

BLUEBIRD SELF STORAGE - MEDICINE HILL

LOT: 12 BLOCK: 3 PLAN: 251 0905
1152 NA'A DRIVE S.W., CALGARY, ALBERTA

P 2026-01-12 RESUBMITTED FOR DTR-2 COMMENTS



ARCHITECTURAL
PROJECT # 25-010



CLIENT



DRAWING LIST (DEVELOPMENT PERMIT)		
ARCHITECTURAL (AXIOM ARCHITECTURE INC.)		
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DRAWINGS ARE TO BE READ, NOT SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR DISCREPANCIES IMMEDIATELY. ALL RIGHTS RESERVED. ANY REPRODUCTION, DISTRIBUTION AND/OR USE OF THESE DRAWINGS FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED IS PROHIBITED.



OVERALL CONTEXT PLAN
SCALE: N.T.S.

CLIENT:




EAGLE BUILDERS

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:



Axiom Architecture Inc.
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5
Ph: 403-558-3311 www.AxiomArch.ca


AXIOM ARCHITECTURE INC. (RED DEER)
PERMIT No. AC 13659
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

ISSUED FOR DEVELOPMENT PERMIT

PROJECT INFORMATION:

BLUEBIRD SELF STORAGE - MEDICINE HILL



LOT: 12
BLOCK: 3
PLAN: 251 0905
CIVIC ADDRESS: 1152 N/A DRIVE S.W.
CALGARY, ALBERTA

REVISIONS:

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M	-	2025-12-09	ISSUED FOR CIVIL COORDINATION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

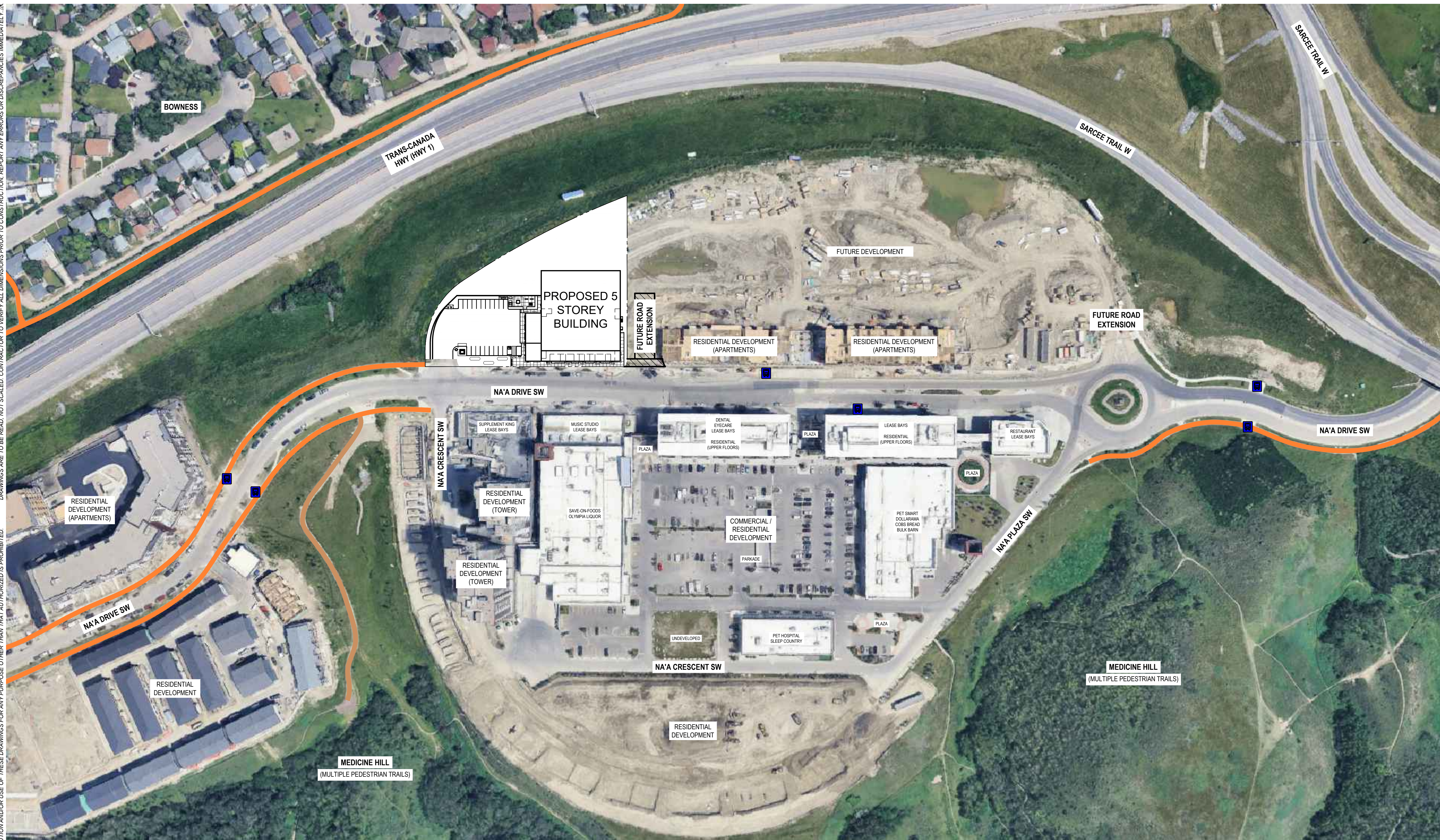
DRAWING TITLE:

OVERALL CONTEXT PLAN

JOB NUMBER: 25-010
DATE: APR. 16, 2025
DRAWN BY: KBK

A0.1

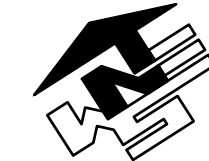
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SYMBOL LEGEND

	- CITY OF CALGARY BUS STOP
	- TRAIL
	- REGIONAL OFF STREET PATHWAY

ENLARGED CONTEXT PLAN
SCALE: N.T.S.



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ENLARGED CONTEXT PLAN AND BYLAW INFORMATION

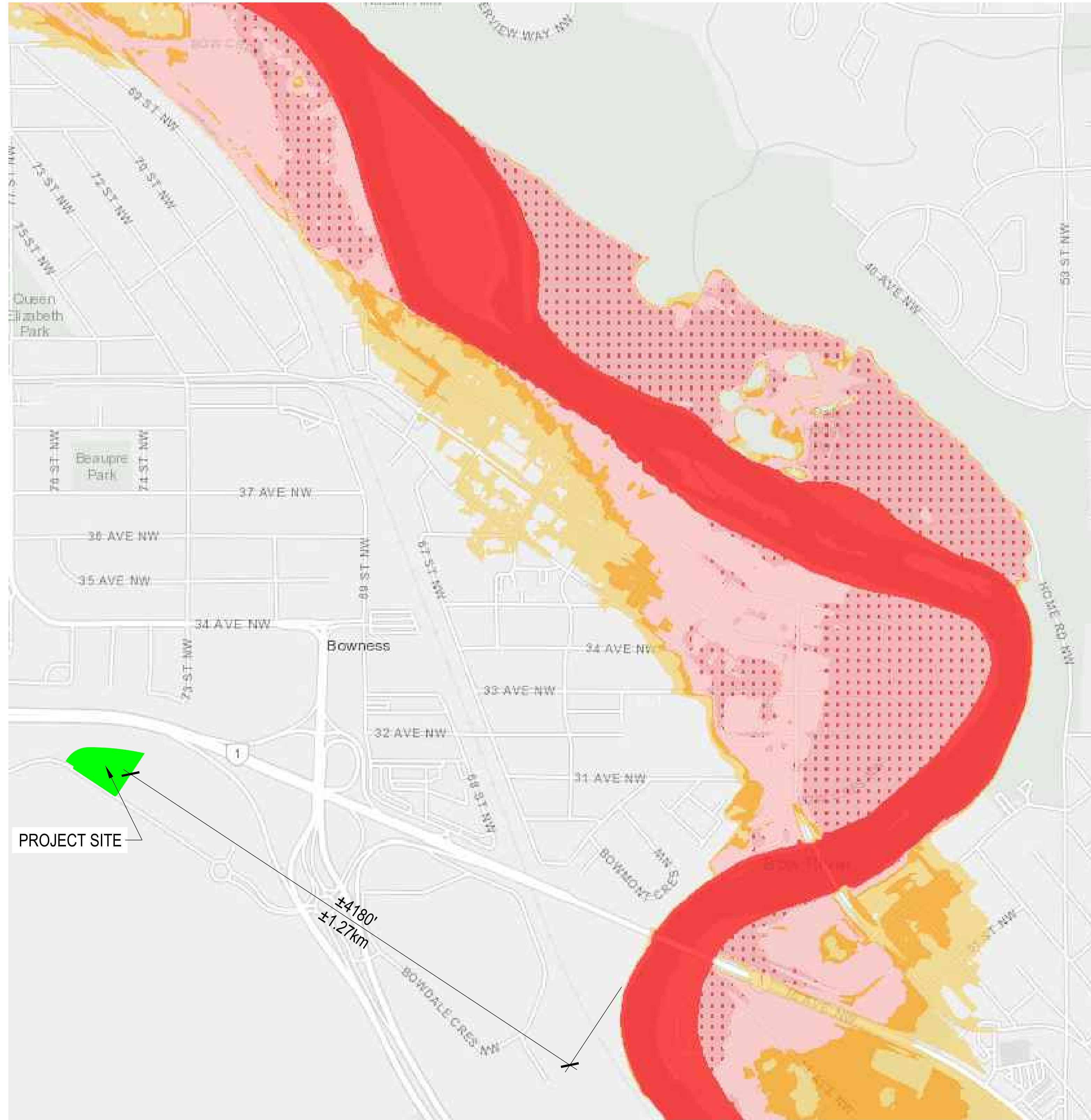
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A0.2

