

# BLUEBIRD SELF STORAGE - MEDICINE HILL

LOT: 12 BLOCK: 3 PLAN: 251 0905  
1152 NA'A DRIVE S.W., CALGARY, ALBERTA

L 2025-11-28 RESUBMITTED FOR DTR-1 COMMENTS



ARCHITECTURAL  
PROJECT # 25-010



CLIENT

**AMENDED DRAWINGS**  
DP No Date Received  
DP2025-04914 December 1, 2025  
THESE DRAWINGS REFER TO THE  
ABOVE DEVELOPMENT PERMIT NO.



DRAWING LIST (DEVELOPMENT PERMIT)		
ARCHITECTURAL (AXIOM ARCHITECTURE INC.)		
DWG #	DRAWING DESCRIPTION	OVERALL REV L
A0.1	OVERALL CONTEXT PLAN	L
A0.2	ENLARGED CONTEXT PLAN AND BYLAW INFORMATION	L
A0.3	FLOOD & AVA MAPS	L
A1.1	SITE PLAN	L
A1.2	LANDSCAPE & EXISTING TREE PLAN	L
A1.3	SITE & LANDSCAPE DETAILS	L
A1.4	SITE PHOTOS	L
A1.5	ADJACENT CONTEXT SITE PHOTOS	L
A1.6	SHADOW STUDY (SPRING EQUINOX & SUMMER SOLSTICE)	L
A1.7	SHADOW STUDY (AUTUMN EQUINOX & WINTER SOLSTICE)	L
A1.8	SHADOW STUDY (WINTER SOLSTICE)	L
A2.1	MAIN FLOOR PLAN & BUILDING CODE INFORMATION	L
A2.2	SECOND FLOOR PLAN	L
A2.3	THIRD FLOOR PLAN	L
A2.4	FOURTH & FIFTH FLOOR PLAN	L
A2.5	ROOF PLAN	L
A3.1	EXTERIOR ELEVATIONS	L
A3.2	EXTERIOR ELEVATIONS	L
A3.3	EXTERIOR BUILDING RENDERINGS	L
A3.4	EXTERIOR BUILDING RENDERINGS	L
A3.5	EXTERIOR BUILDING RENDERINGS	L
A4.1	BUILDING SECTIONS	L
A5.1	GLAZING COMPLIANCE EXTERIOR ELEVATION	L

DRAWINGS ARE TO BE READ, NOT SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR DISCREPANCIES IMMEDIATELY. ALL RIGHTS RESERVED. ANY REPRODUCTION, DISTRIBUTION AND/OR USE OF THESE DRAWINGS FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED IS PROHIBITED.



**OVERALL CONTEXT PLAN**  
SCALE: N.T.S.



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ARCHITECTURAL:  
**Axiom**  
Architecture Inc.  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311  
www.AxiomArch.ca  
AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:  
**ISSUED FOR DEVELOPMENT PERMIT**

PROJECT INFORMATION:  
**BLUEBIRD SELF STORAGE - MEDICINE HILL**  
LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
CALGARY, ALBERTA

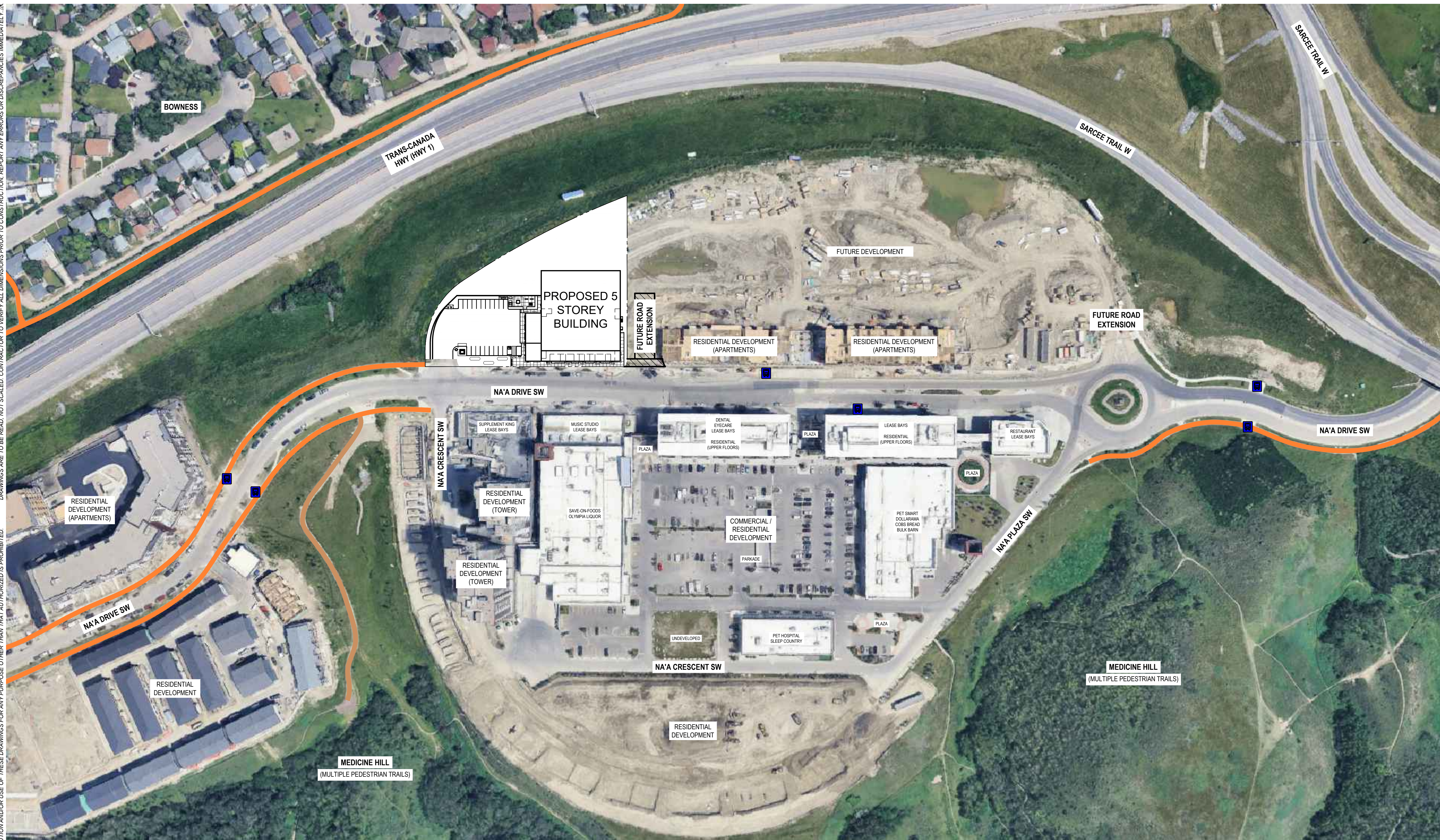


ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

DRAWING TITLE:  
**OVERALL CONTEXT PLAN**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK  
**A0.1**

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**SYMBOL LEGEND**

	- CITY OF CALGARY BUS STOP
	- TRAIL
	- REGIONAL OFF STREET PATHWAY

**ENLARGED CONTEXT PLAN**  
SCALE: N.T.S.

**AMENDED DRAWINGS**  
 DP No                      Date Received  
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<b>BYLAW INFORMATION</b>	LAND USE BYLAW # 35D2025 & 1P2007														
<b>ZONING:</b>	DIRECT CONTROL - 35D2025 (C-COR1)														
<b>SITE SIZE:</b>	8,099.59 sqm (87,183.24 sqft) (2.00 acres)														
<b>SITE COVERAGE:</b>	REQUIRED: AS DETERMINED BY DEVELOPMENT AUTHORITY PROVIDED: 33.41% COVERAGE														
<b>BUILDING AREAS:</b>	<table border="1"> <tr><td>MAIN FLOOR</td><td>2,165.21 sqm (23,306.11 sqft)</td></tr> <tr><td>SECOND FLOOR / FOOTPRINT</td><td>2,705.75 sqm (29,124.44 sqft)</td></tr> <tr><td>THIRD FLOOR</td><td>2,165.21 sqm (23,306.11 sqft)</td></tr> <tr><td>FOURTH FLOOR</td><td>2,165.21 sqm (23,306.11 sqft)</td></tr> <tr><td>FIFTH FLOOR</td><td>2,165.21 sqm (23,306.11 sqft)</td></tr> <tr><td>GROSS FLOOR AREA</td><td>11,366.58 sqm (122,348.88 sqft)</td></tr> <tr><td>F.A.R.</td><td>1.40 (2.0 MAXIMUM)</td></tr> </table>	MAIN FLOOR	2,165.21 sqm (23,306.11 sqft)	SECOND FLOOR / FOOTPRINT	2,705.75 sqm (29,124.44 sqft)	THIRD FLOOR	2,165.21 sqm (23,306.11 sqft)	FOURTH FLOOR	2,165.21 sqm (23,306.11 sqft)	FIFTH FLOOR	2,165.21 sqm (23,306.11 sqft)	GROSS FLOOR AREA	11,366.58 sqm (122,348.88 sqft)	F.A.R.	1.40 (2.0 MAXIMUM)
MAIN FLOOR	2,165.21 sqm (23,306.11 sqft)														
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FIFTH FLOOR	2,165.21 sqm (23,306.11 sqft)														
GROSS FLOOR AREA	11,366.58 sqm (122,348.88 sqft)														
F.A.R.	1.40 (2.0 MAXIMUM)														
<b>BUILDING HEIGHT:</b>	REQUIRED: MAX. 20.0m (65'-7 13/32") PROVIDED: 17.13m (56'-2 1/2")														
<b>FRONT YARD SETBACK: (N/A DRIVE S.W.)</b>	REQUIRED: MAX. 3.0m (9'-10 1/8") PROVIDED: (S) 3.0m (9'-10 1/8")														
<b>REAR YARD SETBACK:</b>	REQUIRED: 3.0m (9'-10 1/8") PROVIDED: (N) 21.0m (68'-10 11/16")														
<b>SIDE YARD SETBACKS:</b>	REQUIRED: 3.0m (9'-10 1/8") PROVIDED: (E) 3.68m (12'-0 7/8") PROVIDED: (W) 36.37m (119'-4")														
<b>LANDSCAPING REQUIREMENTS:</b>	SEE LANDSCAPE BYLAW INFORMATION ON A1.2 FOR MORE INFORMATION														
<b>PARKING SPACES:</b>	REQUIRED: SELF STORAGE: N/A OFFICE: 1 STALL / 100 sqm (281.81 sqm / 100 = 2.8 [3] STALLS) RETAIL: 1 STALL / 250 sqm (97.08 sqm / 250 = 0.39 [1] STALLS) TOTAL REQUIRED: 4 STALLS PROVIDED: 21 STALLS (20 REGULAR & 1 BARRIER FREE) STALLS LABELED AS VISITOR (V), STAFF (S) & OFFICE (O)														
<b>LOADING SPACES:</b>	REQUIRED: 1 STALL / 9,300 sqm OF G.F.A. (11,366.58 sqm / 9,300 = 1.2 [2] STALLS) PROVIDED: 3 STALLS														
<b>BICYCLE PARKING:</b>	REQUIRED: (CLASS 1) MINIMUM FOR EACH DWELLING UNIT AND LIVE WORK UNIT IS 0.5 STALLS PER UNIT WHEN TOTAL NUMBER OF UNITS EQUALS OR EXCEEDS 20. REQUIRED: (CLASS 2) MINIMUM FOR EACH DWELLING UNIT AND LIVE WORK UNIT IS 2.0 STALLS PER UNIT WHEN TOTAL NUMBER OF UNITS IS EQUAL TO OR LESS 20. MINIMUM FOR EACH DWELLING UNIT AND LIVE WORK UNIT IS 0.1 STALLS PER UNIT WHEN TOTAL NUMBER OF UNITS IS GREATER THAN 20. ALL OTHER USES IS 5% OF THE NUMBER OF MOTOR VEHICLE PARKING STALLS REQUIRED: 5% OF 21 MOTOR VEHICLE STALLS = (1.05) 2 STALLS PROVIDED: 2 STALLS														
<b>COMMERCIAL USE:</b>	REQUIRED: MIN. 10% OF THE GROUND FLOOR G.F.A. MUST CONTAIN COMMERCIAL USES (10% OF 2,705.75sqm [29,124.45sqft] = 270.58sqm [2,912.50sqft]) PROVIDED: 281.81sqm [3,033.38sqft] REQUIRED: MIN. 60% OF THE LENGTH OF THE FACADE LOCATED ON THE GROUND FLOOR AND FRONTING N/A DRIVE SW MUST CONTAIN COMMERCIAL USES (60% OF 55.37m = 33.22m) PROVIDED: 46.10m														
<b>RULES FOR FACADES:</b>	SEE ADDITIONAL INFORMATION ON A5.1. REQUIRED: THE FACADE OF A BUILDING ON THE GROUND FLOOR FACING N/A DRIVE SW MUST PROVIDE WINDOWS OF TRANSPARENT AND UNOBSCURED GLASS THAT OCCUPY A MIN. 50% OF THE FACADE BETWEEN THE HEIGHT OF 0.6m AND 2.4m (50% OF 99.67sqm [1,072.84sqft] = 49.84sqm [536.47sqft]) PROVIDED: 55.73 sqm [599.84sqft] (55.9%) UNOBSCURED GLASS														
<b>RULES FOR SELF STORAGE FACILITY:</b>	SEE ADDITIONAL INFORMATION ON A3.3. INDIVIDUAL ACCESS TO EACH SELF STORAGE UNIT MUST BE ENTIRELY INTERNAL TO THE BUILDING. REQUIRED: THE FACADE OF A BUILDING LOCATED ABOVE THE GROUND FLOOR AND FACING A STREET MUST PROVIDE WINDOWS WITH UNOBSCURED GLASS THAT OCCUPY A MINIMUM OF 15% OF THE FACADE. THE PERIMETER WINDOWS ABOVE THE GROUND FLOOR MUST BE ABUTTED BY INTERNAL CIRCULATION CORRIDORS THAT ACCESS THE SELF STORAGE UNITS, OR BY COMMON AREAS (15% OF 439.46sqm [4,730.31sqft] = 65.92sqm [709.56sqft]) PROVIDED: 71.21sqm [766.50sqft] (16.2%) UNOBSCURED GLASS REQUIRED: A SELF STORAGE FACILITY MUST NOT EXCEED 90% OF THE GROUND FLOOR G.F.A. OF A BUILDING (90% OF 2,705.75sqm [29,124.45sqft] = MAX. 2,435.18sqm [26,212.06sqft]) PROVIDED: 2,165.21sqm [23,306.13sqft]														



CLIENT:

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

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AXIOM ARCHITECTURE INC. (RED DEER)  
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STAMPS:

**ISSUED FOR DEVELOPMENT PERMIT**

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BLOCK: 3  
PLAN: 251 0905  
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CALGARY, ALBERTA

REVISIONS:

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DRAWING TITLE:

