAL BUILDING CODE 2023 AE.
 - CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LINES, EXISTING SERVICES AND OTHER INFORMATION PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.
 - WHERE ALTERNATE PRODUCTS, MATERIALS OR METHODS ARE PROPOSED, COMPLETE AND APPROPRIATE DETAILS, LITERATURE AND SAMPLES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING OR FABRICATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE AND WCB PAYMENT.
 - OPENING SIZES FOR MANUFACTURED COMPONENTS ARE NOMINAL SIZES ONLY. VERIFY WITH SUPPLIER OR MANUFACTURER.
 - CONTRACTOR SHALL PROVIDE AND PAY FOR "X-RAY" OR OTHER TESTS WHICH ARE NECESSARY TO DETERMINE EXISTING EMBEDDED AND HIDDEN BUILDING COMPONENTS PRIOR TO CUTTING THROUGH WALLS AND FLOORS. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE ARISING FROM CUTTING AND FOR THE COST OF REPAIRS.
 - CONTRACTOR TO INFORM BUILDING SUPERINTENDENT OF THE WORK AND TO OBTAIN OWNER'S APPROVAL AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
 - WORK TO BE CARRIED OUT WITH MINIMAL DISRUPTIONS TO NORMAL BUILDING OPERATIONS AND TO OTHER TENANTS.
 - ANY WORK REQUIRING CONNECTIONS TO EXISTING BUILDING SYSTEM SHALL BE CO-ORDINATED WITH THE BUILDING SUPERINTENDENT.
 - ALL WORK AND PROCEDURES TO BE PERFORMED IN ACCORDANCE WITH THE LEASE AGREEMENT.
 - CONTRACTOR SHALL PROVIDE, MAINTAIN, AND PAY FOR INSURANCE COVERAGE FOR "GENERAL LIABILITY AND PROPERTY" AS SET FORTH BY THE LANDLORD AND TENANT UNLESS OTHERWISE STIPULATED BUT NOT RESTRICTED TO THE ABOVE.
 - REPORT ANY DISCREPANCIES IN DRAWINGS TO THE ARCHITECT.
 - REPORT ANY DISCREPANCIES AND INCONSISTENCIES BETWEEN DRAWINGS AND SITE CONDITIONS TO THE ARCHITECT.
 - DOCUMENT ALL CHANGES TO DRAWINGS AND PROVIDE "AS-BUILT" DRAWINGS TO THE TENANT AT COMPLETION OF CONSTRUCTION.
 - ALL UNDERCOUNTER MOUNT LED TAPE LIGHTING SHALL NOT BE VISIBLE FROM THE PUBLIC.
 - EXISTING EXTERIOR WINDOW TO REMAIN: NEW CASING AND WINDOW TRIM TO BE 4" SQUARE PROFILE, TYPICAL AT ALL NEW DOOR LOCATIONS.
 - CONTRACTOR TO PROVIDE BLOCKING FOR ALL WALL-MOUNTED FIXTURES (TV, UPPER CABINETS, PLUMBING FIXTURES, SHELVING, ETC.).

- STANDARD NOTES**
- ONE SET OF LANDLORD APPROVED DRAWINGS TO BE KEPT ON SITE AND AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION.
 - ALL MATERIALS TO MEET FLAME SPREAD RATING REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - DEMISING WALLS ARE NOT DESIGNED TO ACCOMMODATE LOADING. ALL FIXTURES MUST BE FLOOR SUPPORTED.
 - ALL CLAY TILE FLOORS MUST HAVE CONTROL JOINTS ALIGNING WITH BASE BUILDING FLOOR JOINTS.
 - DRYWALL CEILING MUST HAVE ACCESS PANELS TO ALLOW ACCESS FOR BUT NOT LIMITED TO REHEAT COILS, V.A.V. BOXES, ELECTRICAL JUNCTION BOXES OR PLUMBING CLEAN OUTS. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS.
 - FLOOR FINISH TO BE EXTENDED TO CLOSURE LINE, BY TENANT. ALL JOINTS IN THE TENANT'S FLOORING PATTERN MUST BE CONSISTENT WITH THE LANDLORD'S FLOORING PATTERN.
 - TENANT CONTRACTOR MUST APPLY FOR AND PICK UP BUILDING PERMIT FROM CITY AUTHORITIES AND PAY FOR SAME PRIOR TO COMMENCING WORK.
 - PRIOR TO CUTTING OR CORING CONCRETE FLOORING, THE TENANT'S CONTRACTOR MUST CHECK FLOOR FOR ANY ELECTRICAL, MECHANICAL OR EQUIPMENT LOCATIONS. ANY PENETRATION THROUGH FLOOR MUST BE WATER-TIGHT.
 - TENANT CONTRACTOR MUST CHECK WITH TENANT COORDINATOR AND PICK UP RULES AND REGULATIONS PRIOR TO ANY CONSTRUCTION.
 - TENANT CONTRACTOR SHALL OBTAIN ALL REQUIRED BUILDING PERMITS (BUILDING, ELECTRICAL, PLUMBING, HVAC) PRIOR TO COMMENCEMENT OF WORK AND PROVIDE EVIDENCE OF SUCH TO TENANT COORDINATOR. CONTRACTOR SHALL ALSO FURNISH TO TENANT COORDINATOR FOR APPROVAL PRIOR TO CONSTRUCTION THE FOLLOWING:
 - CONSTRUCTION SCHEDULES
 - LIST OF ALL SUB-CONTRACTORS
 - CERTIFICATE OF INSURANCE
 - SIGN DETAILS