BYLAW INFORMATION	LAND USE BYLAW # 35D2025 & 1P2007														
ZONING:	DIRECT CONTROL - 35D2025 (C-COR1)														
SITE SIZE:	8,099.59 sqm (87,183.24 sqft) (2.00 acres)														
SITE COVERAGE:	REQUIRED: AS DETERMINED BY DEVELOPMENT AUTHORITY PROVIDED: 33.41% COVERAGE														
BUILDING AREAS:	<table border="1"> <tr><td>MAIN FLOOR</td><td>2,165.21 sqm (23,306.11 sqft)</td></tr> <tr><td>SECOND FLOOR / FOOTPRINT</td><td>2,705.75 sqm (29,124.44 sqft)</td></tr> <tr><td>THIRD FLOOR</td><td>2,165.21 sqm (23,306.11 sqft)</td></tr> <tr><td>FOURTH FLOOR</td><td>2,165.21 sqm (23,306.11 sqft)</td></tr> <tr><td>FIFTH FLOOR</td><td>2,165.21 sqm (23,306.11 sqft)</td></tr> <tr><td>GROSS FLOOR AREA</td><td>11,366.58 sqm (122,348.88 sqft)</td></tr> <tr><td>F.A.R.</td><td>1.40 (2.0 MAXIMUM)</td></tr> </table>	MAIN FLOOR	2,165.21 sqm (23,306.11 sqft)	SECOND FLOOR / FOOTPRINT	2,705.75 sqm (29,124.44 sqft)	THIRD FLOOR	2,165.21 sqm (23,306.11 sqft)	FOURTH FLOOR	2,165.21 sqm (23,306.11 sqft)	FIFTH FLOOR	2,165.21 sqm (23,306.11 sqft)	GROSS FLOOR AREA	11,366.58 sqm (122,348.88 sqft)	F.A.R.	1.40 (2.0 MAXIMUM)
MAIN FLOOR	2,165.21 sqm (23,306.11 sqft)														
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GROSS FLOOR AREA	11,366.58 sqm (122,348.88 sqft)														
F.A.R.	1.40 (2.0 MAXIMUM)														
BUILDING HEIGHT:	REQUIRED: MAX. 20.0m (65'-7 13/32") PROVIDED: 17.13m (56'-2 1/2")														
FRONT YARD SETBACK: (N/A DRIVE S.W.)	REQUIRED: MAX. 3.0m (9'-10 1/8") PROVIDED: (S) 3.0m (9'-10 1/8")														
REAR YARD SETBACK:	REQUIRED: 3.0m (9'-10 1/8") PROVIDED: (N) 21.0m (68'-10 11/16")														
SIDE YARD SETBACKS:	REQUIRED: 3.0m (9'-10 1/8") PROVIDED: (E) 3.68m (12'-0 7/8") PROVIDED: (W) 36.37m (119'-4")														
LANDSCAPING REQUIREMENTS:	SEE LANDSCAPE BYLAW INFORMATION ON A1.2 FOR MORE INFORMATION														
PARKING SPACES:	REQUIRED: SELF STORAGE: N/A OFFICE: 1 STALL / 100 sqm (281.81 sqm / 100 = 2.8 [3] STALLS) RETAIL: 1 STALL / 250 sqm (97.08 sqm / 250 = 0.39 [1] STALLS) TOTAL REQUIRED: 4 STALLS PROVIDED: 21 STALLS (20 REGULAR & 1 BARRIER FREE) STALLS LABELED AS VISITOR (V), STAFF (S) & OFFICE (O)														
LOADING SPACES:	REQUIRED: 1 STALL / 9,300 sqm OF G.F.A. (11,366.58 sqm / 9,300 = 1.2 [2] STALLS) PROVIDED: 3 STALLS														
BICYCLE PARKING:	REQUIRED: (CLASS 1) MINIMUM FOR EACH DWELLING UNIT AND LIVE WORK UNIT IS 0.5 STALLS PER UNIT WHEN TOTAL NUMBER OF UNITS EQUALS OR EXCEEDS 20. REQUIRED: (CLASS 2) MINIMUM FOR EACH DWELLING UNIT AND LIVE WORK UNIT IS 2.0 STALLS PER UNIT WHEN TOTAL NUMBER OF UNITS IS EQUAL TO OR LESS 20. MINIMUM FOR EACH DWELLING UNIT AND LIVE WORK UNIT IS 0.1 STALLS PER UNIT WHEN TOTAL NUMBER OF UNITS IS GREATER THAN 20. ALL OTHER USES IS 5% OF THE NUMBER OF MOTOR VEHICLE PARKING STALLS REQUIRED: 5% OF 21 MOTOR VEHICLE STALLS = (1.05) 2 STALLS PROVIDED: 2 STALLS														
COMMERCIAL USE:	REQUIRED: MIN. 10% OF THE GROUND FLOOR G.F.A. MUST CONTAIN COMMERCIAL USES (10% OF 2,705.75sqm [29,124.45sqft] = 270.58sqm [2,912.50sqft]) PROVIDED: 281.81sqm [3,033.38sqft] REQUIRED: MIN. 60% OF THE LENGTH OF THE FACADE LOCATED ON THE GROUND FLOOR AND FRONTING N/A DRIVE SW MUST CONTAIN COMMERCIAL USES (60% OF 55.37m = 33.22m) PROVIDED: 46.10m														
RULES FOR FACADES:	SEE ADDITIONAL INFORMATION ON A5.1. REQUIRED: THE FACADE OF A BUILDING ON THE GROUND FLOOR FACING N/A DRIVE SW MUST PROVIDE WINDOWS OF TRANSPARENT AND UNOBSCURED GLASS THAT OCCUPY A MIN. 50% OF THE FACADE BETWEEN THE HEIGHT OF 0.6m AND 2.4m (50% OF 99.67sqm [1,072.84sqft] = 49.84sqm [536.47sqft]) PROVIDED: 55.73 sqm [599.84sqft] (55.9%) UNOBSCURED GLASS														
RULES FOR SELF STORAGE FACILITY:	SEE ADDITIONAL INFORMATION ON A3.3. INDIVIDUAL ACCESS TO EACH SELF STORAGE UNIT MUST BE ENTIRELY INTERNAL TO THE BUILDING. REQUIRED: THE FACADE OF A BUILDING LOCATED ABOVE THE GROUND FLOOR AND FACING A STREET MUST PROVIDE WINDOWS WITH UNOBSCURED GLASS THAT OCCUPY A MINIMUM OF 15% OF THE FACADE. THE PERIMETER WINDOWS ABOVE THE GROUND FLOOR MUST BE ABUTTED BY INTERNAL CIRCULATION CORRIDORS THAT ACCESS THE SELF STORAGE UNITS, OR BY COMMON AREAS (15% OF 439.46sqm [4,730.31sqft] = 65.92sqm [709.56sqft]) PROVIDED: 71.21sqm [766.50sqft] (16.2%) UNOBSCURED GLASS REQUIRED: A SELF STORAGE FACILITY MUST NOT EXCEED 90% OF THE GROUND FLOOR G.F.A. OF A BUILDING (90% OF 2,705.75sqm [29,124.45sqft] = MAX. 2,435.18sqm [26,212.06sqft]) PROVIDED: 2,165.21sqm [23,306.13sqft]														