**ENLARGED CONTEXT PLAN AND BYLAW INFORMATION**

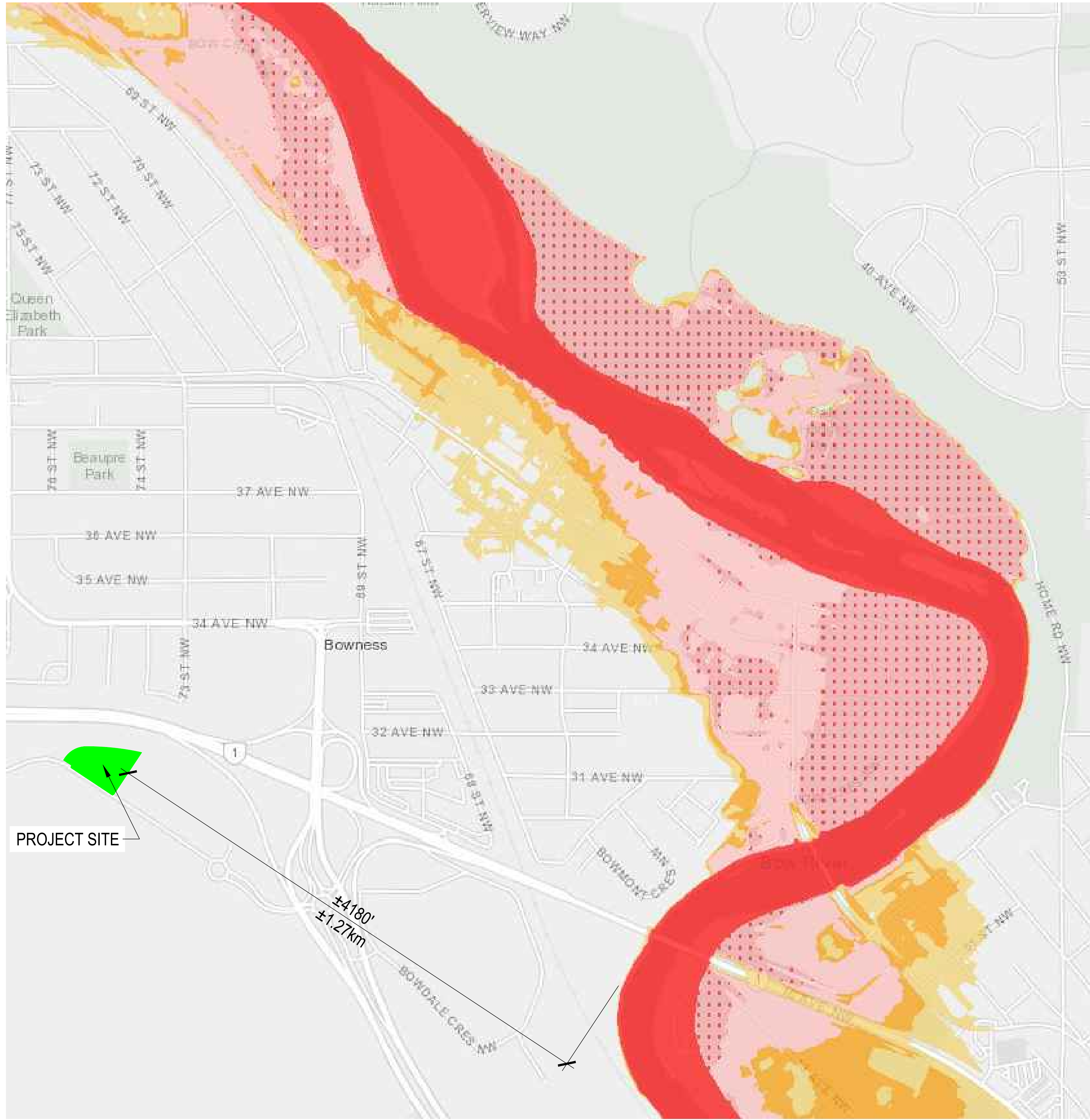
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**A0.2**

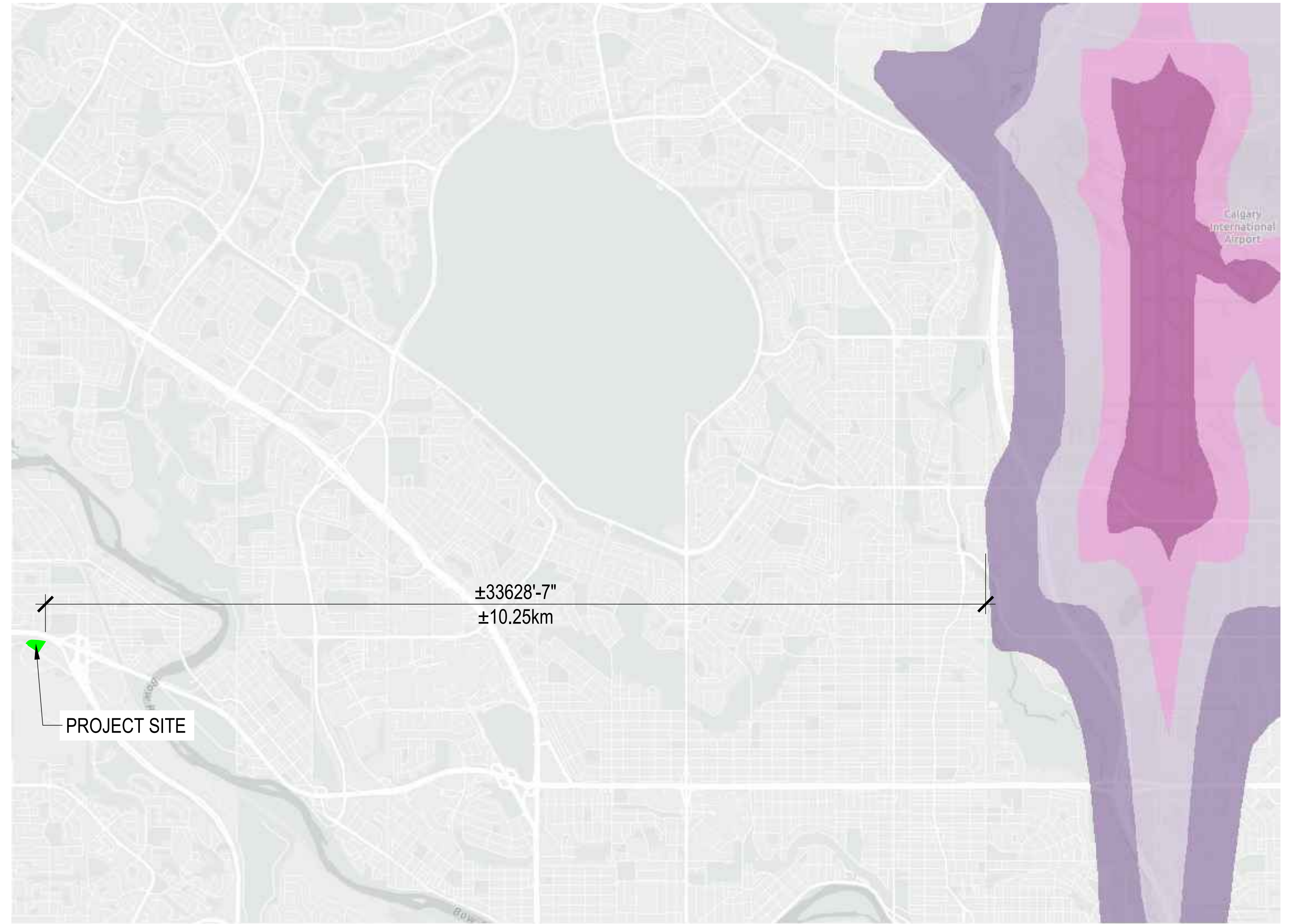
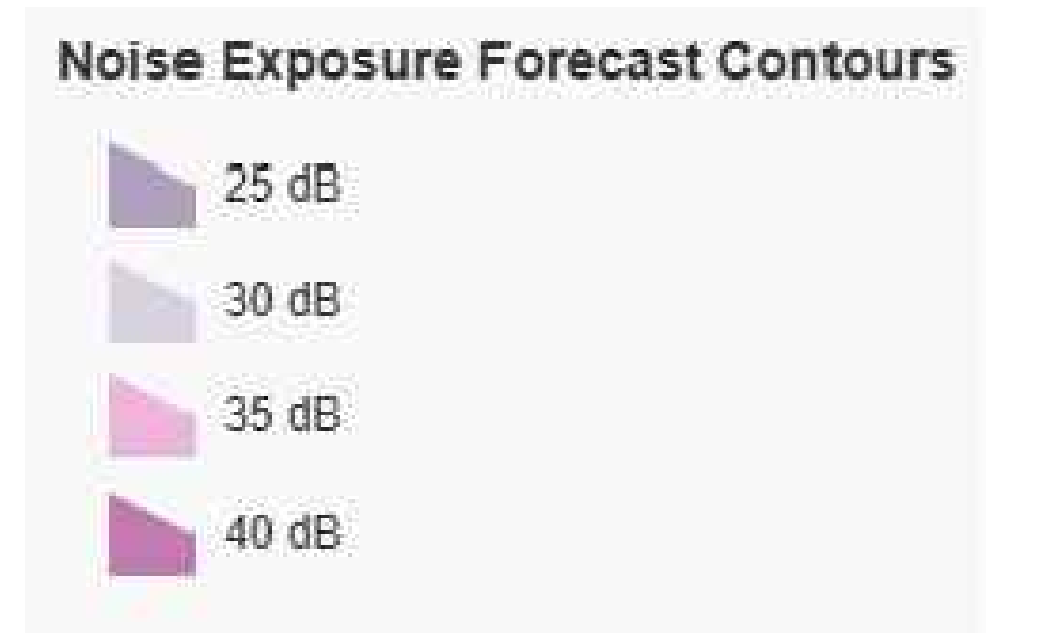
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- Design Flood**
- Floodway
  - Flood Fringe
  - High Hazard Flood Fringe
  - Protected Flood Fringe
  - Overland Flow (Flood Fringe)
  - Flood Berm
- Larger Floods**
- 1:200 Flood
  - 1:500 Flood



**FLOOD MAP**  
SCALE: N.T.S.

**AVAP MAP**  
SCALE: N.T.S.

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

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DRAWING TITLE:

**FLOOD & AVA MAPS**

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 DRAWN BY: KBK

A0.3

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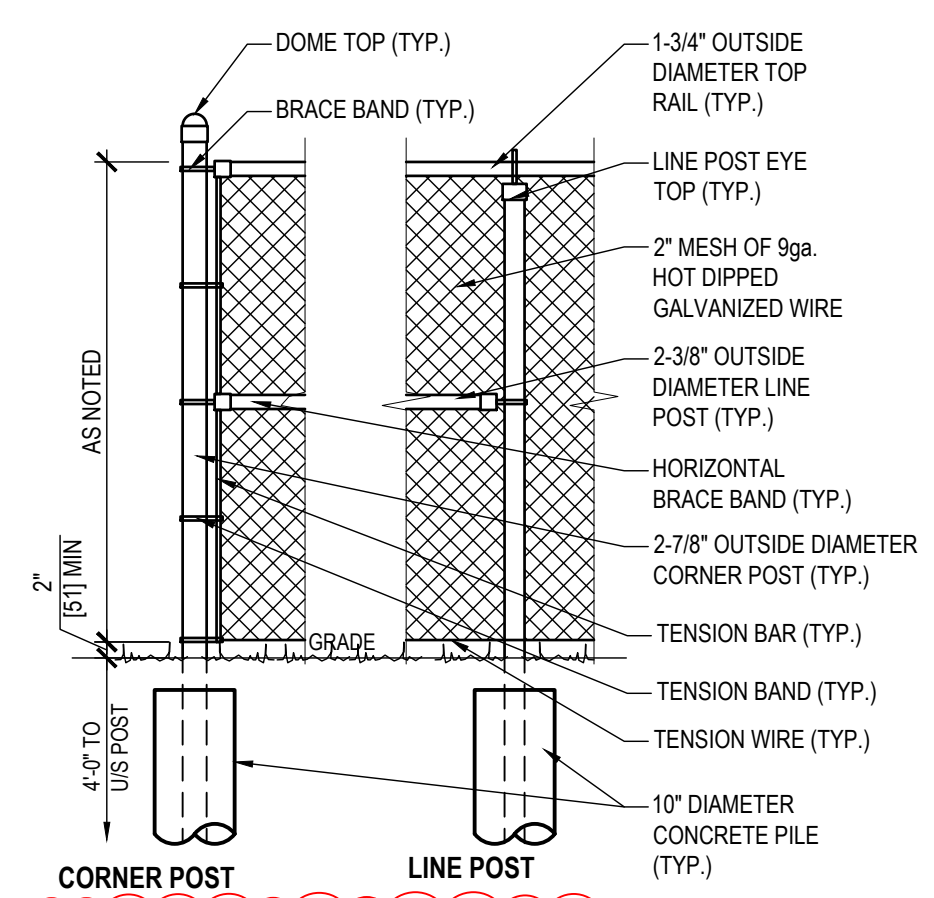
TRANS-CANADA HIGHWAY #1  
(16th AVE N.W.)  
ROAD PLAN 272 IX

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ROAD PLAN  
911 2537



**LEGO BLOCK RETAINING WALL**  
SCALE: 1/2"=1'-0"



**CHAINLINK FENCE**  
SCALE: 1/2"=1'-0"

LOT 1  
BLOCK 3  
PLAN 161 2946  
(DIRECT CONTROL  
86D2020)

LOT 11  
BLOCK 3  
PLAN 221 0056  
(DIRECT CONTROL  
86D2020)

LOT 8 MR  
BLOCK 2  
PLAN 161 2946  
(SPECIAL PURPOSE  
- S-SPR)