PROJECT:		
DAYCARE		
131 14 AVENUE NW, CALGARY, AB		
DRAWING:		
PROPOSED SITE PLAN		
Rev.	Comment	Date
4.		
3.		
2.		
1.	For Permit	2025-07-02
DESIGNED BY:		
J. Z		
CHECKED BY:		
X. T		
DATE:		SHEET:
2025-07-02		A-02



- LEGEND**
- PROPERTY LINE
 - SETBACKS
 - EXISTING FENCE LINE
 - PROPOSED FENCE LINE
 - PROPOSED BUILDING
 - PROPOSED OUT SIDE PLAYGROUND
 - CONCRETE PADWALK
 - SOD ON 130mm TOPSOIL
 - ACCESS POINT
 - XXXX.XX EXISTING GRADES
 - XXXX.XX PROPOSED GRADES
 - GARbage, RECYCLING, & ORGANICS BINS
 - BASEMENT FLOOR WINDOW
 - MAIN FLOOR DOOR
 - MAIN FLOOR WINDOW
 - SECOND/THIRD FLOOR DOOR
 - SECOND/THIRD FLOOR WINDOW
 - FOURTH FLOOR DOOR
 - FOURTH FLOOR WINDOW

LANDSCAPED AREAS			
HARD SURFACED		SOFT SURFACED	
CONCRETE PADWALK	93.49 SQ.M.	SOD	18.81 SQ.M.
		ARTIFICIAL TURF	170.00 SQ.M.
TOTAL LANDSCAPED AREA : 282.30 SQ.M.			



TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Bush	-	3.00	5.00	On Property Line	to be Removed
T2	Bush	-	2.50	4.00	In City Property	to Stay
T3	Bush	-	2.50	4.00	On Property Line	to be Removed
T4	Coniferous	0.25	5.80	6.00	In Adjacent Property	to Stay
T5	Bush	-	4.00	6.00	In Adjacent Property	to Stay
T6	Bush	-	1.60	3.50	In Adjacent Property	to Stay
T7	Coniferous	0.15	7.00	8.00	In Adjacent Property	to Stay
T8	Coniferous	0.20	9.00	9.00	In Adjacent Property	to Stay
T9	Coniferous	0.10	8.70	8.50	In Adjacent Property	to Stay
T10	Coniferous	0.20	7.50	8.00	In Adjacent Property	to Stay
T11	Coniferous	0.10	6.50	7.00	In Adjacent Property	to Stay
T12	Coniferous	0.20	7.50	8.00	In Adjacent Property	to Stay
T13	Coniferous	0.25	8.60	9.00	In Adjacent Property	to Stay
T14	Bush	-	2.80	3.20	On Property Line	to be Removed
T15	Bush	-	2.80	3.20	In City Property	to Stay

WATER CLOSET, LAVATORIES, GRAB BAR, SOAP DISPENSER, HAND-HELD SHOWER HEAD IN THE BARRIER-FREE WASHROOM SHOULD COMPLY WITH N.B.C. 3.8.3.12 AND 3.8.3.13

PROJECT:

DAYCARE

131 14 AVENUE NW,
CALGARY, AB

DRAWING:

PROPOSED
LANDSCAPING PLAN

Rev.	Comment	Date
4.		
3.		
2.		
1.	For Permit	2025-07-02

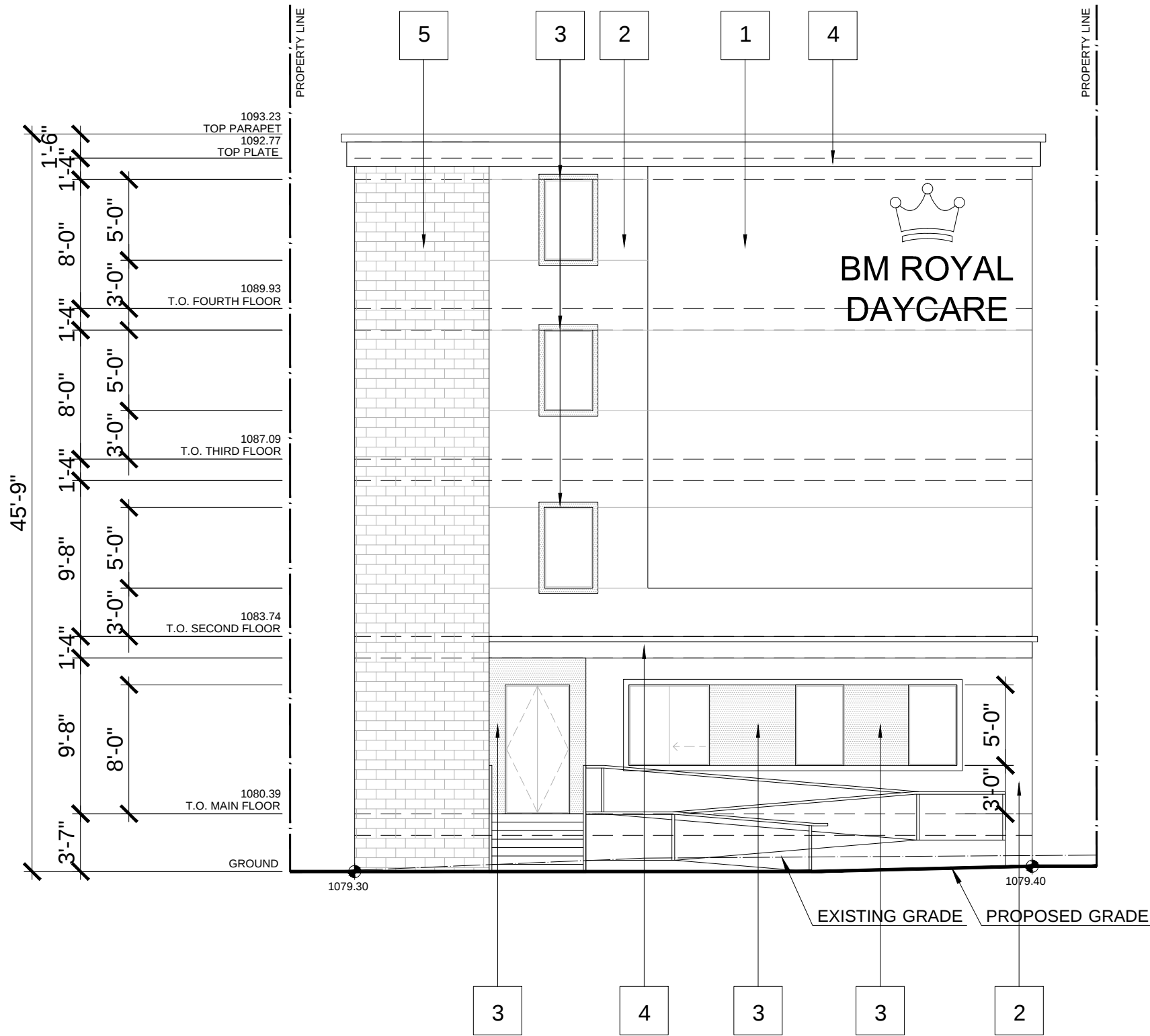
DESIGNED BY:

J. Z

CHECKED BY:

X. T

DATE:	SHEET:
2025-07-02	A-03



PROPOSED FRONT ELEVATION
1/8"=1'-0"