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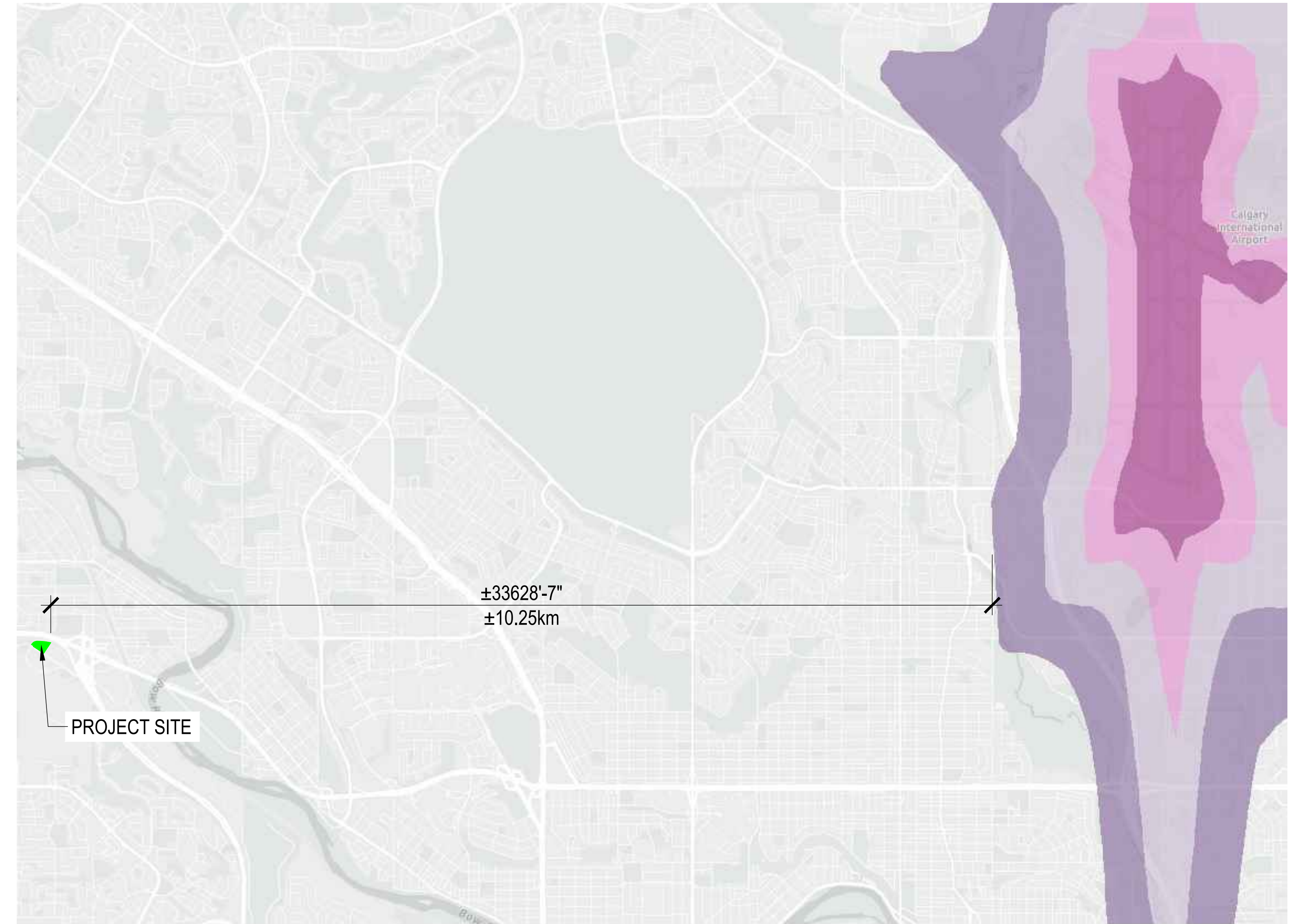
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- Design Flood**
- Floodway
 - Flood Fringe
 - High Hazard Flood Fringe
 - Protected Flood Fringe
 - Overland Flow (Flood Fringe)
 - Flood Berm
- Larger Floods**
- 1:200 Flood
 - 1:500 Flood

Noise Exposure Forecast Contours

- 25 dB
- 30 dB
- 35 dB
- 40 dB



FLOOD MAP
SCALE: N.T.S.

AVAP MAP
SCALE: N.T.S.

CLIENT:

EAGLE BUILDERS

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

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DRAWING TITLE:

FLOOD & AVA MAPS

JOB NUMBER: 25-010
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DRAWN BY: KBK

A0.3

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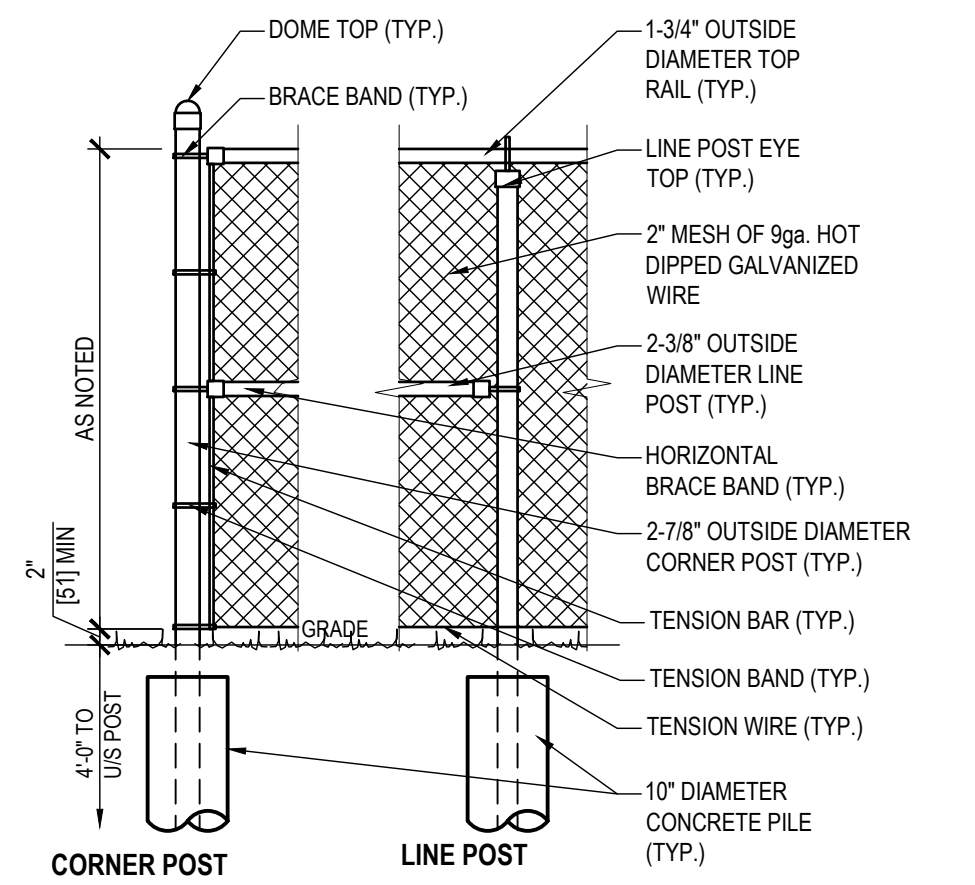
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TRANS-CANADA HIGHWAY #1
(16th AVE N.W.)
ROAD PLAN 272 IX

ROAD PLAN
911 2537



LEGO BLOCK RETAINING WALL
SCALE: 1/2"=1'-0"



CHAINLINK FENCE
SCALE: 1/2"=1'-0"

LOT 1
BLOCK 3
PLAN 161 2946
(DIRECT CONTROL
86D2020)

LOT 11
BLOCK 3
PLAN 221 0056
(DIRECT CONTROL
86D2020)

LOT 8 MR
BLOCK 2
PLAN 161 2946
(SPECIAL PURPOSE
- S-SPR)

PROPOSED 5 STOREY SELF STORAGE BUILDING
FOOTPRINT: 29,124.44 sqft (2,705.75 sqm)
GROSS FLOOR AREA: 122,348.88 sqft (11,366.58 sqm)
MAIN FLOOR GEODETIC: 1095.897
F.A.R.: 1.4

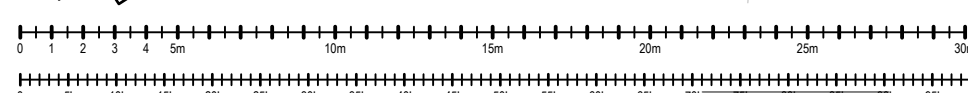
SELF STORAGE UNITS
23,306.11 sqft (2,165.21 sqm)
G.F.A.: 116,530.55 sqft
(10,826.04 sqm)

LOADING
1,740.00 sqft
(161.65 sqm)

THE NEST
1,045 sqft
(97.08 sqm)
(RETAIL)

LEASE OFFICES
3,033.33 sqft
(281.81 sqm)

SITE PLAN
SCALE: 1"=20'-0"



CLIENT:
MECHANICAL / ELECTRICAL:
STRUCTURAL:

ARCHITECTURAL:
TYP. BARRIER FREE RAMP (SEE DTL. E / A1.3)
(2) PARK BENCHES
INVERTED "U" TYPE BICYCLE PARKING (2 BIKES) (SEE DETAIL R/A1.3)

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SITE PLAN

JOB NUMBER: 25-010
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A1.1

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BYLAW INFORMATION		LAND USE BYLAW # 35D2025 & 1P2007
LANDSCAPING REQUIREMENTS:		
REQUIRED:	WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A PARCEL DESIGNATED AS A COMMERCIAL, INDUSTRIAL OR SPECIAL PURPOSE DISTRICT, THE SETBACK AREA MUST BE A SOFT SURFACED LANDSCAPED AREA, MAY HAVE A SIDEWALK ALONG THE LENGTH OF THE BUILDING; AND MUST PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS FOR EVERY 35.0 sqm; OR FOR EVERY 50.0 sqm, WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM.	
	WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH NA'A DRIVE SW, THE SETBACK AREA MAY BE SOFT SURFACED LANDSCAPED AREA OR HARD SURFACED LANDSCAPED AREA. MUST PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS FOR EVERY 35.0 SQM OF LANDSCAPED AREA PROVIDED; AND PROVIDE TREES PLANTED IN A LINEAR ARRANGEMENT ALONG THE LENGTH OF THE SETBACK AREA.	
	ALL SOFT SURFACED LANDSCAPED AREAS MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS A LOW WATER IRRIGATION SYSTEM IS PROVIDED.	
	A MINIMUM OF 25% OF ALL TREES MUST BE CONIFEROUS.	
	REAR SETBACK (NORTH): 316.32sqm / 50sqm = (6.3) 7 TREES & (12.7) 13 SHRUBS SIDE SETBACK (EAST): 288.19sqm / 50sqm = (5.8) 6 TREES & (11.5) 12 SHRUBS FRONT SETBACK (SOUTH) (NA'A DRIVE S.W.): 353.61sqm / 35sqm = (10.1) 11 TREES & (20.2) 21 SHRUBS SIDE SETBACK (WEST): 149.65sqm / 50sqm = (2.99) 3 TREES & (5.99) 6 SHRUBS TOTAL: 27 TREES & 52 SHRUBS	
PROVIDED:	REAR SETBACK (NORTH): 12 TREES & 43 SHRUBS SIDE SETBACK (EAST): 11 TREES & 12 SHRUBS FRONT SETBACK (SOUTH) (NA'A DRIVE S.W.): 11 TREES & 22 SHRUBS (4 PROVIDED TREES & 2 SHRUBS HAVE BEEN PLACED ADJACENT TO THE SETBACK) SIDE SETBACK (WEST): 7 TREES & 7 SHRUB INTERIOR OF SITE: 17 TREES & 28 SHRUBS TOTAL: 53 TREES & 92 SHRUBS	

TRANS-CANADA HIGHWAY #1
(16th AVE N.W.)
ROAD PLAN 272 IX

NOTE:
LINE INDICATES THE LIMIT OF CONSTRUCTION DISTURBANCE. MUNICIPAL RESERVE / CONSTRUCTION FENCING TO BE PROVIDED AROUND DISTURBANCE FENCING TO BE INSTALLED PRIOR TO COMMENCEMENT OF ANY STRIPPING OR GRADING OPERATIONS. THIS FENCING IS TO BE INSPECTED AND APPROVED BY THE PARKS DEVELOPMENT INSPECTOR ANNE RODRIGUES AT 403-894-9397.