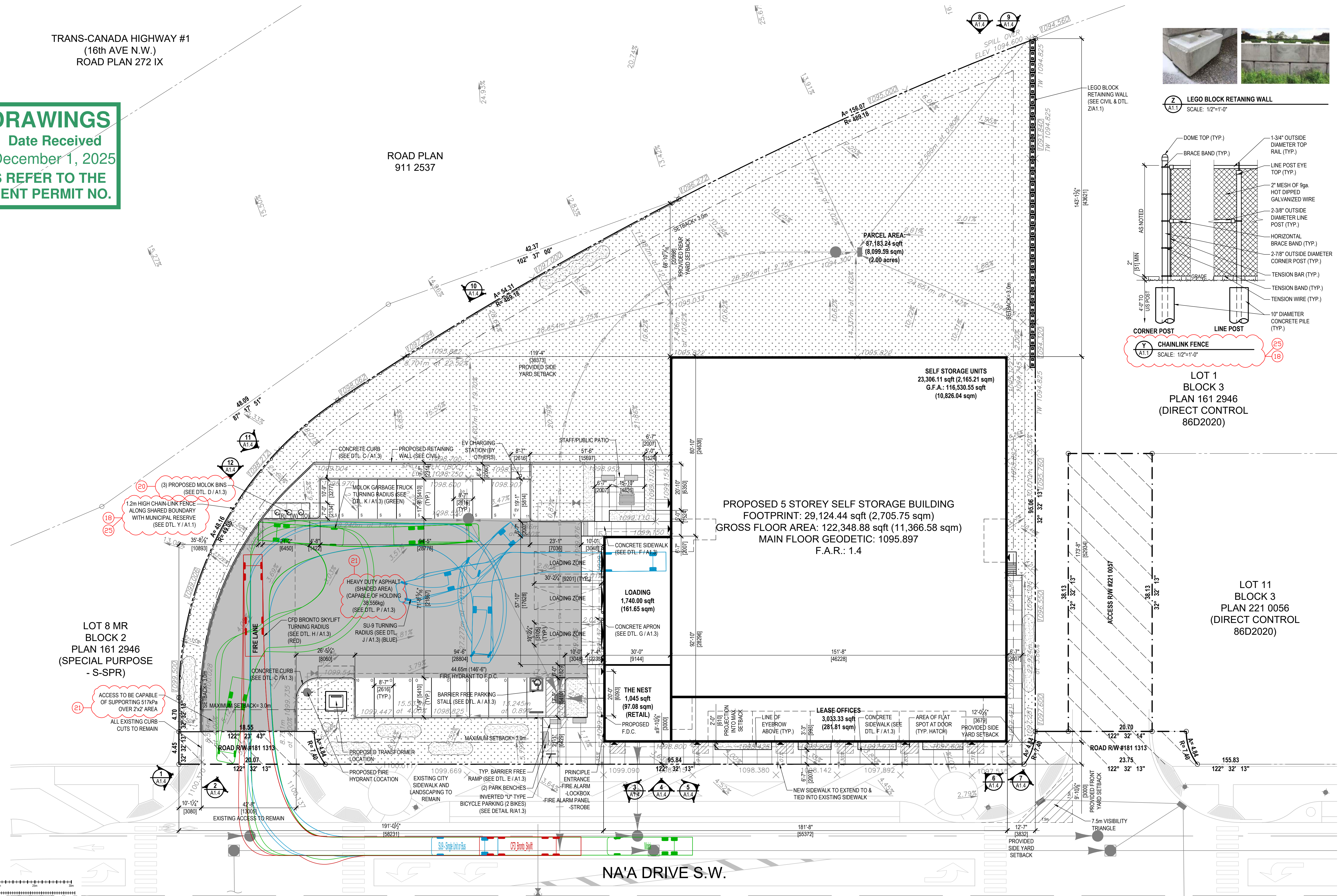
PROPOSED 5 STOREY SELF STORAGE BUILDING  
FOOTPRINT: 29,124.44 sqft (2,705.75 sqm)  
GROSS FLOOR AREA: 122,348.88 sqft (11,366.58 sqm)  
MAIN FLOOR GEODETIC: 1095.897  
F.A.R.: 1.4

SELF STORAGE UNITS  
23,306.11 sqft (2,165.21 sqm)  
G.F.A.: 116,530.55 sqft  
(10,826.04 sqm)

LOADING  
1,740.00 sqft  
(161.65 sqm)

THE NEST  
1,045 sqft  
(97.08 sqm)  
(RETAIL)

LEASE OFFICES  
3,033.33 sqft  
(281.81 sqm)



**SITE PLAN**  
SCALE: 1"=20'-0"



CLIENT:

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

STAMPS:

PROJECT INFORMATION:

REVISIONS:

DRAWING TITLE:

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DATE: APR. 16, 2025

DRAWN BY: KBK



**ISSUED FOR  
DEVELOPMENT PERMIT**

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- MEDICINE HILL**

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**SITE PLAN**

**A1.1**

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BYLAW INFORMATION		LAND USE BYLAW # 35D2025 & 1P2007
<b>LANDSCAPING REQUIREMENTS:</b>		
REQUIRED:	WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A PARCEL DESIGNATED AS A COMMERCIAL, INDUSTRIAL OR SPECIAL PURPOSE DISTRICT, THE SETBACK AREA MUST BE A SOFT SURFACED LANDSCAPED AREA; MAY HAVE A SIDEWALK ALONG THE LENGTH OF THE BUILDING; AND MUST PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS FOR EVERY 35.0 sqm; OR FOR EVERY 50.0 sqm, WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM.	
	WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH N/A DRIVE SW, THE SETBACK AREA MAY BE SOFT SURFACED LANDSCAPED AREA OR HARD SURFACED LANDSCAPED AREA; MUST PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS FOR EVERY 35.0 SQM OF LANDSCAPED AREA PROVIDED; AND PROVIDE TREES PLANTED IN A LINEAR ARRANGEMENT ALONG THE LENGTH OF THE SETBACK AREA.	
	ALL SOFT SURFACED LANDSCAPED AREAS MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS A LOW WATER IRRIGATION SYSTEM IS PROVIDED.	
	A MINIMUM OF 25% OF ALL TREES MUST BE CONIFEROUS.	
PROVIDED:	REAR SETBACK (NORTH): 316.32sqm / 50sqm = (6.3) 7 TREES & (12.7) 13 SHRUBS SIDE SETBACK (EAST): 288.19sqm / 50sqm = (5.8) 6 TREES & (11.5) 12 SHRUBS FRONT SETBACK (SOUTH) (N/A DRIVE S.W.): 353.61sqm / 35sqm = (10.1) 11 TREES & (20.2) 21 SHRUBS SIDE SETBACK (WEST): 149.65sqm / 50sqm = (2.99) 3 TREES & (5.99) 6 SHRUBS TOTAL: 27 TREES & 52 SHRUBS	
	REAR SETBACK (NORTH): 12 TREES & 13 SHRUBS SIDE SETBACK (EAST): 11 TREES & 12 SHRUBS FRONT SETBACK (SOUTH) (N/A DRIVE S.W.): 11 TREES & 22 SHRUBS (4 PROVIDED TREES & 2 SHRUBS HAVE BEEN PLACED ADJACENT TO THE SETBACK) SIDE SETBACK (WEST): 7 TREES & 7 SHRUBS INTERIOR OF SITE: 12 TREES & 38 SHRUBS TOTAL: 53 TREES & 92 SHRUBS	

TRANS-CANADA HIGHWAY #1  
 (16th AVE N.W.)  
 ROAD PLAN 272 IX

ROAD PLAN  
 911 2537

LOT 1  
 BLOCK 3  
 PLAN 161 2946  
 (DIRECT CONTROL  
 86D2020)

**LANDSCAPING INFORMATION - HARDINESS ZONE 3b  
 CALGARY, ALBERTA**

**NOTES**  
 1) AREAS OF ANNUAL PLANTINGS OR FLOWER BEDS SHALL BE BY THE OWNER

**DECIDUOUS SHRUBS**

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
A1	RED OSIER DOGWOOD (CORNUS SERICEA KEKSEYI)	600mm (2'-0") HEIGHT or SPREAD	23
F	HIGHBUSH CRANBERRY (VIBURNUM TRILOBUM)	600mm (2'-0") HEIGHT or SPREAD	6
<b>TOTAL NUMBER OF DECIDUOUS SHRUBS</b>			29

**CONIFEROUS SHRUBS**

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
H	JUNIPER (JUNIPER COMMUNIS)	600mm (2'-0") HEIGHT or SPREAD	16
J1	UPRIGHT JUNIPER (THUJA OCCIDENTALIS 'HOLMSTRUP')	900mm (3'-0") HEIGHT or SPREAD	31
K	MUGO PINE (PINUS MUGO)	600mm (2'-0") HEIGHT or SPREAD	16
<b>TOTAL NUMBER OF CONIFEROUS SHRUBS</b>			63

**DECIDUOUS TREES**

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
T6	SHEDDISH COLUMNAR ASPEN (POPULUS TREMULA 'ERECTA')	MIN. 75mm (3") CALIPER	26
<b>TOTAL NUMBER OF DECIDUOUS TREES</b>			26

**CONIFEROUS TREES**

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
T7B	COLORADO BLUE SPRUCE (PICEA PUNGENS)	MIN. 2.5m (8'-0") HEIGHT	27
<b>TOTAL NUMBER OF CONIFEROUS TREES</b>			27

**EXISTING TREES**

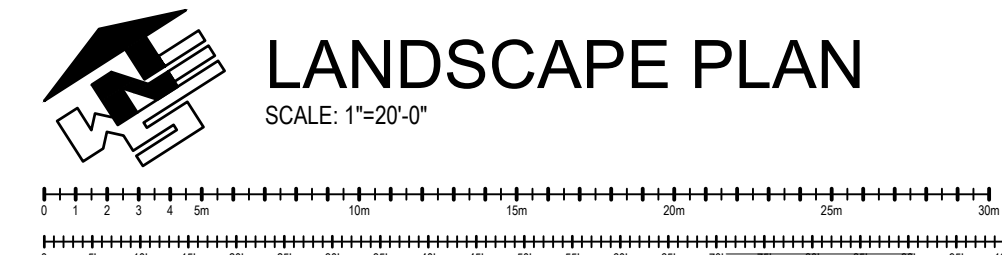
SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
EX1	QUAKING ASPEN (POPULUS TREMULOIDES)	EXISTING - MEDIUM	19
<b>TOTAL NUMBER OF DECIDUOUS TREES</b>			19

**REGULATIONS**

MINIMUM SIZE OF TREES AND SHRUBS  
 DECIDUOUS TREES - MIN. CALIPER 50mm (50% MIN. 75mm)  
 CONIFEROUS TREES - MIN. HT. 2.0m (50% MIN. 3.0m)  
 DECIDUOUS SHRUBS - MIN. HT. 600mm  
 CONIFEROUS SHRUBS - MIN. SPREAD 600mm

TREES AND SHRUBS TO BE WATERED WITH LOW WATER IRRIGATION SYSTEM. IRRIGATION TO BE CONFINED TO TREE AND SHRUB LOCATIONS ONLY

HATCHING PATTERNS: BORDERS AREAS (AREAS TO USE DROUGHT TOLERANT GRASS) (SOIL DEPTH MIN. 300mm)  
 HATCHING PATTERNS: MULCHED AREAS (SOIL DEPTH MIN. 600mm IN PLANTING BEDS)



LOT 8 MR  
 BLOCK 2  
 PLAN 161 2946  
 (SPECIAL PURPOSE  
 - S-SPR)

**PROPOSED 5 STOREY SELF STORAGE BUILDING**  
 FOOTPRINT: 29,124.44 sqft (2,705.75 sqm)  
 GROSS FLOOR AREA: 122,348.88 sqft (11,366.58 sqm)  
 MAIN FLOOR GEODETIC: 1095.897  
 F.A.R.: 1.4

**SELF STORAGE UNITS**  
 23,306.11 sqft (2,165.21 sqm)  
 G.F.A.: 116,530.55 sqft  
 (10,826.04 sqm)

**LOADING**  
 1,740.00 sqft  
 (161.65 sqm)

**THE NEST**  
 1,045 sqft  
 (97.08 sqm)

**LEASE OFFICES**  
 3,033.33 sqft  
 (281.81 sqm)

**NOTE:**  
 LINE INDICATES THE LIMIT OF CONSTRUCTION DISTURBANCE. MUNICIPAL RESERVE / CONSTRUCTION FENCING TO BE PROVIDED AROUND DISTURBANCE FENCING TO BE INSTALLED PRIOR TO COMMENCEMENT OF ANY STRIPPING OR GRADING OPERATIONS.



MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

**Axiom**  
 Architecture Inc.  
 Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
 Ph. 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
 PERMIT No. AC 13659  
 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR DEVELOPMENT PERMIT**

PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**

LOT: 12  
 BLOCK: 3  
 PLAN: 251 0905  
 CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
 CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

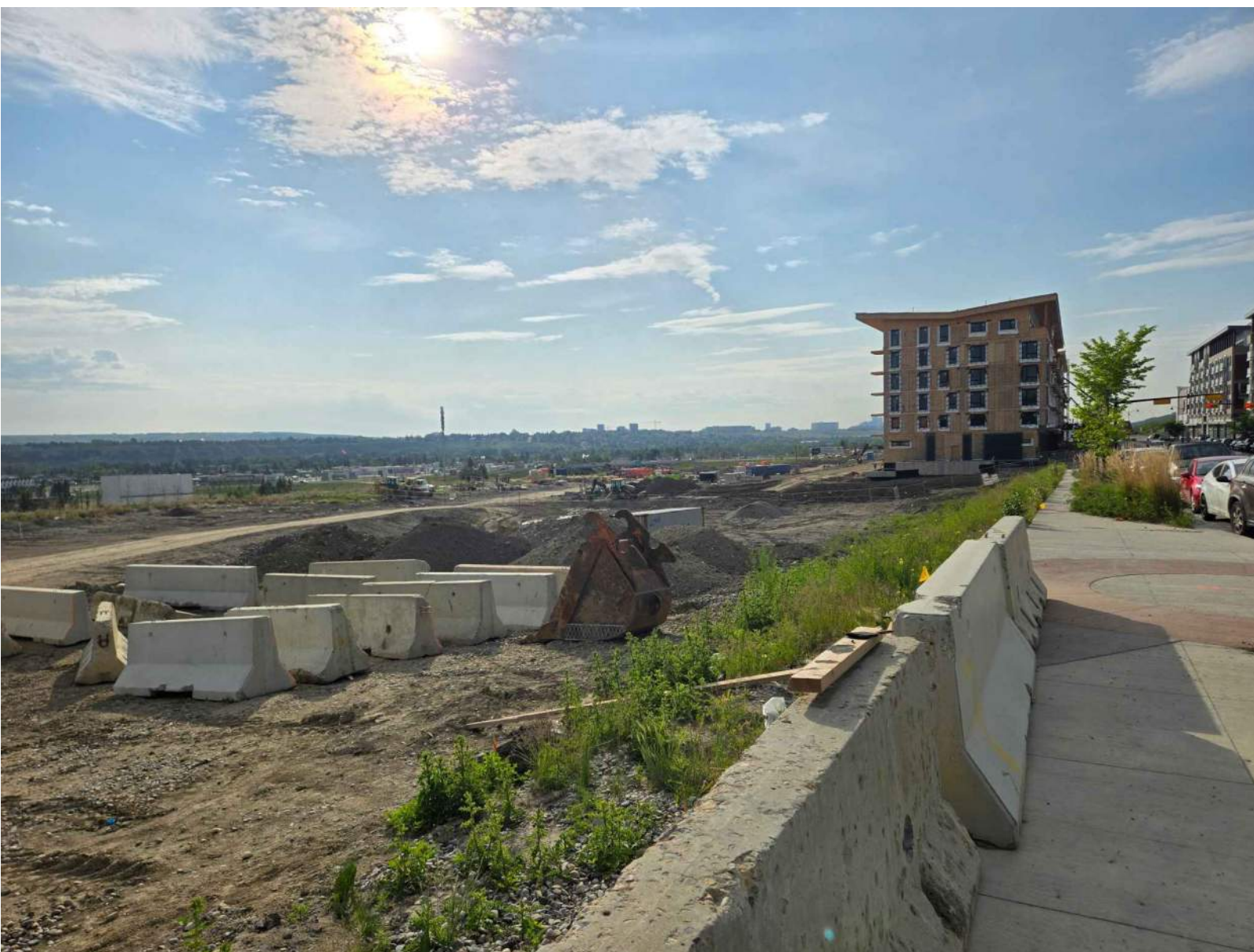
DRAWING TITLE:

**LANDSCAPE & EXISTING TREE PLAN**

JOB NUMBER: 25-010  
 DATE: APR. 16, 2025  
 DRAWN BY: KBK

A1.2

DRAWINGS ARE TO BE READ, NOT SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR DISCREPANCIES IMMEDIATELY. ALL RIGHTS RESERVED. ANY REPRODUCTION, DISTRIBUTION AND/OR USE OF THESE DRAWINGS FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED IS PROHIBITED.