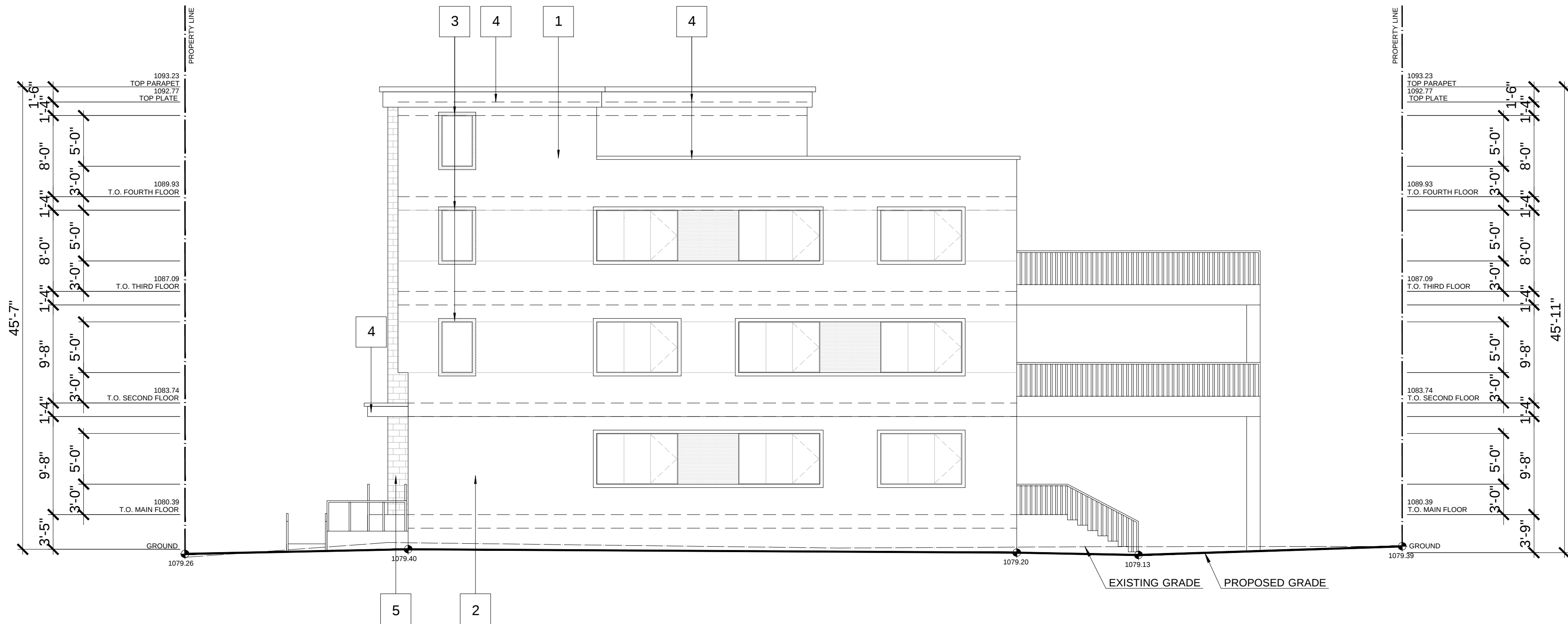


PROPOSED REAR ELEVATION
1/8"=1'-0"

PROJECT:		
DAYCARE		
131 14 AVENUE NW, CALGARY, AB		
DRAWING:		
PROPOSED FRONT & REAR ELEVATIONS		
Rev.	Comment	Date
4.		
3.		
2.		
1.	For Permit	2025-07-02

DESIGNED BY:	
J. Z	
CHECKED BY:	
X. T	
DATE:	SHEET:
2025-07-02	A-07

EXTERIOR FINISHES:	
1	STUCCO FINISH - LIGHT CREAM
2	STUCCO FINISH - DARK BLUE
3	STUCCO FINISH - GOLDEN YELLOW
4	STUCCO FINISH - DARK BROWN
5	BRICK CLADDING - DARK BROWN