ROAD PLAN
911 2537

LOT 1
BLOCK 3
PLAN 161 2946
(DIRECT CONTROL
86D2020)

**LANDSCAPING INFORMATION - HARDINESS ZONE 3b
CALGARY, ALBERTA**

NOTES
1) AREAS OF ANNUAL PLANTINGS OR FLOWER BEDS SHALL BE BY THE OWNER

DECIDUOUS SHRUBS

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
A1	RED OSIER DOGWOOD (CORNUS SERICEA KECKSEYI)	600mm (2'-0") HEIGHT or SPREAD	23
F	HIGHBUSH CRANBERRY (VIBURNUM TRILOBUM)	600mm (2'-0") HEIGHT or SPREAD	6
TOTAL NUMBER OF DECIDUOUS SHRUBS			29

CONIFEROUS SHRUBS

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
H	JUNIPER (JUNIPER COMMUNIS)	600mm (2'-0") HEIGHT or SPREAD	16
J1	UPRIGHT JUNIPER (THUJA OCCIDENTALIS 'HOLMSTRUP')	900mm (3'-0") HEIGHT or SPREAD	31
K	MUGO PINE (PINUS MUGO)	600mm (2'-0") HEIGHT or SPREAD	16
TOTAL NUMBER OF CONIFEROUS SHRUBS			63

DECIDUOUS TREES

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
T6	SWEDISH COLUMNAR ASPEN (POPULUS TREMULA 'ERECTA')	MIN. 75mm (3") CALIPER	26
TOTAL NUMBER OF DECIDUOUS TREES			26

CONIFEROUS TREES

SYMBOL	PROVIDED	SIZE (MATURE)	PROVIDED
T7A	COLORADO BLUE SPRUCE (PICEA PUNGENS)	MIN. 2.0m (6'-6 3/4") HEIGHT	13
T7B	COLORADO BLUE SPRUCE (PICEA PUNGENS)	MIN. 3.0m (9'-10 1/8") HEIGHT	14
TOTAL NUMBER OF CONIFEROUS TREES			27

EXISTING PUBLIC TREES

SYMBOL	EXISTING PROVIDED	SIZE (MATURE)	EXISTING
EX1	QUAKING ASPEN (POPULUS TREMULOIDES)	EXISTING - MEDIUM	19
EX2	SIBERIAN CRABAPPLE (MALUS ADSTRINGENS)	EXISTING - MEDIUM	3
TOTAL NUMBER OF EXISTING PUBLIC TREES (TO REMAIN)			22

REGULATIONS

MINIMUM SIZE OF TREES AND SHRUBS
DECIDUOUS TREES - MIN. CALIPER 50mm (50% MIN. 75mm)
CONIFEROUS TREES - MIN. HT. 2.0m (50% MIN. 3.0m)
DECIDUOUS SHRUBS - MIN. HT. 600mm
CONIFEROUS SHRUBS - MIN. SPREAD 600mm

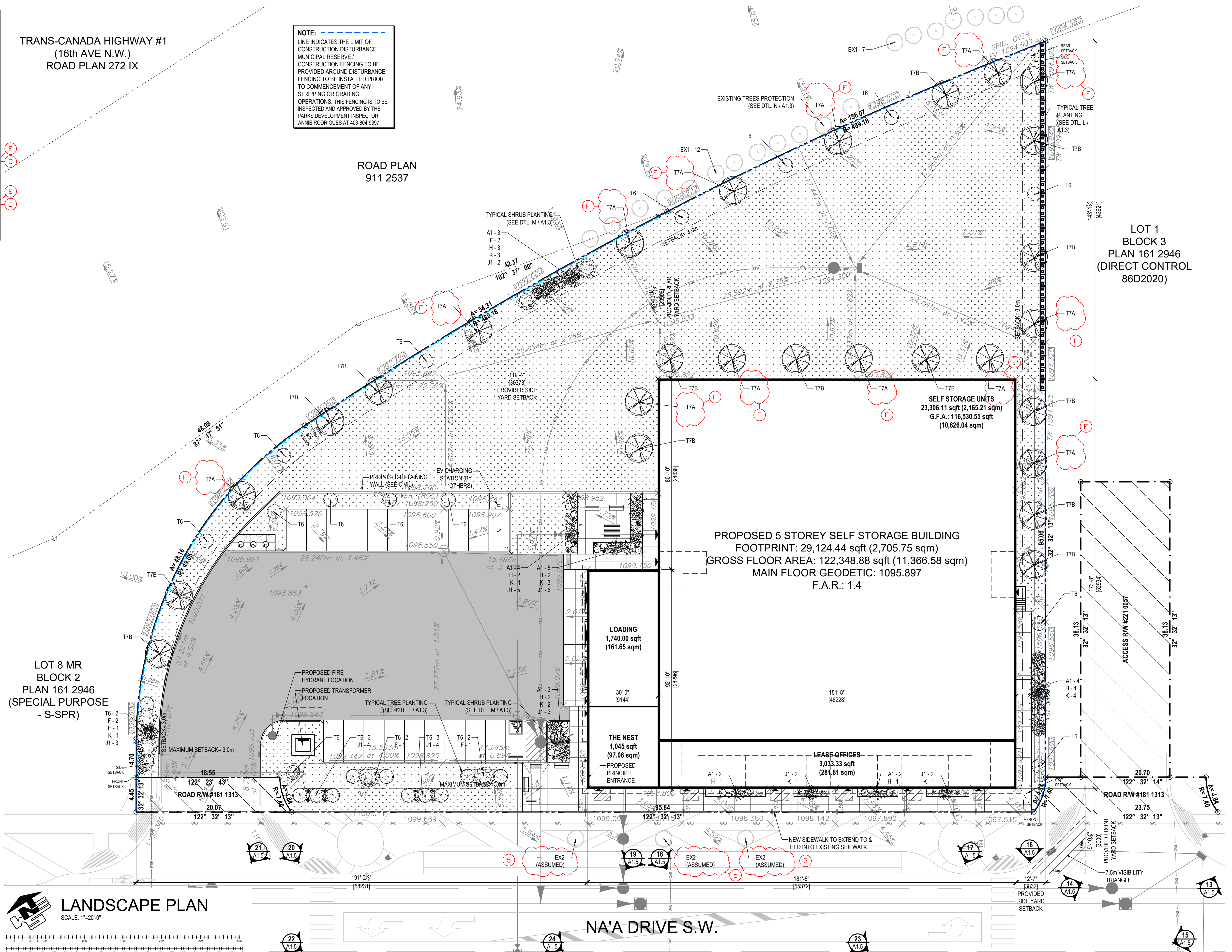
TREES AND SHRUBS TO BE WATERED WITH LOW WATER IRRIGATION SYSTEM. IRRIGATION TO BE CONFINED TO TREE AND SHRUB LOCATIONS ONLY

HATCHING DEPICTS SODDED AREAS (AREAS TO USE DROUGHT TOLERANT GRASS) (SOIL DEPTH MIN. 300mm)

HATCHING DEPICTS MULCHED AREAS (SOIL DEPTH MIN. 600mm IN PLANTING BEDS)

LOT 8 MR
BLOCK 2
PLAN 161 2946
(SPECIAL PURPOSE
- S-SPR)

LANDSCAPE PLAN
SCALE: 1"=20'-0"



CLIENT:

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

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- MEDICINE HILL**

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P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS
N	-	2025-12-17	REVISED GRADING FOR CIVIL COORDINATION
M	-	2025-12-09	ISSUED FOR CIVIL COORDINATION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

DRAWING TITLE:

**LANDSCAPE & EXISTING
TREE PLAN**

JOB NUMBER: 25-010
DATE: APR. 16, 2025
DRAWN BY: KBK

A1.2



1
A1.1
SOUTHWEST CORNER
SCALE: N.T.S.



2
A1.1
SOUTHWEST CORNER
SCALE: N.T.S.



3
A1.1
SOUTH SIDE
SCALE: N.T.S.



4
A1.1
SOUTH SIDE
SCALE: N.T.S.



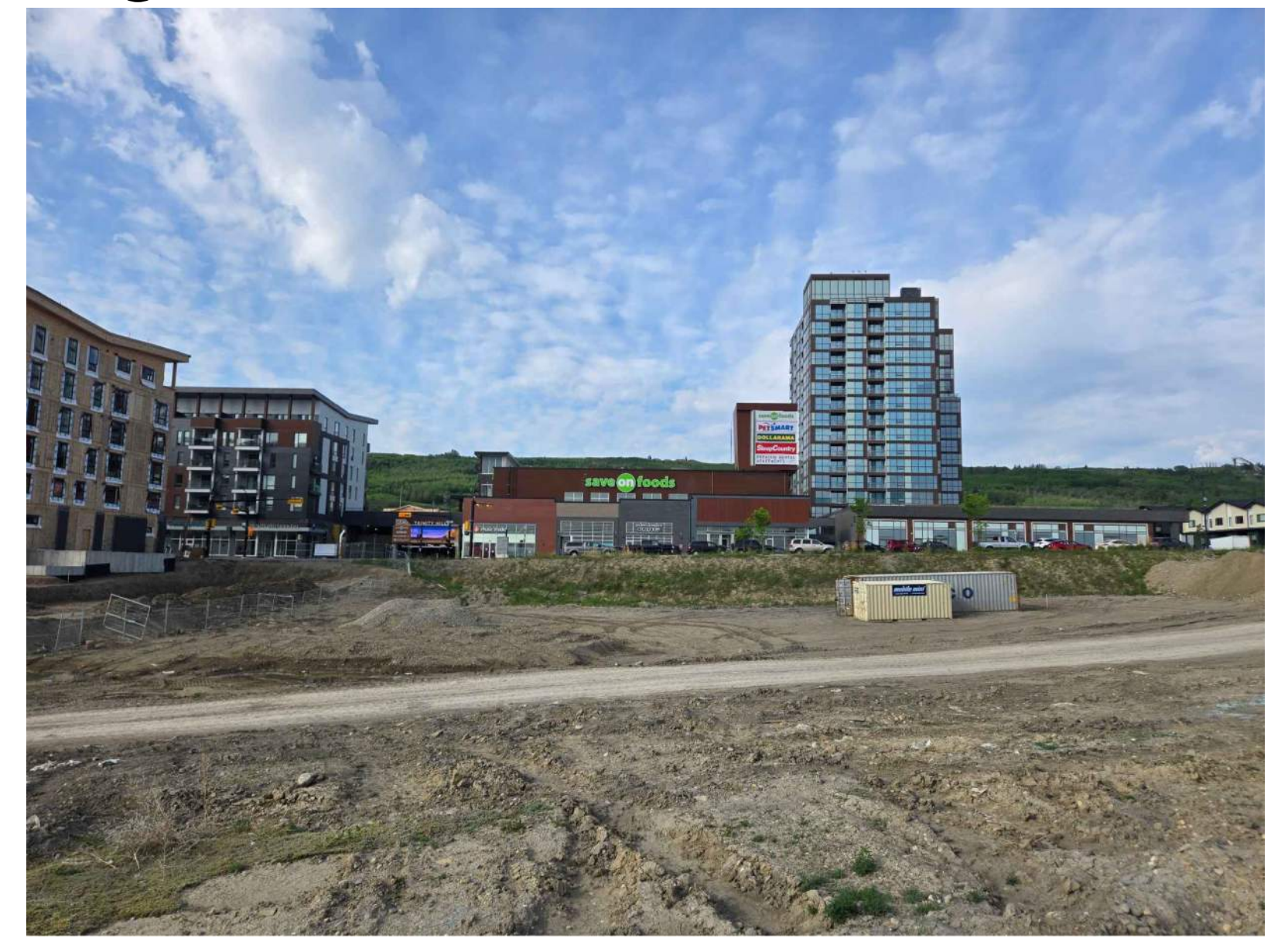
5
A1.1
SOUTH SIDE
SCALE: N.T.S.



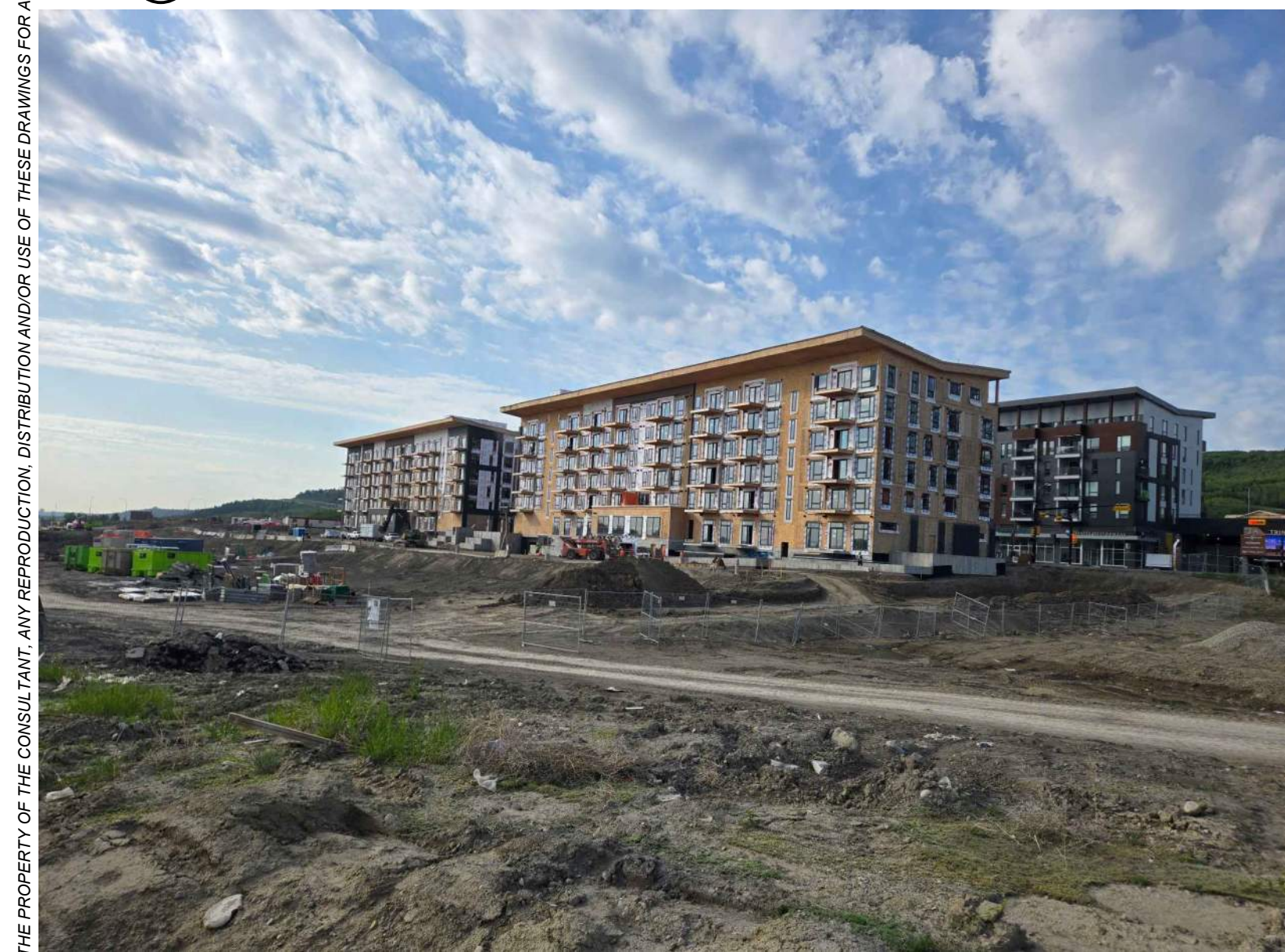
6
A1.1
SOUTHEAST CORNER
SCALE: N.T.S.