1  
A1.1  
SOUTHWEST CORNER  
SCALE: N.T.S.



2  
A1.1  
SOUTHWEST CORNER  
SCALE: N.T.S.



3  
A1.1  
SOUTH SIDE  
SCALE: N.T.S.



4  
A1.1  
SOUTH SIDE  
SCALE: N.T.S.



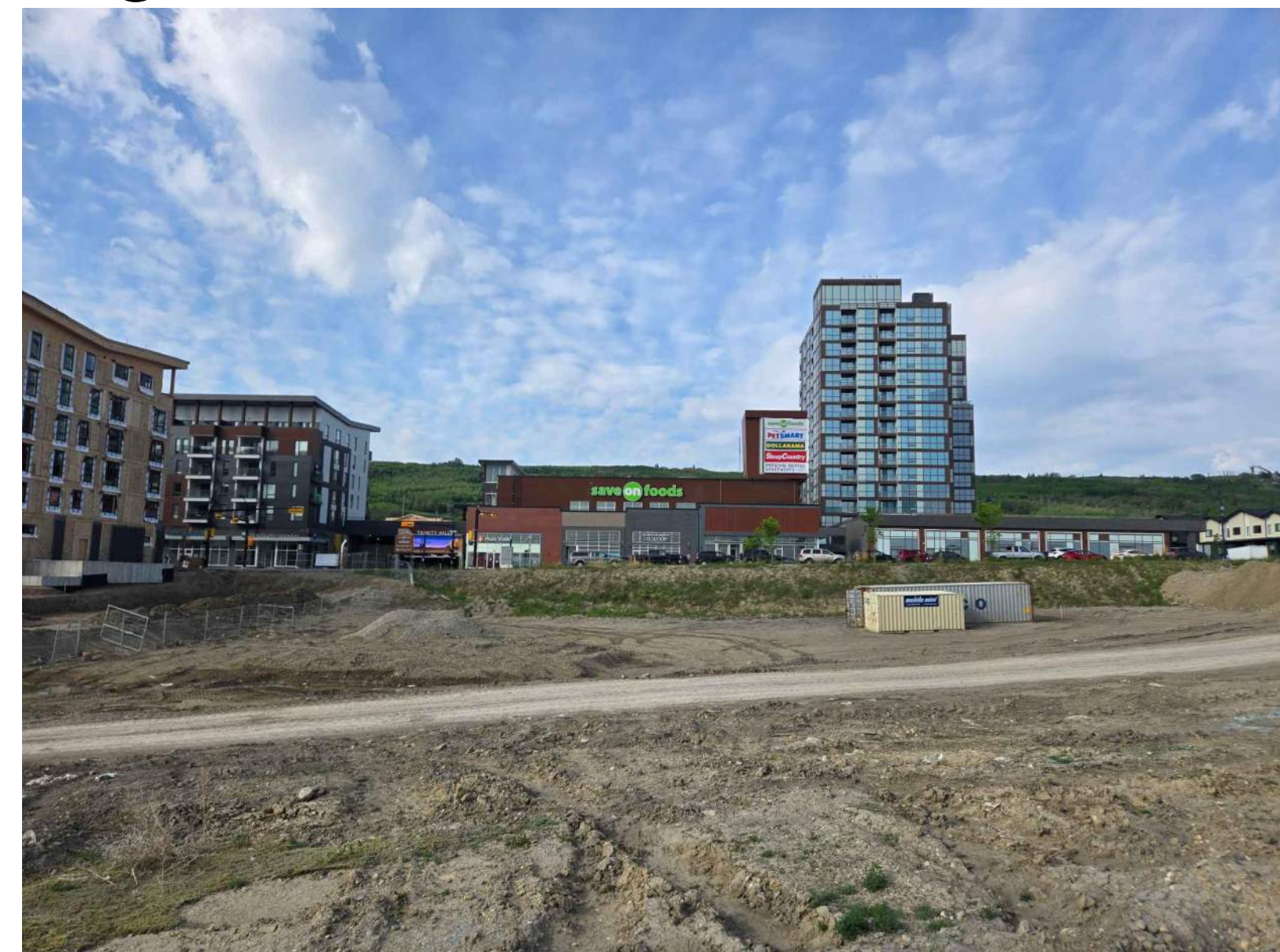
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SOUTH SIDE  
SCALE: N.T.S.



6  
A1.1  
SOUTHEAST CORNER  
SCALE: N.T.S.



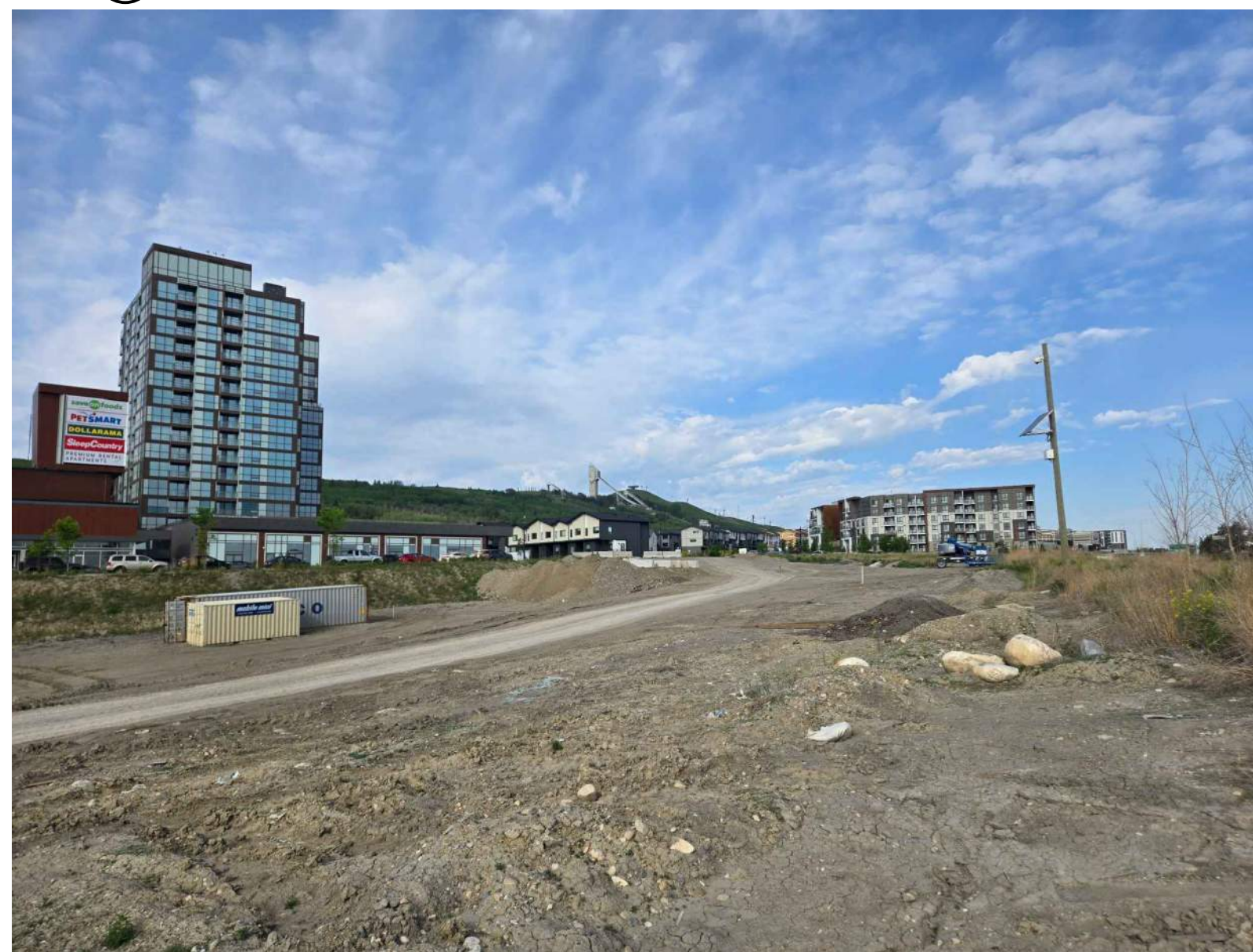
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A1.1  
SOUTHEAST CORNER  
SCALE: N.T.S.



8  
A1.1  
NORTHEAST CORNER  
SCALE: N.T.S.



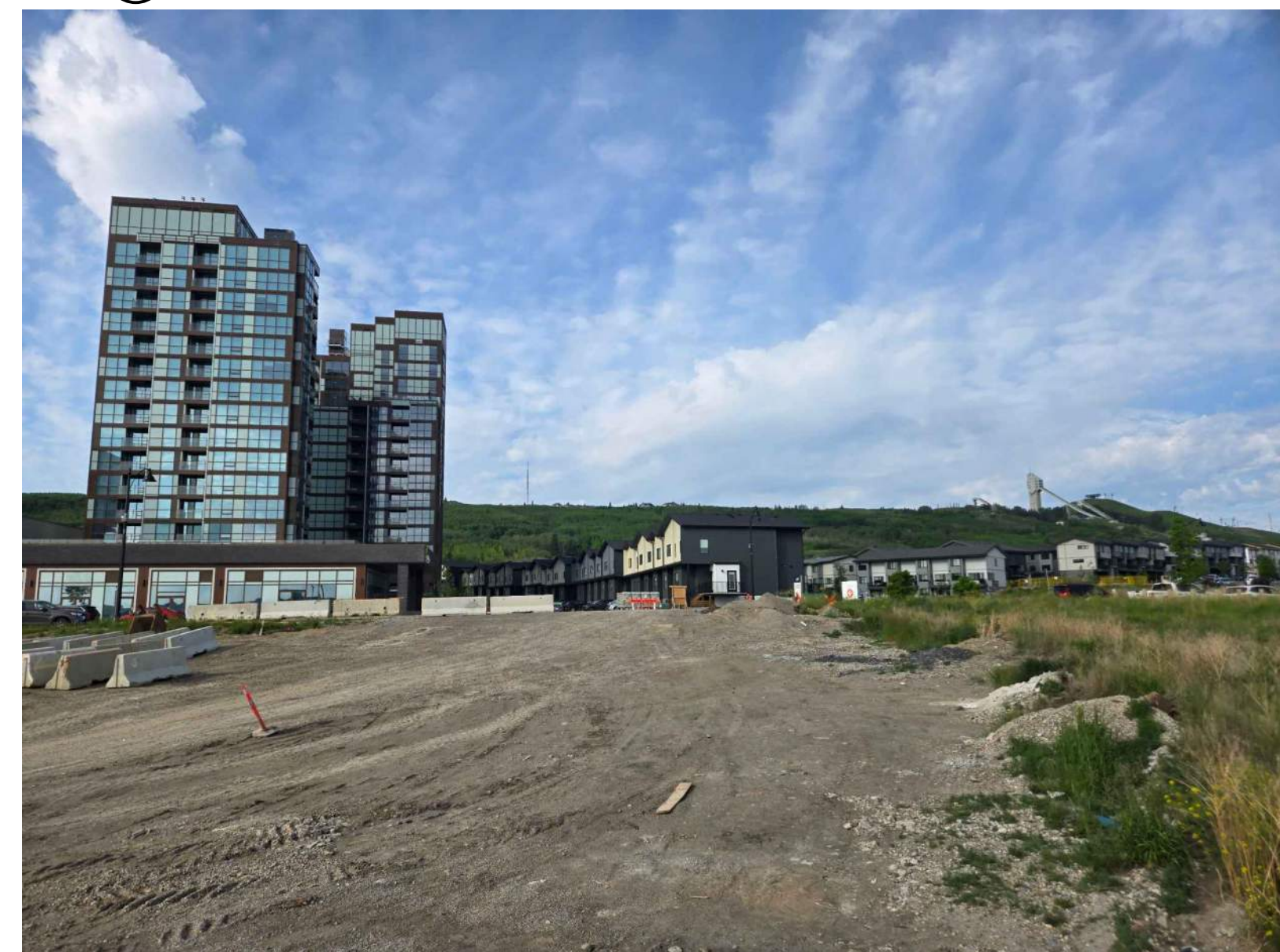
9  
A1.1  
NORTHEAST CORNER  
SCALE: N.T.S.