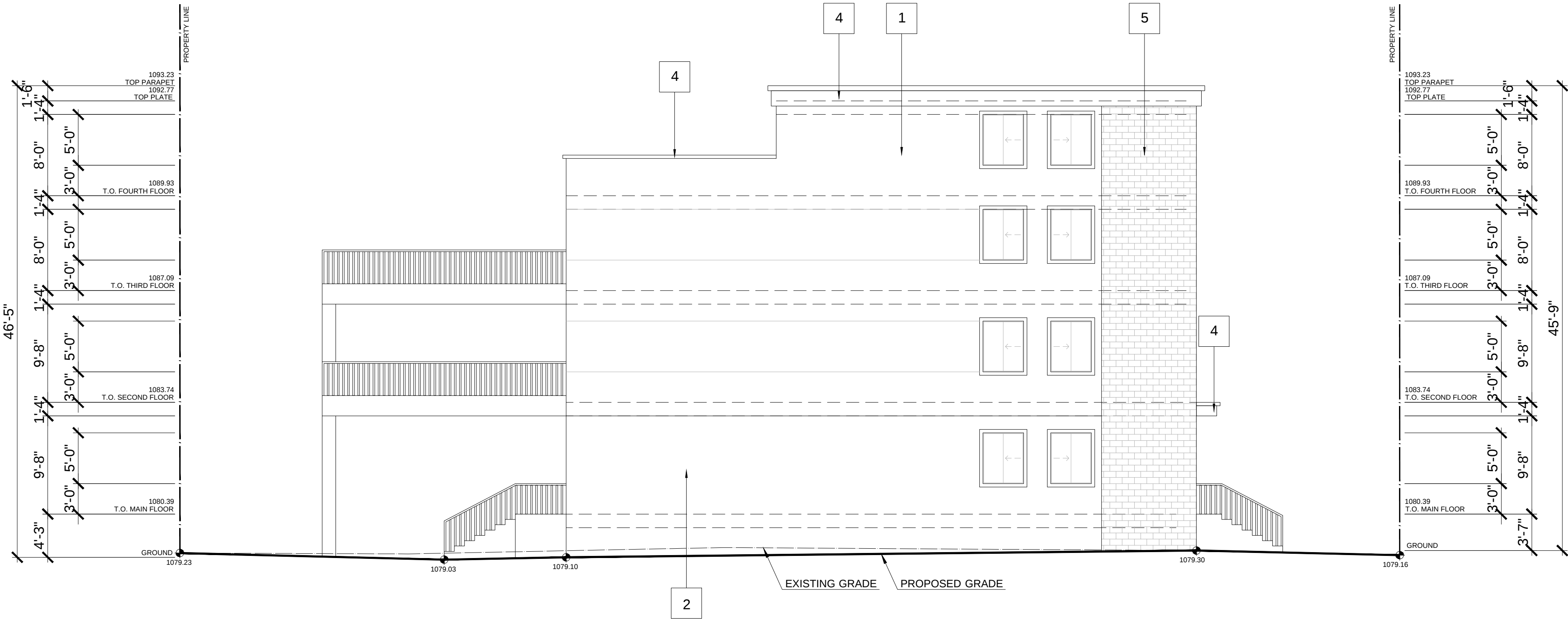
PROPOSED RIGHT ELEVATION
1/8"=1'-0"

PROJECT:		
DAYCARE		
131 14 AVENUE NW, CALGARY, AB		
DRAWING:		
PROPOSED RIGHT ELEVATION		
Rev.	Comment	Date
4.		
3.		
2.		
1.	For Permit	2025-07-02

DESIGNED BY: J. Z	
CHECKED BY: X. T	
DATE: 2025-07-02	SHEET: A-08

EXTERIOR FINISHES:

1	STUCCO FINISH - LIGHT CREAM
2	STUCCO FINISH - DARK BLUE
3	STUCCO FINISH - GOLDEN YELLOW
4	STUCCO FINISH - DARK BROWN
5	BRICK CLADDING - DARK BROWN



PROPOSED LEFT ELEVATION
1/8"=1'-0"

PROJECT:		
DAYCARE		
131 14 AVENUE NW, CALGARY, AB		
DRAWING:		
PROPOSED LEFT ELEVATION		
Rev.	Comment	Date
4.		
3.		
2.		
1.	For Permit	2025-07-02

DESIGNED BY: J. Z	
CHECKED BY: X. T	
DATE: 2025-07-02	SHEET: A-09

- EXTERIOR FINISHES:**
- 1 STUCCO FINISH - LIGHT CREAM
 - 2 STUCCO FINISH - DARK BLUE
 - 3 STUCCO FINISH - GOLDEN YELLOW
 - 4 STUCCO FINISH - DARK BROWN
 - 5 BRICK CLADDING - DARK BROWN