7
A1.1
SOUTHEAST CORNER
SCALE: N.T.S.



8
A1.1
NORTHEAST CORNER
SCALE: N.T.S.



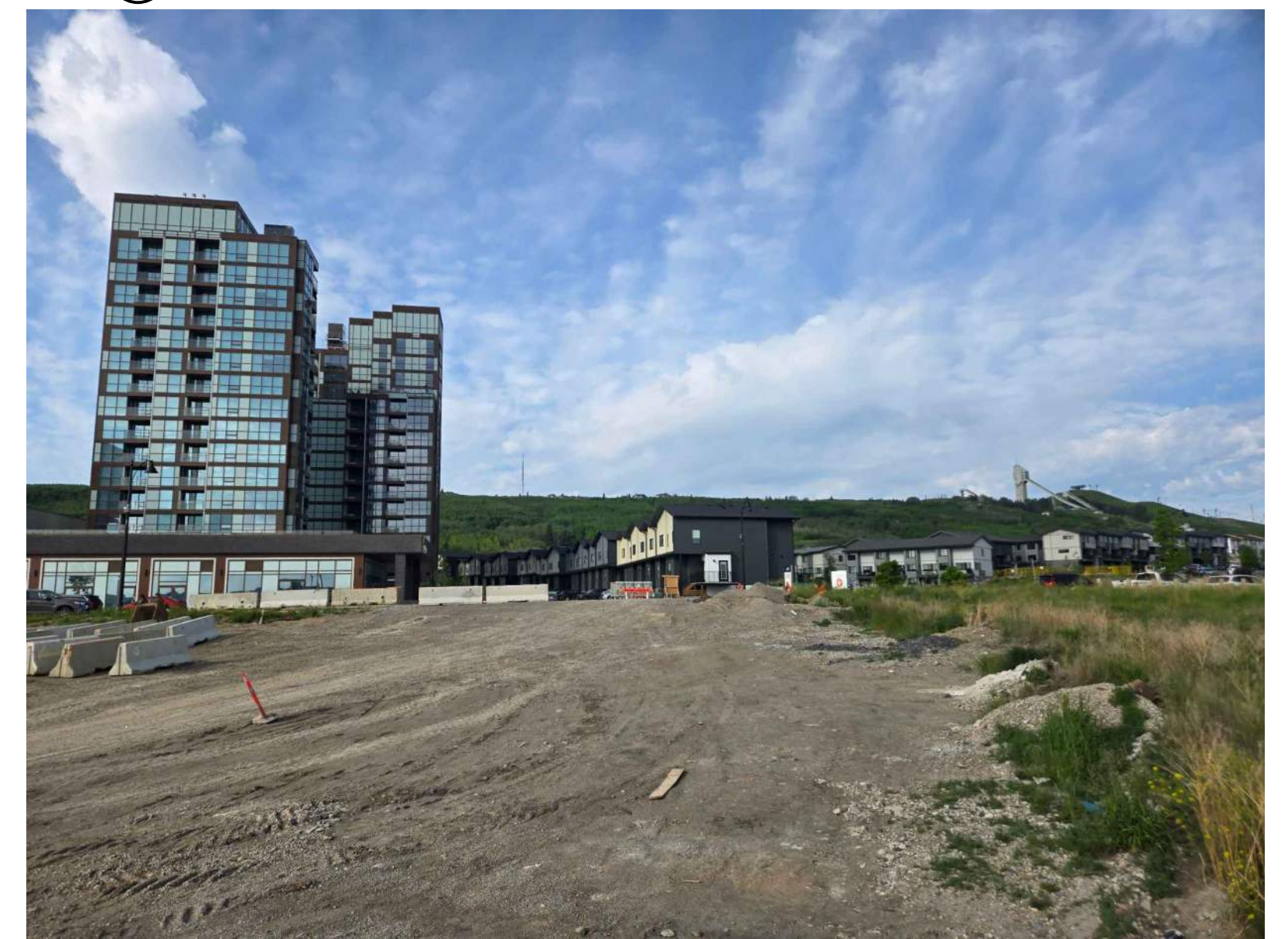
9
A1.1
NORTHEAST CORNER
SCALE: N.T.S.



10
A1.1
NORTH SIDE
SCALE: N.T.S.



11
A1.1
WEST SIDE
SCALE: N.T.S.



12
A1.1
WEST SIDE
SCALE: N.T.S.

CLIENT:

EAGLE BUILDERS

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

Axiom Architecture Inc.
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5
Ph: 403-558-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)
PERMIT No. AC 13659
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

ISSUED FOR DEVELOPMENT PERMIT

PROJECT INFORMATION:

BLUEBIRD SELF STORAGE - MEDICINE HILL

LOT: 12
BLOCK: 3
PLAN: 251 0905
CIVIC ADDRESS: 1152 N/A DRIVE S.W.
CALGARY, ALBERTA

REVISIONS:

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J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

DRAWING TITLE:

SITE PHOTOS

JOB NUMBER: 25-010
DATE: APR. 16, 2025
DRAWN BY: KBK

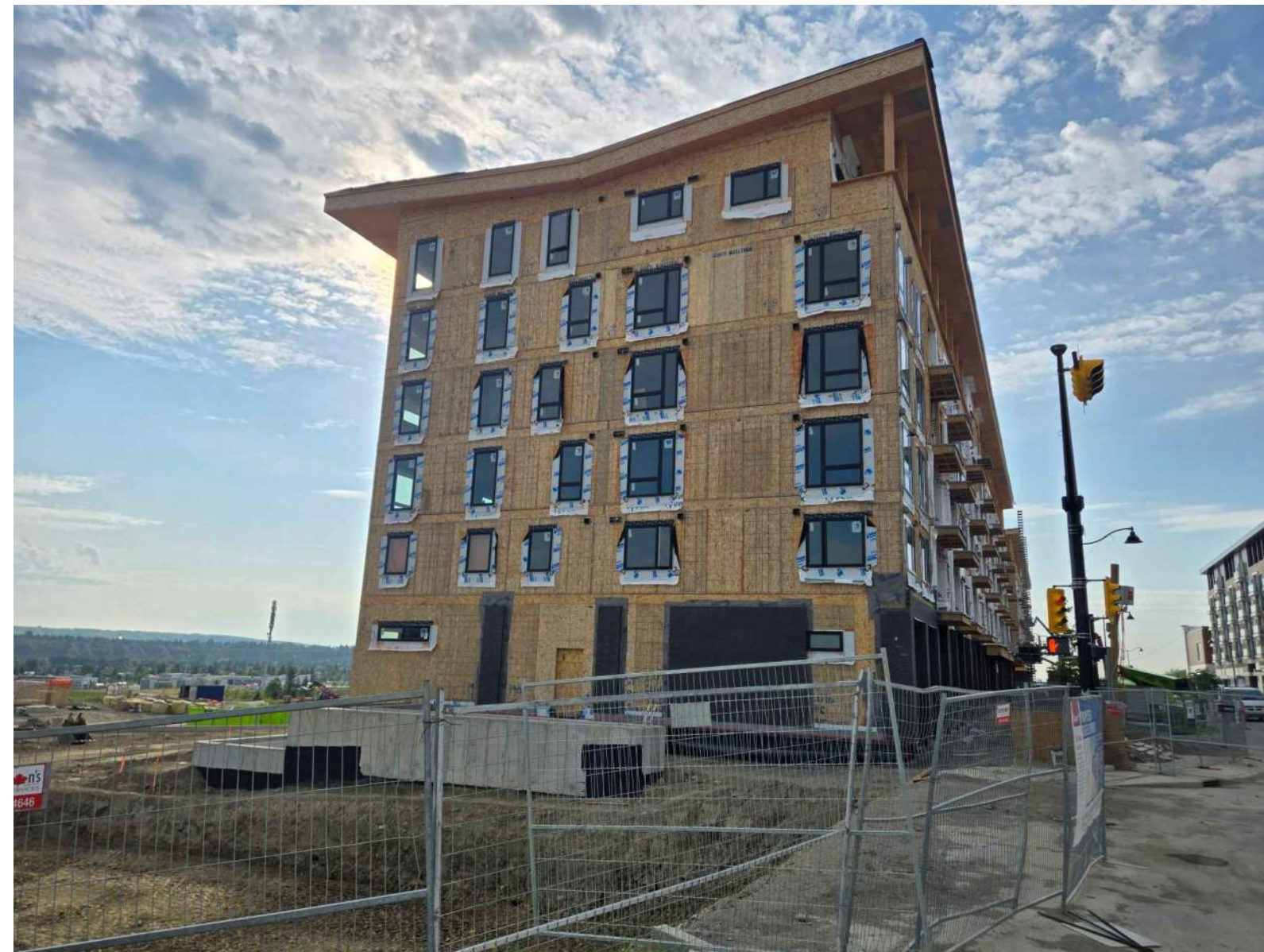
A1.4

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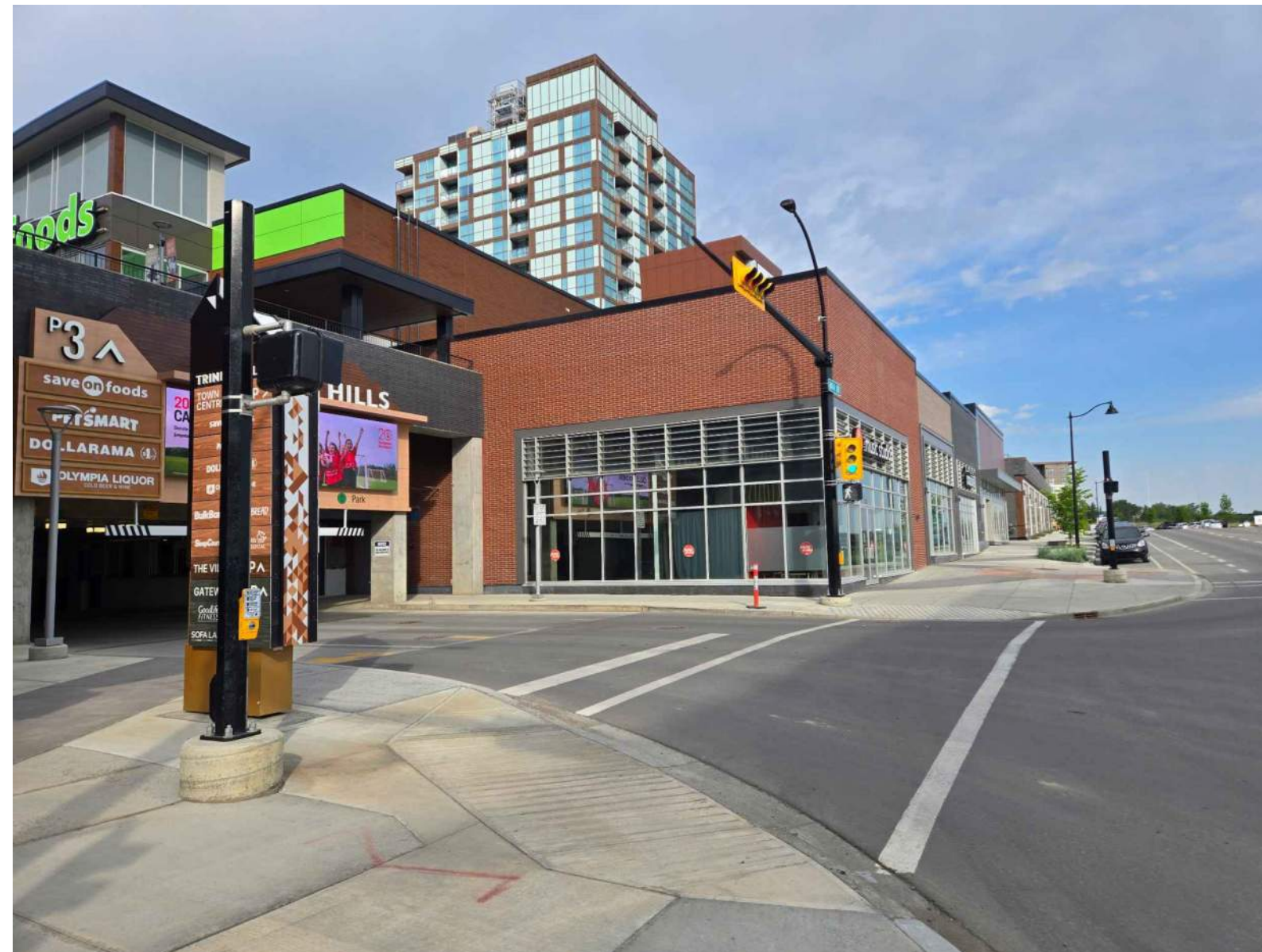
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13
A1.2
ADJACENT RESIDENTIAL
SCALE: N.T.S.