10  
A1.1  
NORTH SIDE  
SCALE: N.T.S.



11  
A1.1  
WEST SIDE  
SCALE: N.T.S.



12  
A1.1  
WEST SIDE  
SCALE: N.T.S.

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**AMENDED DRAWINGS**  
 DP No. DP2025-04914 Date Received December 1, 2025  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

STRUCTURAL:

ARCHITECTURAL:

**Axiom Architecture Inc.**  
 Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
 Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
**PERMIT No. AC 13659**  
 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR DEVELOPMENT PERMIT**

PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**

LOT: 12  
 BLOCK: 3  
 PLAN: 251 0905  
 CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
 CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

DRAWING TITLE:

**SITE PHOTOS**

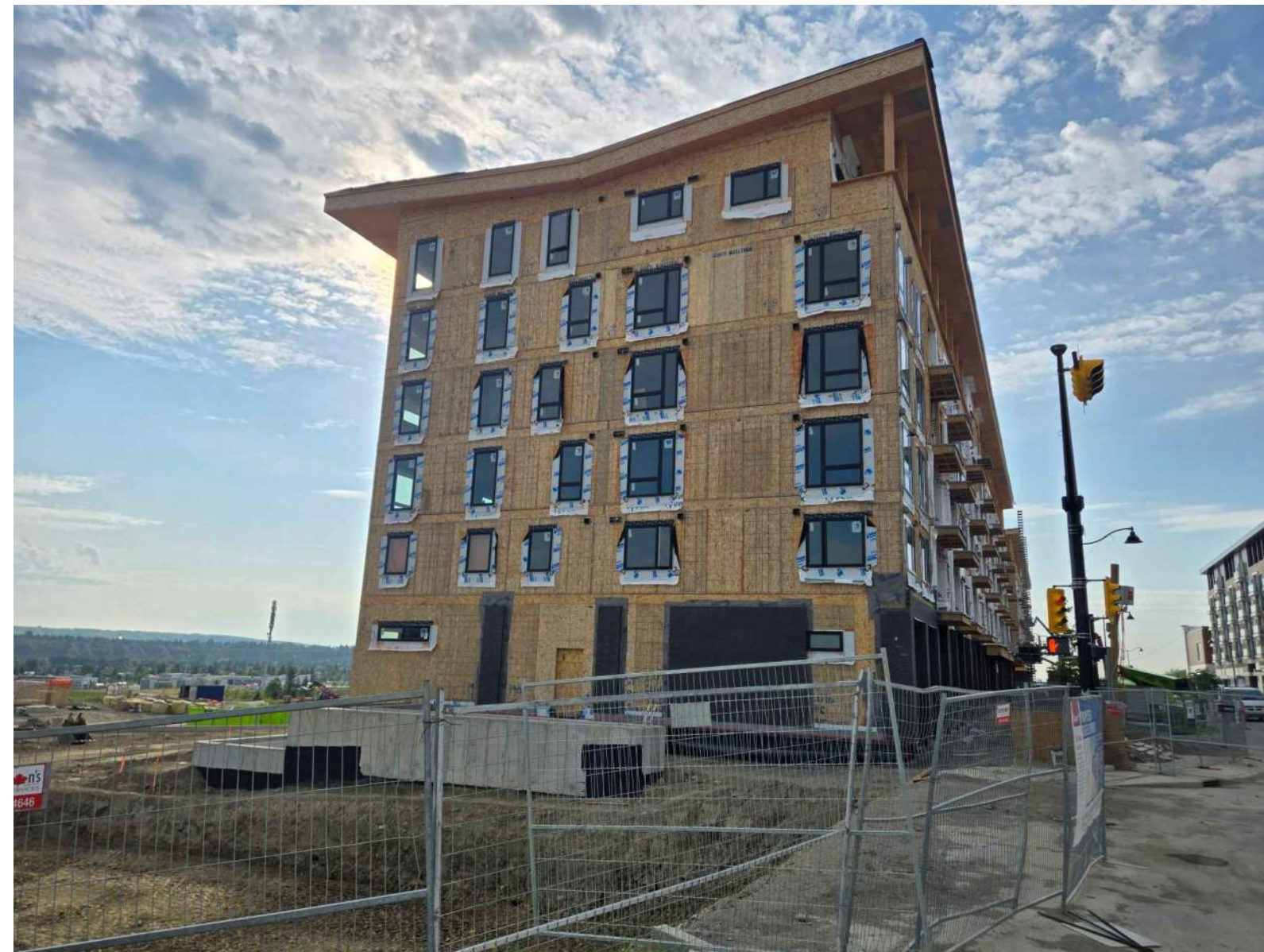
JOB NUMBER: 25-010  
 DATE: APR. 16, 2025  
 DRAWN BY: KBK

**A1.4**

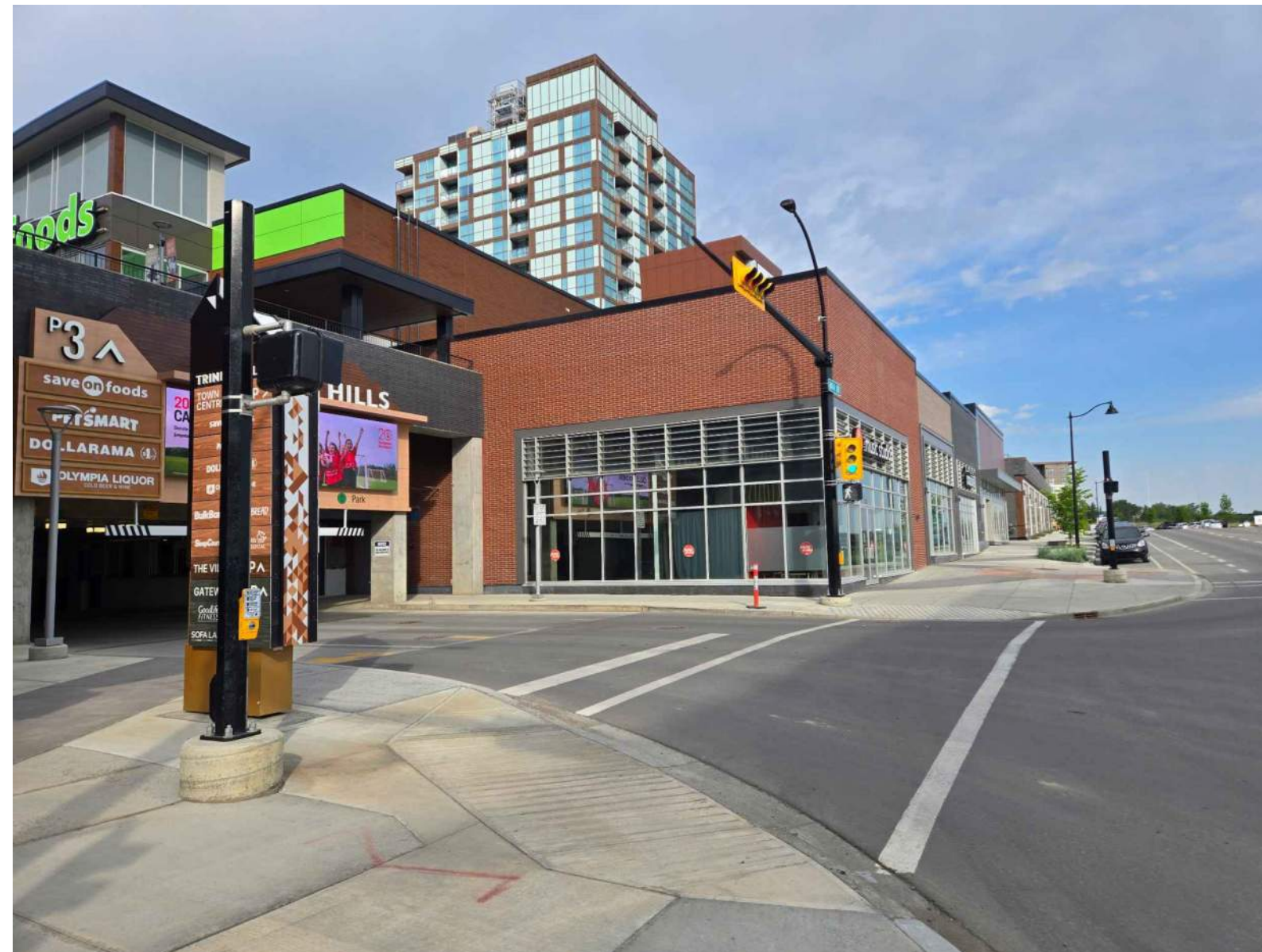
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13 ADJACENT RESIDENTIAL  
SCALE: N.T.S.



14 ADJACENT RESIDENTIAL  
SCALE: N.T.S.



15 ADJACENT COMMERCIAL  
SCALE: N.T.S.



16 ADJACENT COMMERCIAL  
SCALE: N.T.S.



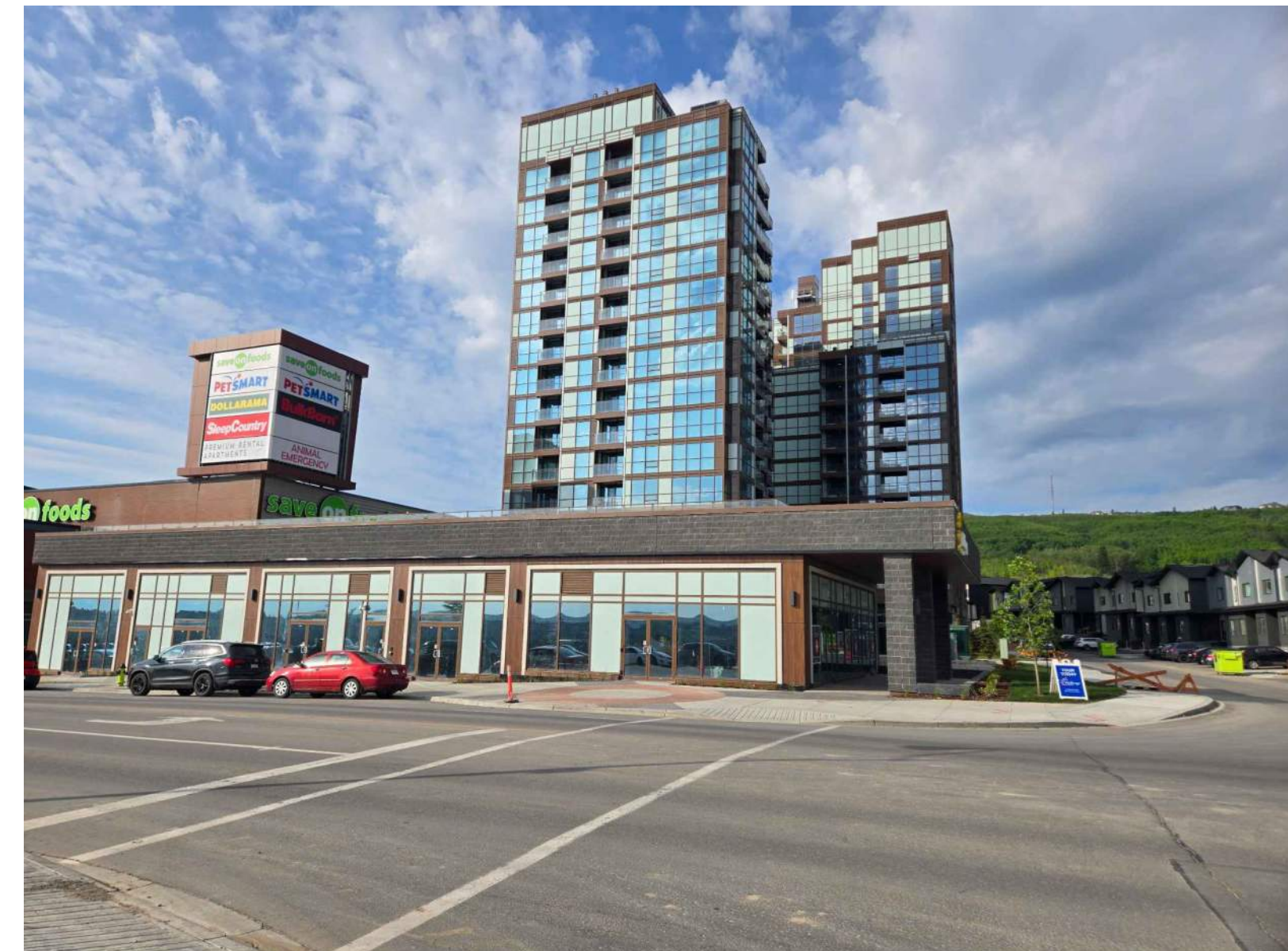
17 ADJACENT COMMERCIAL/RESIDENTIAL  
SCALE: N.T.S.



18 ADJACENT COMMERCIAL/RESIDENTIAL  
SCALE: N.T.S.



19 ADJACENT COMMERCIAL/RESIDENTIAL  
SCALE: N.T.S.



20 ADJACENT COMMERCIAL/RESIDENTIAL  
SCALE: N.T.S.



21 ADJACENT RESIDENTIAL  
SCALE: N.T.S.



22 ADJACENT COMMERCIAL  
SCALE: N.T.S.



23 ADJACENT COMMERCIAL  
SCALE: N.T.S.



24 ADJACENT COMMERCIAL  
SCALE: N.T.S.

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

**Axiom**  
Architecture Inc.  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-558-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

ISSUED FOR DEVELOPMENT PERMIT

PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NAVA DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

DRAWING TITLE:

**ADJACENT CONTEXT SITE PHOTOS**

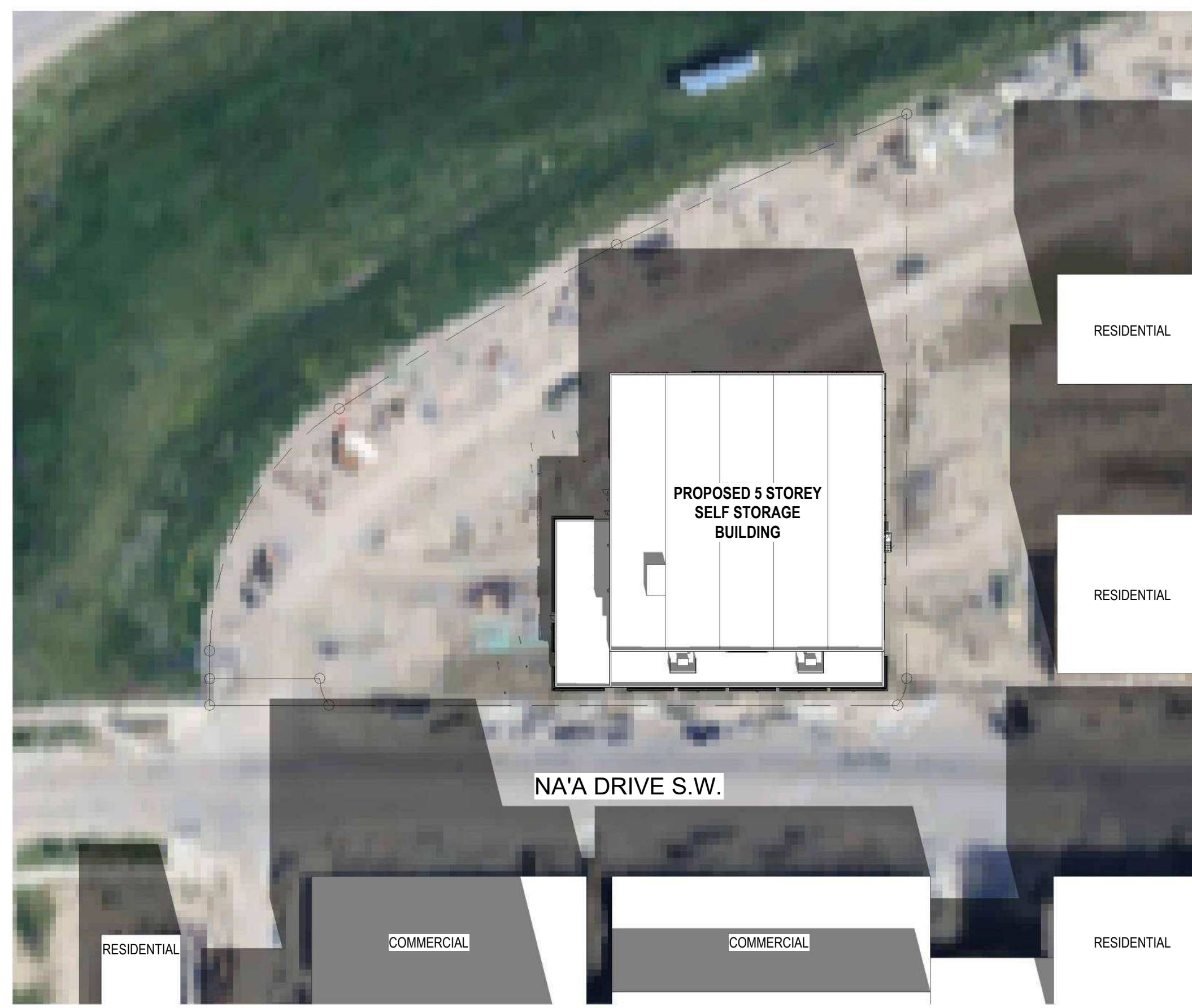
JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A1.5**

DRAWINGS ARE TO BE READ, NOT SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR DISCREPANCIES IMMEDIATELY.



**SHADOW STUDY (MAR. 21, 9am)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (MAR. 21, 12pm)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (MAR. 21, 4pm)**  
SCALE: 1" = 60'-0"

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**SHADOW STUDY (JUN. 21, 9am)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (JUN. 21, 12pm)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (JUN. 21, 4pm)**  
SCALE: 1" = 60'-0"

CLIENT:

MECHANICAL / ELECTRICAL:

**AMENDED DRAWINGS**  
DP No: DP2025-04914  
Date Received: December 1, 2025  
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

STRUCTURAL:

ARCHITECTURAL:

Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR DEVELOPMENT PERMIT**

PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NA'A DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:

**SHADOW STUDY (SPRING EQUINOX & SUMMER SOLSTICE)**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

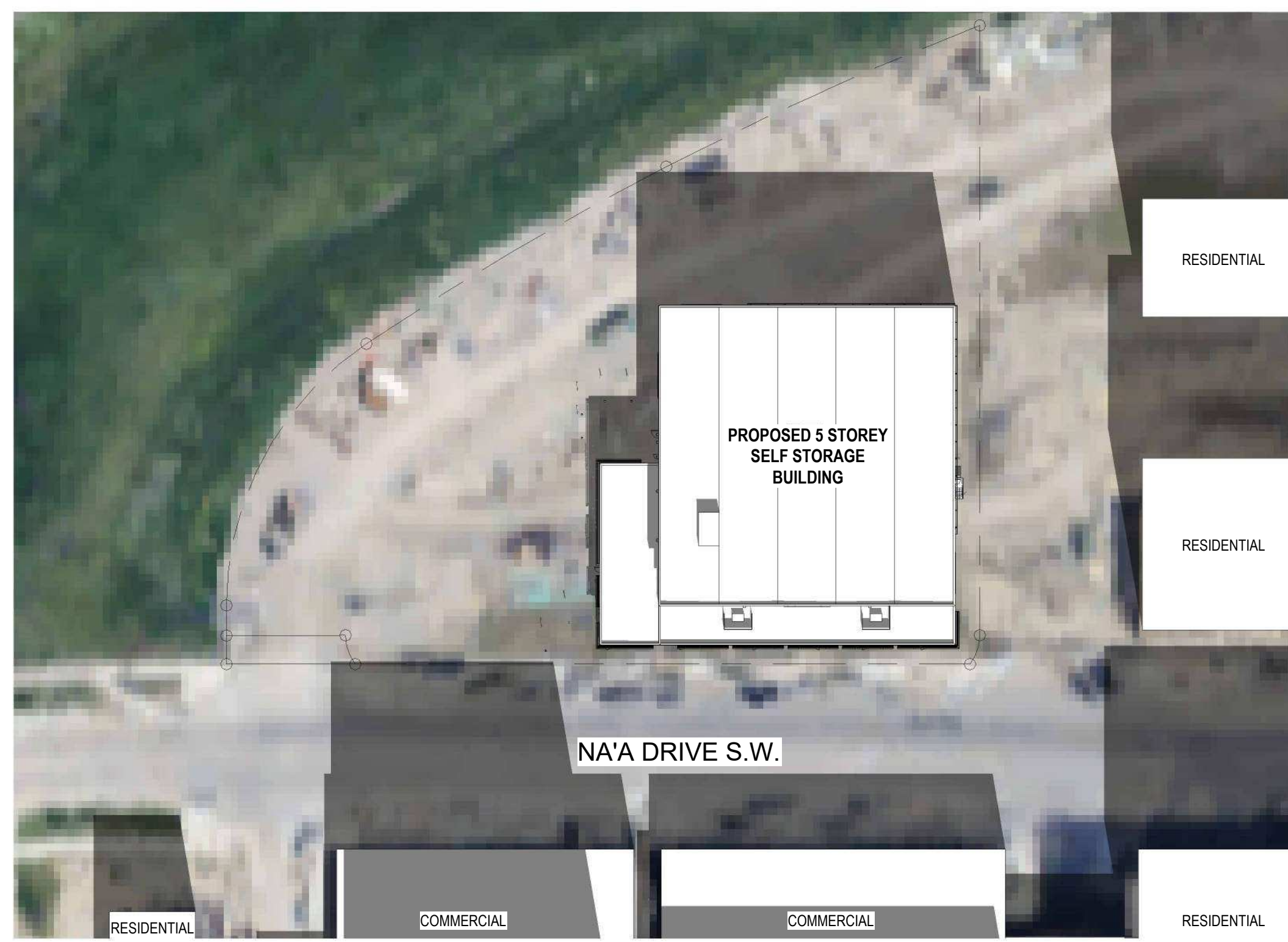
**A1.6**

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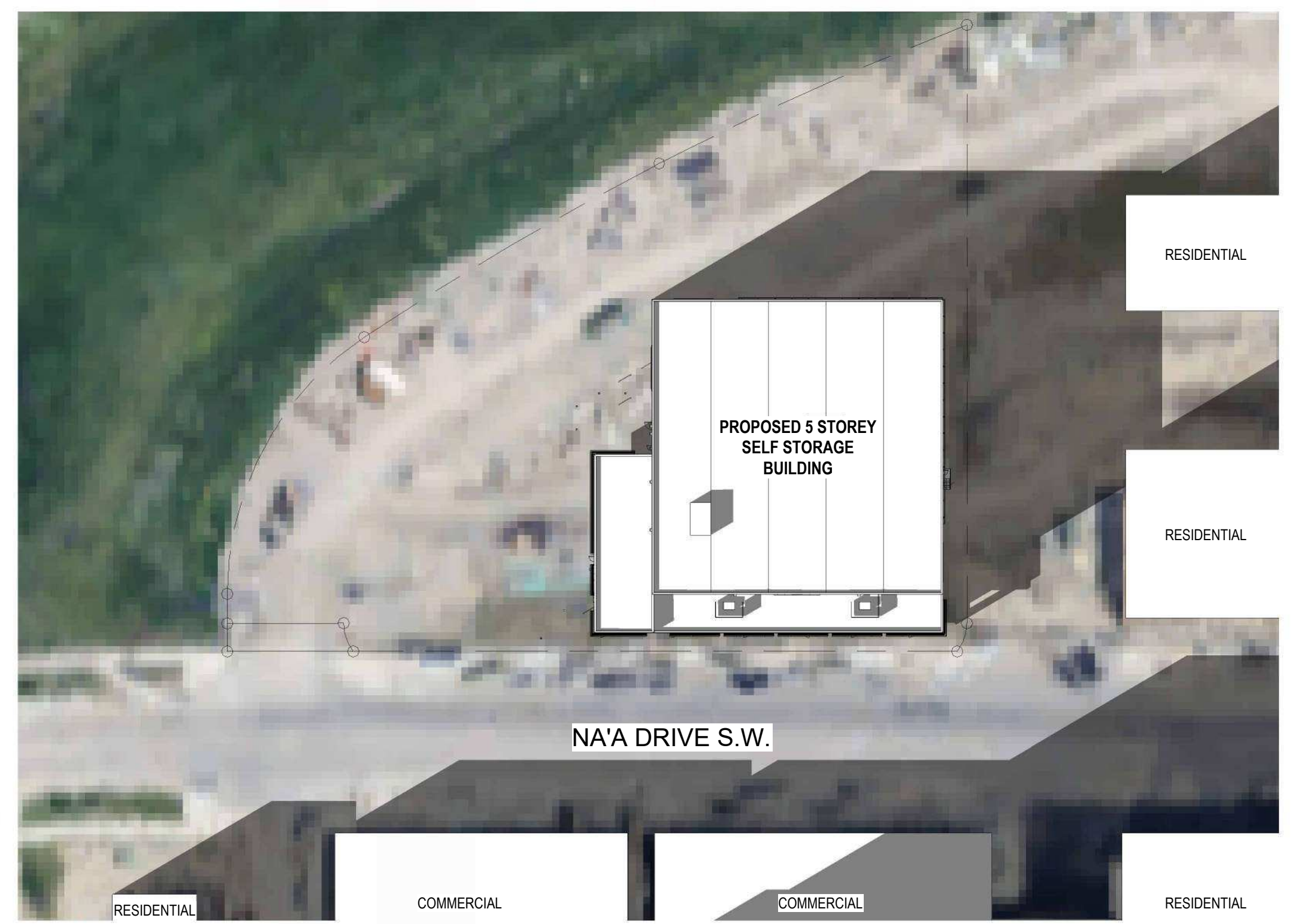
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**SHADOW STUDY (SEPT. 21, 9am)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (SEPT. 21, 12pm)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (SEPT. 21, 4pm)**  
SCALE: 1" = 60'-0"



**SHADOW STUDY (DEC. 21, 12pm)**  
SCALE: 1" = 60'-0"

**AMENDED DRAWINGS**  
DP No      Date Received  
DP2025-04914      December 1, 2025  
**THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.**

CLIENT:

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

AXIOM ARCHITECTURE INC. (RED DEER)  
**PERMIT No. AC 13659**  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR DEVELOPMENT PERMIT**

PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 NA'A DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:

**SHADOW STUDY (AUTUMN EQUINOX & WINTER SOLSTICE)**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

A1.7

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**SHADOW STUDY (DEC. 21, 9am)**  
 SCALE: 1" = 100'-0"

**AMENDED DRAWINGS**  
 DP No      Date Received  
 DP2025-04914      December 1, 2025  
**THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.**


**SHADOW STUDY (DEC. 21, 4pm)**  
 SCALE: 1" = 100'-0"

CLIENT:




**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:



**Axiom Architecture Inc.**  
 Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
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AXIOM ARCHITECTURE INC. (RED DEER)  
 PERMIT No. AC 13659  
 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

**ISSUED FOR DEVELOPMENT PERMIT**

PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**



LOT: 12  
 BLOCK: 3  
 PLAN: 251 0905  
 CIVIC ADDRESS: 1152 NA'A DRIVE S.W.  
 CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:

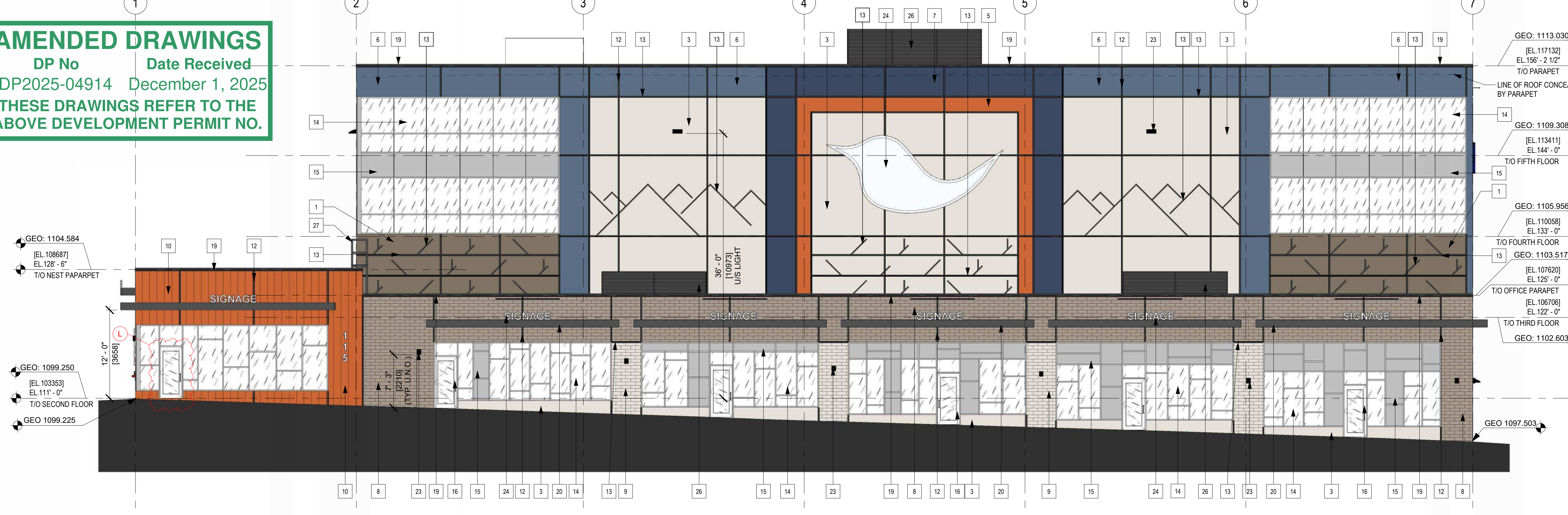
**SHADOW STUDY (WINTER SOLSTICE)**

JOB NUMBER: 25-010  
 DATE: APR. 16, 2025  
 DRAWN BY: KBK

A1.8

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**AMENDED DRAWINGS**  
 DP No **DP2025-04914** Date Received **December 1, 2025**  
**THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.**