14
A1.2
ADJACENT RESIDENTIAL
SCALE: N.T.S.



15
A1.2
ADJACENT COMMERCIAL
SCALE: N.T.S.



16
A1.2
ADJACENT COMMERCIAL
SCALE: N.T.S.



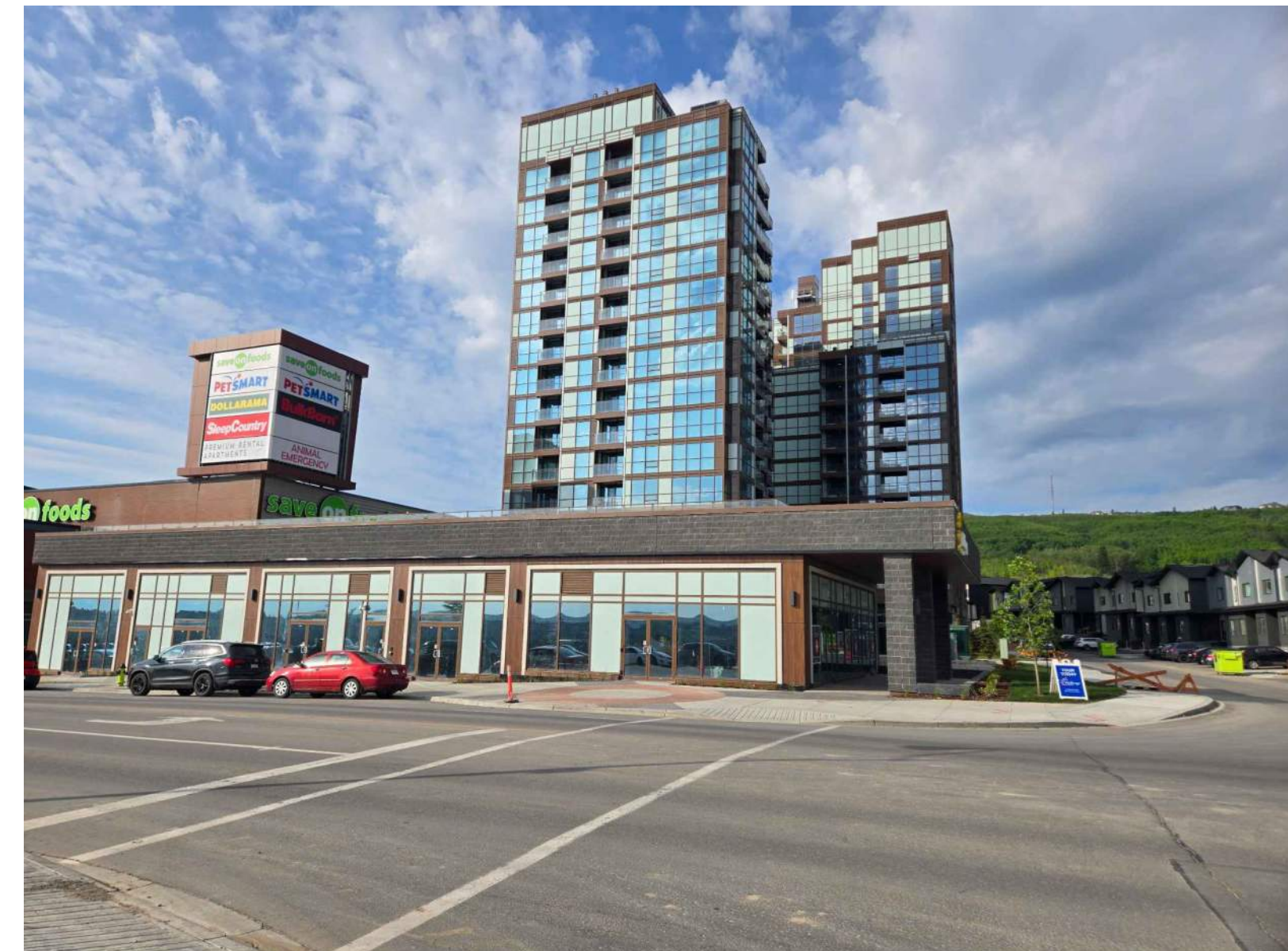
17
A1.2
ADJACENT COMMERCIAL/RESIDENTIAL
SCALE: N.T.S.



18
A1.2
ADJACENT COMMERCIAL/RESIDENTIAL
SCALE: N.T.S.



19
A1.2
ADJACENT COMMERCIAL/RESIDENTIAL
SCALE: N.T.S.



20
A1.2
ADJACENT COMMERCIAL/RESIDENTIAL
SCALE: N.T.S.



21
A1.2
ADJACENT RESIDENTIAL
SCALE: N.T.S.



22
A1.2
ADJACENT COMMERCIAL
SCALE: N.T.S.



23
A1.2
ADJACENT COMMERCIAL
SCALE: N.T.S.



24
A1.2
ADJACENT COMMERCIAL
SCALE: N.T.S.

CLIENT:

EAGLE BUILDERS

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

Axiom Architecture Inc.
 Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5
 Ph: 403-558-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)
 PERMIT No. AC 13659
 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

ISSUED FOR DEVELOPMENT PERMIT

PROJECT INFORMATION:

BLUEBIRD SELF STORAGE - MEDICINE HILL

LOT: 12
 BLOCK: 3
 PLAN: 251 0905
 CIVIC ADDRESS: 1152 NAVA DRIVE S.W.
 CALGARY, ALBERTA

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J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

DRAWING TITLE:

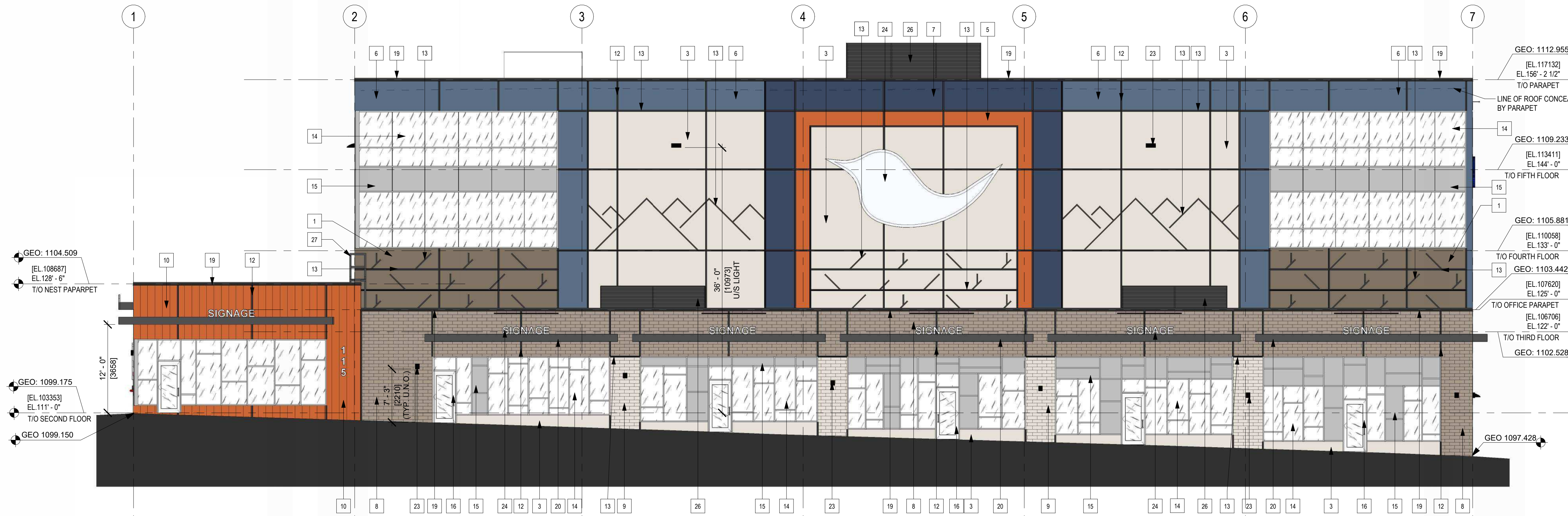
ADJACENT CONTEXT SITE PHOTOS

JOB NUMBER: 25-010
 DATE: APR. 16, 2025
 DRAWN BY: KBK

A1.5

DRAWINGS ARE TO BE READ, NOT SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR DISCREPANCIES IMMEDIATELY.