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

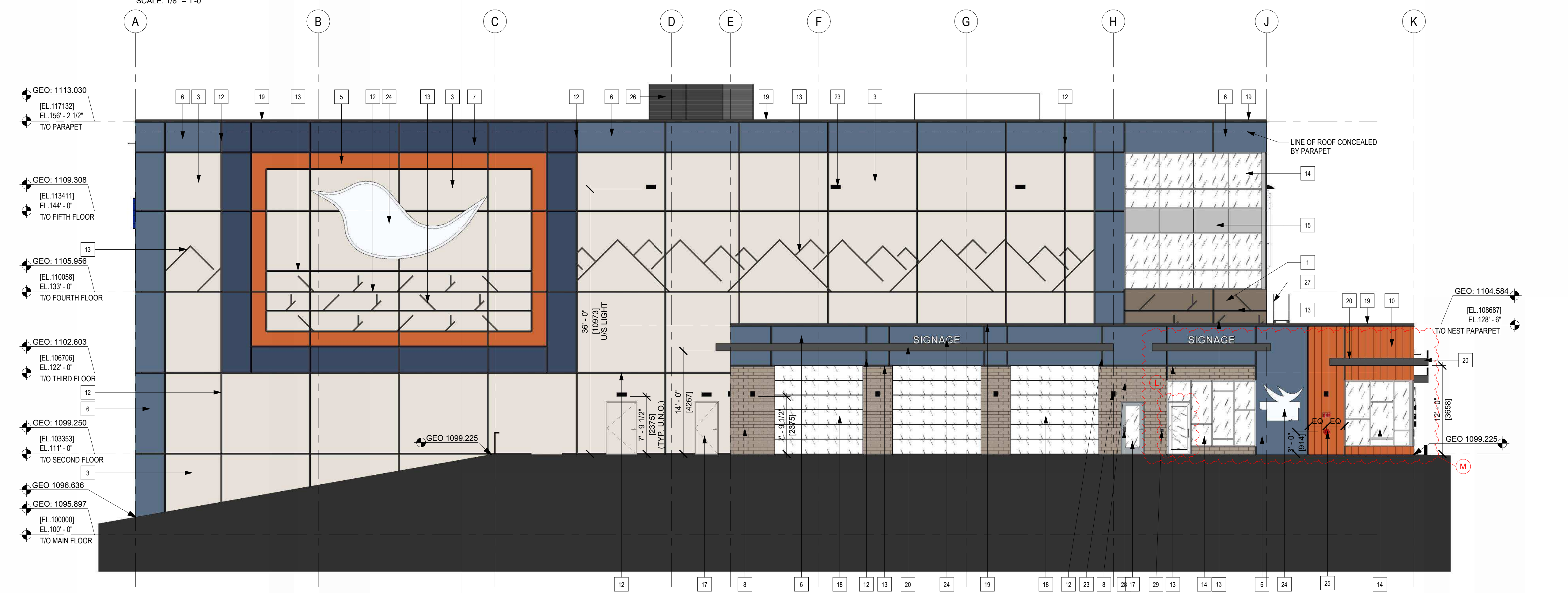
KEYNOTE LEGEND	
TAG	DESCRIPTION
1	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE COASTAL FOG 0213)
2	PRIMED & PAINTED PRECAST CONCRETE PANELS c/w REVEAL PATTERN (COLOUR: CLOVERDALE BIG SPENDER 0212)
3	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BONAIRE 0020)
4	*KEYNOTE NUMBER NOT USED*
5	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE CASA DE ORO 1026)
6	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BLUE DEPTHS 0626)
7	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE QUIET PEACE 0592)
8	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2772 08) (COLOUR: CLOVERDALE BIG SPENDER 0212)
9	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2772 08) (COLOUR: CLOVERDALE BONAIRE 0020)
10	WOOD PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2772 08) (COLOUR: CLOVERDALE CASA DE ORO 1026)
11	ETCHED & SEALED PRECAST CONCRETE BUFFALO MURAL (RECKLI PHOTO-ENGRAVING)
12	PRECAST CONCRETE PANEL JOINT
13	PRECAST CONCRETE PANEL REVEAL
14	CLEAR GLAZING IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
15	SPANDREL PANEL IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
16	PREFINISHED CLEAR ANODIZED ALUMINUM FULL GLAZED DOOR
17	PRIMED & PAINTED METAL MAN DOOR (COLOUR TO MATCH ADJACENT WALL COLOUR)
18	PREFINISHED CLEAR ANODIZED OVERHEAD DOOR
19	PREFINISHED METAL CAP FLASHING (COLOUR: BLACK)
20	POWDER COATED STEEL CANOPY (COLOUR: BLACK)
21	POWDER COATED STEEL STAIRS & PIPE GUARDRAIL (COLOUR: BLACK)
22	CONCRETE FILLED PIPE BOLLARD (COLOUR: CLOVERDALE BLUE DEPTHS 0626)
23	EXTERIOR DOWNLIGHTING (BY OTHERS) (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING)
24	EXTERIOR ILLUMINATED BUILDING SIGNAGE (BY OTHERS UNDER SEPARATE PERMIT)
25	FIRE DEPARTMENT CONNECTION c/w SIGN (AS PER CITY OF CALGARY REQUIREMENTS)
26	ROOF SCREEN FOR MECHANICAL UNITS (SEE ROOF PLAN FOR LOCATIONS) (BLACK LOUVERS)
27	PREFINISHED PARAPET LADDER (COLOUR: BLACK)
28	AFTER HOURS ACCESS KEYPAD (BY OTHERS)
29	FIRE DEPARTMENT LOCKBOX (AS PER CITY OF CALGARY REQUIREMENTS)

NOTE: ALL MECHANICAL WALL GRILLES & PENETRATIONS ARE TO BE PAINTED SIMILAR TO ADJACENT WALL COLOUR

**LIGHTING LEGEND**



NOTE: EXTERIOR DOWNLIGHTING (BY OTHERS) (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING)

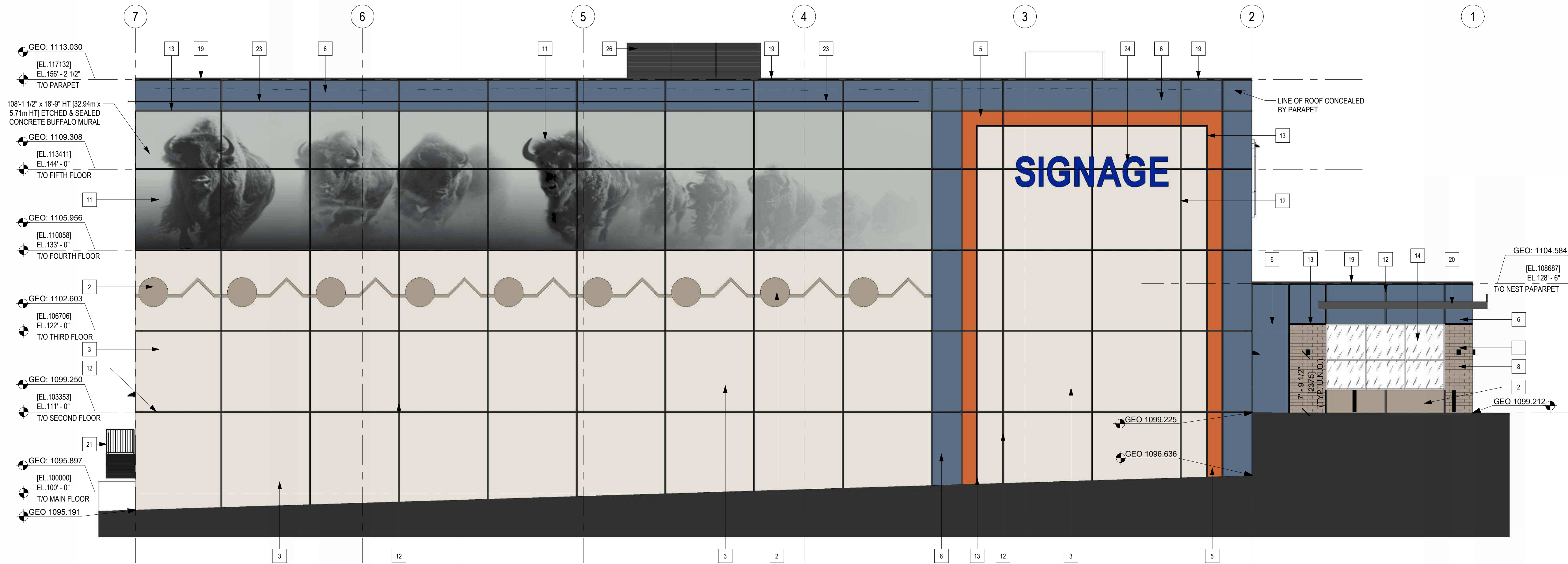


**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

CLIENT: 	MECHANICAL / ELECTRICAL: 	STRUCTURAL: 	ARCHITECTURAL:  Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5 Ph: 403-358-3311 www.AxiomArch.ca AXIOM ARCHITECTURE INC. (RED DEER) <b>PERMIT No. AC 13659</b> ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA	STAMPS: <b>ISSUED FOR DEVELOPMENT PERMIT</b>	PROJECT INFORMATION: <b>BLUEBIRD SELF STORAGE - MEDICINE HILL</b>  LOT: 12 BLOCK: 3 PLAN: 251 0905 CIVIC ADDRESS: 1152 NAA DRIVE S.W. CALGARY, ALBERTA	REVISIONS: <table border="1"> <thead> <tr> <th>ISSUE</th> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>L</td> <td>-</td> <td>2025-11-28</td> <td>RESUBMITTED FOR DTR-1 COMMENTS</td> </tr> <tr> <td>K</td> <td>-</td> <td>2025-10-16</td> <td>ISSUED FOR LIGHTING LAYOUT</td> </tr> <tr> <td>J</td> <td>-</td> <td>2025-08-22</td> <td>ISSUED FOR DEVELOPMENT PERMIT</td> </tr> </tbody> </table>	ISSUE	REV.	DATE	DESCRIPTION	L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS	K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT	J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT	Drawing Title: <b>EXTERIOR ELEVATIONS</b> JOB NUMBER: 25-010 DATE: APR. 16, 2025 DRAWN BY: KBK <div style="font-size: 2em; font-weight: bold; text-align: center;">A3.1</div>
ISSUE	REV.	DATE	DESCRIPTION																				
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS																				
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT																				
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT																				

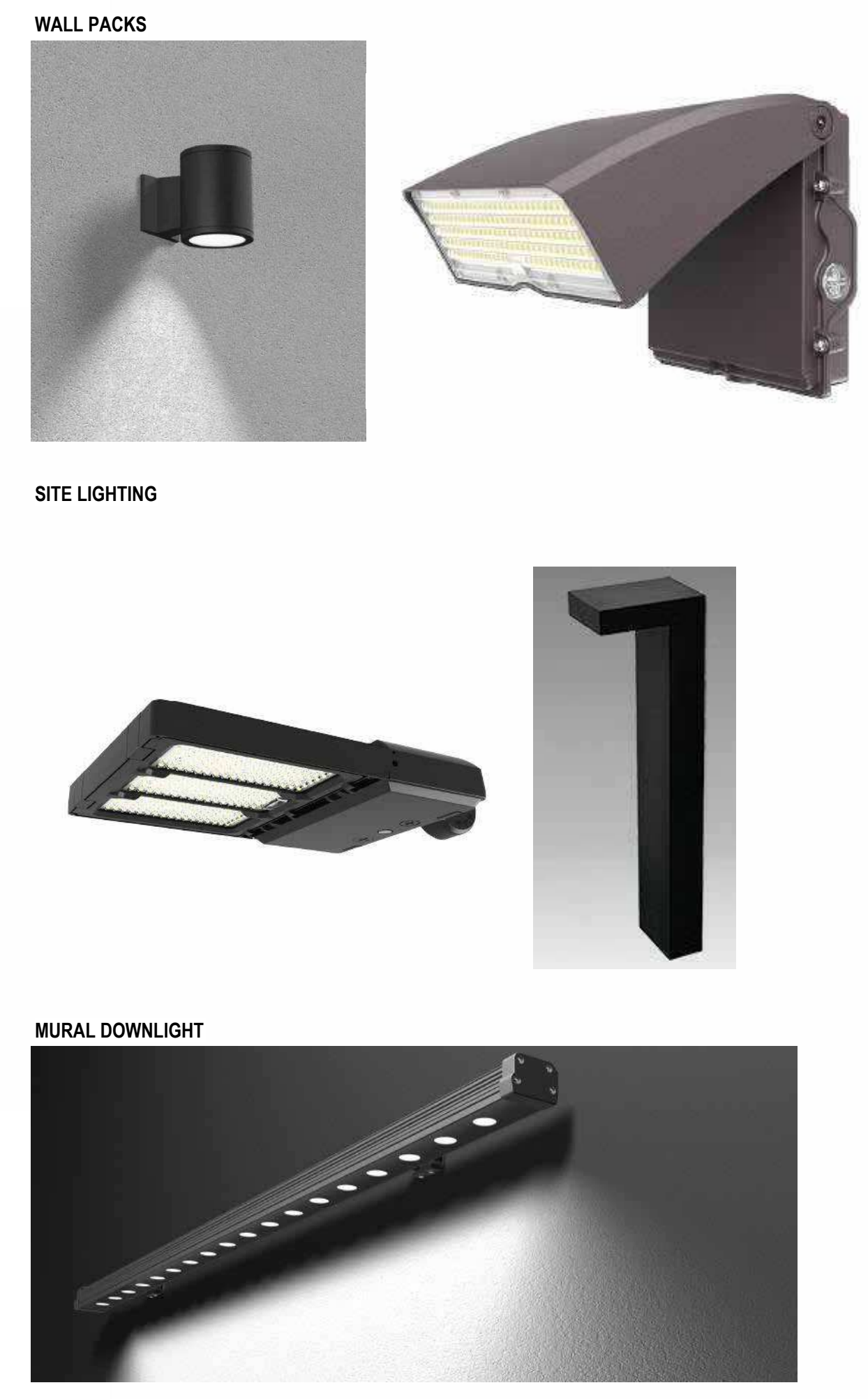
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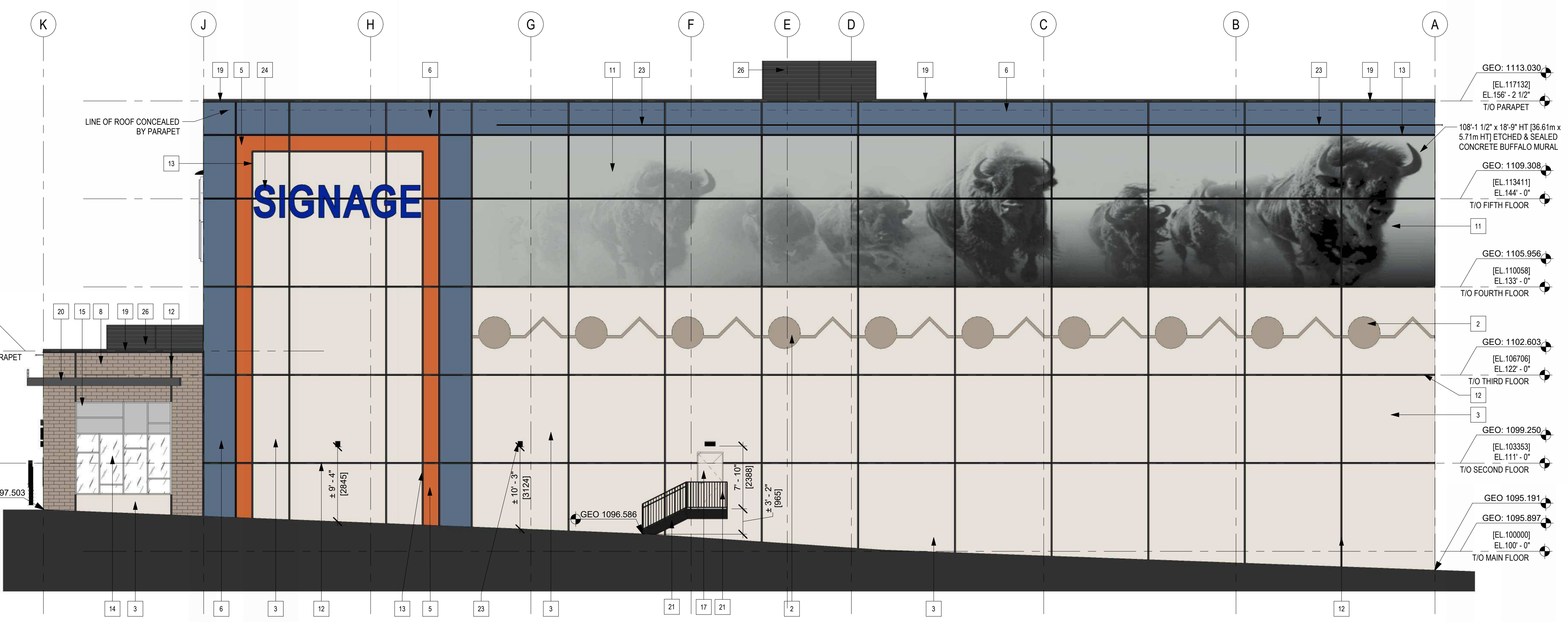
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND	
TAG	DESCRIPTION
1	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE COASTAL FOG 0213)
2	PRIMED & PAINTED PRECAST CONCRETE PANELS c/w REVEAL PATTERN (COLOUR: CLOVERDALE BIG SPENDER 0212)
3	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BONAIRE 0020)
4	*KEYNOTE NUMBER NOT USED*
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6	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BLUE DEPTHS 0626)
7	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE QUIET PEACE 0592)
8	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2/72 08) (COLOUR: CLOVERDALE BIG SPENDER 0212)
9	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2/72 08) (COLOUR: CLOVERDALE BONAIRE 0020)
10	WOOD PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2/72 08) (COLOUR: CLOVERDALE CASA DE ORO 1026)
11	ETCHED & SEALED PRECAST CONCRETE BUFFALO MURAL (RECKLI PHOTO-ENGRAVING)
12	PRECAST CONCRETE PANEL JOINT
13	PRECAST CONCRETE PANEL REVEAL
14	CLEAR GLAZING IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
15	SPANDREL PANEL IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
16	PREFINISHED CLEAR ANODIZED ALUMINUM FULL GLAZED DOOR
17	PRIMED & PAINTED METAL MAN DOOR (COLOUR TO MATCH ADJACENT WALL COLOUR)
18	PREFINISHED CLEAR GLAZING OVERHEAD DOOR
19	PREFINISHED METAL CAP FLASHING (COLOUR: BLACK)
20	POWDER COATED STEEL CANOPY (COLOUR: BLACK)
21	POWDER COATED STEEL STAIRS & PIPE GUARDRAIL (COLOUR: BLACK)
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24	EXTERIOR ILLUMINATED BUILDING SIGNAGE (BY OTHERS UNDER SEPARATE PERMIT)
25	FIRE DEPARTMENT CONNECTION c/w SIGN (AS PER CITY OF CALGARY REQUIREMENTS)
26	ROOF SCREEN FOR MECHANICAL UNITS (SEE ROOF PLAN FOR LOCATIONS) (BLACK LOUVERS)
27	PREFINISHED PARAPET LADDER (COLOUR: BLACK)
28	AFTER HOURS ACCESS KEYPAD (BY OTHERS)
29	FIRE DEPARTMENT LOCKBOX (AS PER CITY OF CALGARY REQUIREMENTS)
NOTE: ALL MECHANICAL WALL GRILLES & PENETRATIONS ARE TO BE PAINTED SIMILAR TO ADJACENT WALL COLOUR	

**LIGHTING LEGEND**



NOTE: EXTERIOR DOWNLIGHTING (BY OTHERS) (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING)



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

CLIENT:

**EAGLE BUILDERS**

MECHANICAL / ELECTRICAL:

**AMENDED DRAWINGS**  
DP No  
DP2025-04914  
Date Received  
December 1, 2025  
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

STRUCTURAL:

ARCHITECTURAL:

**Axiom Architecture Inc.**  
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
Ph: 403-358-3311  
www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
PERMIT No. AC 13659  
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA.

STAMPS:

**ISSUED FOR DEVELOPMENT PERMIT**

PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**

LOT: 12  
BLOCK: 3  
PLAN: 251 0905  
CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:

**EXTERIOR ELEVATIONS**

JOB NUMBER: 25-010  
DATE: APR. 16, 2025  
DRAWN BY: KBK

**A3.2**

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DRAWINGS ARE TO BE READ, NOT SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR DISCREPANCIES IMMEDIATELY.



SOUTHWEST VIEW



SOUTHEAST VIEW

**WALL COLOURS**

-  CLOVERDALE - COASTAL FOG (0213)
-  CLOVERDALE - BIG SPENDER (0212)
-  CLOVERDALE - BONAIRE (0020)
-  CLOVERDALE - CASA DE ORO (1026)
-  CLOVERDALE - BLUE DEPTHS (0626)
-  CLOVERDALE - QUIET PEACE (0592)

NOTE: ALL WALLS CONSIST OF PAINTED PRECAST CONCRETE ONLY. PLEASE SEE FEATURE ELEMENTS BELOW FOR CAST IN FORMLINER PATTERNS.

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NORTHEAST VIEW



NORTHWEST VIEW

**FEATURE ELEMENTS**

-  VERTICAL WOOD PATTERNED CONCRETE FORMLINER
-  STONE PATTERNED CONCRETE FORMLINER
-  POWDER COATED STEEL & PREFINISHED FLASHINGS (BLACK)
-  PREFINISHED CLEAR ANODIZED ALUMINUM WINDOW FRAMES

CLIENT:




MECHANICAL / ELECTRICAL:

**AMENDED DRAWINGS**  
 DP No: DP2025-04914  
 Date Received: December 1, 2025  
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STAMPS:

**ISSUED FOR DEVELOPMENT PERMIT**

PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**



LOT: 12  
 BLOCK: 3  
 PLAN: 251 0905  
 CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
 CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:

**EXTERIOR BUILDING RENDERINGS**

JOB NUMBER: 25-010  
 DATE: APR. 16, 2025  
 DRAWN BY: KBK

**A3.3**

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STREETScape - STORAGE OFFICE (THE NEST)



STREETScape - OFFICES

**WALL COLOURS**

-  CLOVERDALE - COASTAL FOG (0213)
-  CLOVERDALE - BIG SPENDER (0212)
-  CLOVERDALE - BONAIRE (0020)
-  CLOVERDALE - CASA DE ORO (1026)
-  CLOVERDALE - BLUE DEPTHS (0626)
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STORAGE LOADING AREA



STREETScape - SIGNAGE TOWER

**FEATURE ELEMENTS**

-  VERTICAL WOOD PATTERNED CONCRETE FORMLINER
-  STONE PATTERNED CONCRETE FORMLINER
-  POWDER COATED STEEL & PREFINISHED FLASHINGS (BLACK)
-  PREFINISHED CLEAR ANODIZED ALUMINUM WINDOW FRAMES




**AMENDED DRAWINGS**  
 DP No Date Received  
 DP2025-04914 December 1, 2025  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

**Axiom**  
 Architecture Inc.  
 Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5  
 Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)  
 PERMIT No. AC 13659  
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STAMPS:  
**ISSUED FOR DEVELOPMENT PERMIT**

PROJECT INFORMATION:  
**BLUEBIRD SELF STORAGE - MEDICINE HILL**



LOT: 12  
 BLOCK: 3  
 PLAN: 251 0905  
 CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
 CALGARY, ALBERTA

ISSUE	REV.	DATE	DESCRIPTION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
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J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:  
**EXTERIOR BUILDING RENDERINGS**

JOB NUMBER: 25-010  
 DATE: APR. 16, 2025  
 DRAWN BY: KBK

**A3.4**

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ETCHED & SEALED CONCRETE BUFFALO MURAL



ETCHED & SEALED CONCRETE BUFFALO MURAL - NIGHT

**WALL COLOURS**

-  CLOVERDALE - COASTAL FOG (0213)
-  CLOVERDALE - BIG SPENDER (0212)
-  CLOVERDALE - BONAIRE (0020)
-  CLOVERDALE - CASA DE ORO (1026)
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VISUAL IMPACT - TRANS CANADA HIGHWAY (DISTANCE OF 150m)



VISUAL IMPACT - TRANS CANADA HIGHWAY (DISTANCE OF 150m)

**FEATURE ELEMENTS**

-  VERTICAL WOOD PATTERNED CONCRETE FORMLINER
-  STONE PATTERNED CONCRETE FORMLINER
-  POWDER COATED STEEL & PREFINISHED FLASHINGS (BLACK)
-  PREFINISHED CLEAR ANODIZED ALUMINUM WINDOW FRAMES


CLIENT:



AMENDED DRAWINGS  
 DP No: DP2025-04914  
 Date Received: December 1, 2025  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

STRUCTURAL:

ARCHITECTURAL:



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 PERMIT No. AC 13659  
 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA.

STAMPS:

ISSUED FOR DEVELOPMENT PERMIT

PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**



LOT: 12  
 BLOCK: 3  
 PLAN: 251 0905  
 CIVIC ADDRESS: 1152 N/A DRIVE S.W.  
 CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
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K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:

**EXTERIOR BUILDING RENDERINGS**

JOB NUMBER: 25-010  
 DATE: APR. 16, 2025  
 DRAWN BY: KBK

A3.5

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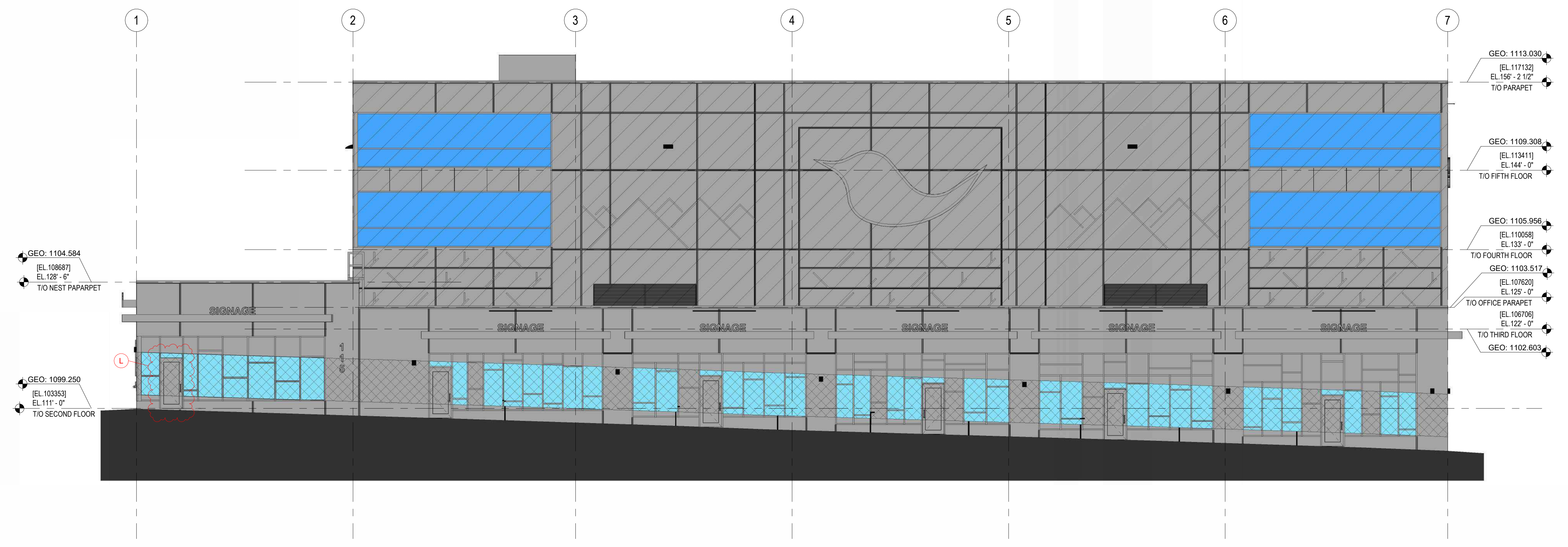
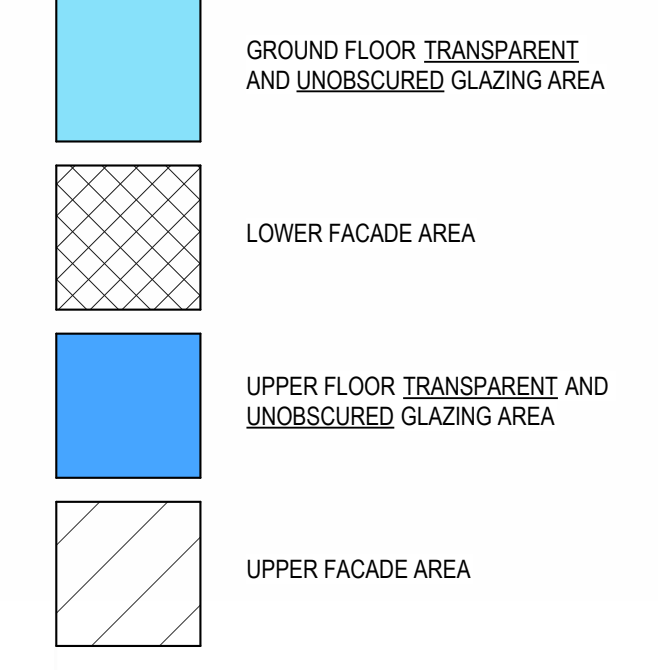
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 DP No      Date Received  
 DP2025-04914    December 1, 2025  
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**RULES FOR FACADES AND SELF STORAGE FACILITY**  
 GLAZING REQUIREMENTS AS PER DIRECT CONTROL - 35D2025

- THE FACADE OF A BUILDING ON THE GROUND FLOOR FACING N/A DRIVE SW MUST PROVIDE WINDOWS OF TRANSPARENT AND UNOBSCURED GLASS THAT OCCUPY A MIN. 50% OF THE FACADE BETWEEN THE HEIGHT OF 0.6m AND 2.4m
- THE FACADE OF A BUILDING LOCATED ABOVE THE GROUND FLOOR AND FACING A STREET MUST PROVIDE WINDOWS WITH UNOBSCURED GLASS THAT OCCUPY A MINIMUM OF 15% OF THE FACADE

- GROUND FLOOR GLAZING**
- FACADE AREA: 99.67sqm (1,072.84sqft)
  - MIN. REQUIRED GLAZING: 49.84sqm (536.47sqft) (50%)
  - PROVIDED GLAZING: 55.73sqm (599.84sqft) (55.9%)
- UPPER FLOOR GLAZING**
- FACADE AREA: 439.46sqm (4,730.31sqft)
  - MIN. REQUIRED GLAZING: 65.92sqm (709.56sqft) (15%)
  - PROVIDED GLAZING: 71.21sqm (766.50sqft) (16.2%)

**BYLAW GLAZING LEGEND**



**STREET FACING GLAZING ELEVATION (SOUTH)**  
 SCALE: 1/8" = 1'-0"

CLIENT:

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

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STAMPS:

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PROJECT INFORMATION:

**BLUEBIRD SELF STORAGE - MEDICINE HILL**

LOT: 12  
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Drawing Title:

**GLAZING COMPLIANCE EXTERIOR ELEVATION**

JOB NUMBER: 25-010  
 DATE: APR. 16, 2025  
 DRAWN BY: KBK

A5.1