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SOUTH ELEVATION

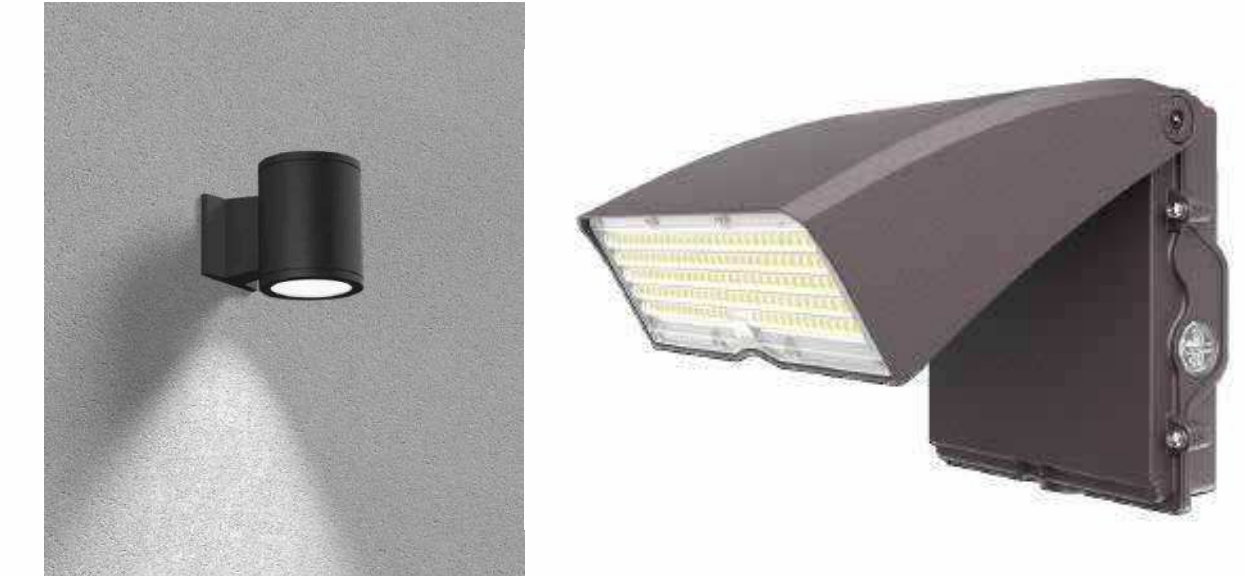
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND	
TAG	DESCRIPTION
1	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE COASTAL FOG 0213)
2	PRIMED & PAINTED PRECAST CONCRETE PANELS c/w REVEAL PATTERN (COLOUR: CLOVERDALE BIG SPENDER 0212)
3	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BONAIRE 0020)
4	*KEYNOTE NUMBER NOT USED*
5	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE CASA DE ORO 1026)
6	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE BLUE DEPTHS 0626)
7	PRIMED & PAINTED PRECAST CONCRETE PANELS (COLOUR: CLOVERDALE QUIET PEACE 0592)
8	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2172 08) (COLOUR: CLOVERDALE BIG SPENDER 0212)
9	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2172 08) (COLOUR: CLOVERDALE BONAIRE 0020)
10	WOOD PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2172 08) (COLOUR: CLOVERDALE CASA DE ORO 1026)
11	ETCHED & SEALED PRECAST CONCRETE BUFFALO MURAL (RECKLI PHOTO-ENGRAVING)
12	PRECAST CONCRETE PANEL JOINT
13	PRECAST CONCRETE PANEL REVEAL
14	CLEAR GLAZING IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
15	SPANDREL PANEL IN PREFINISHED CLEAR ANODIZED ALUMINUM FRAME
16	PREFINISHED CLEAR ANODIZED ALUMINUM FULL GLAZED DOOR
17	PRIMED & PAINTED METAL MAN DOOR (COLOUR TO MATCH ADJACENT WALL COLOUR)
18	PREFINISHED CLEAR GLAZING OVERHEAD DOOR
19	PREFINISHED METAL CAP FLASHING (COLOUR: BLACK)
20	POWDER COATED STEEL CANOPY (COLOUR: BLACK)
21	POWDER COATED STEEL STAIRS & PIPE GUARDRAIL (COLOUR: BLACK)
22	CONCRETE FILLED PIPE BOLLARD (COLOUR: CLOVERDALE BLUE DEPTHS 0626)
23	EXTERIOR DOWNLIGHTING (BY OTHERS) (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING)
24	EXTERIOR ILLUMINATED BUILDING SIGNAGE (BY OTHERS UNDER SEPARATE PERMIT)
25	FIRE DEPARTMENT CONNECTION c/w SIGN (AS PER CITY OF CALGARY REQUIREMENTS)
26	ROOF SCREEN FOR MECHANICAL UNITS (SEE ROOF PLAN FOR LOCATIONS) (BLACK LOUVERS)
27	PREFINISHED PARAPET LADDER (COLOUR: BLACK)
28	AFTER HOURS ACCESS KEYPAD (BY OTHERS)
29	FIRE DEPARTMENT LOCKBOX (AS PER CITY OF CALGARY REQUIREMENTS)

NOTE: ALL MECHANICAL WALL GRILLES & PENETRATIONS ARE TO BE PAINTED SIMILAR TO ADJACENT WALL COLOUR

LIGHTING LEGEND

WALL PACKS



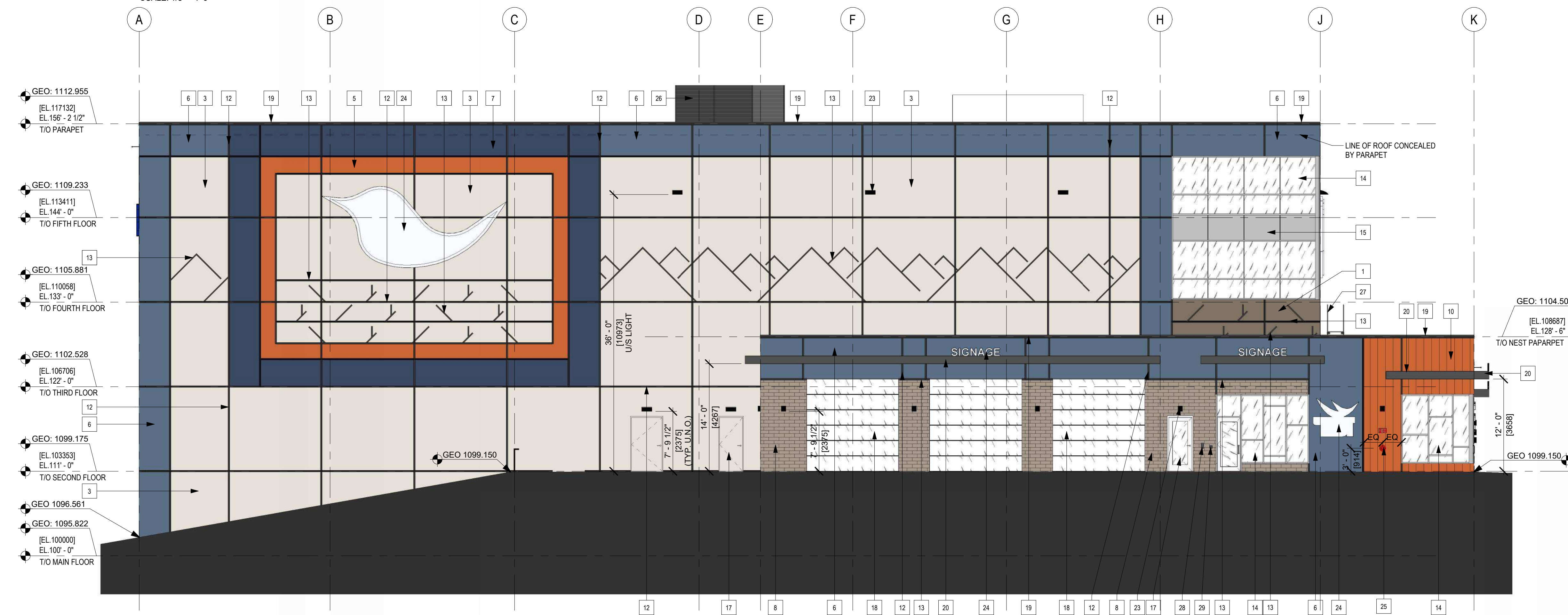
SITE LIGHTING



MURAL DOWNLIGHT



NOTE: EXTERIOR DOWNLIGHTING (BY OTHERS) (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING)



WEST ELEVATION

SCALE: 1/8" = 1'-0"



CLIENT:
MECHANICAL / ELECTRICAL:
STRUCTURAL:

STRUCTURAL:

ARCHITECTURAL:
Axiom Architecture Inc.
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5
Ph: 403-358-3311 www.AxiomArch.ca
AXIOM ARCHITECTURE INC. (RED DEER)
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STAMPS:
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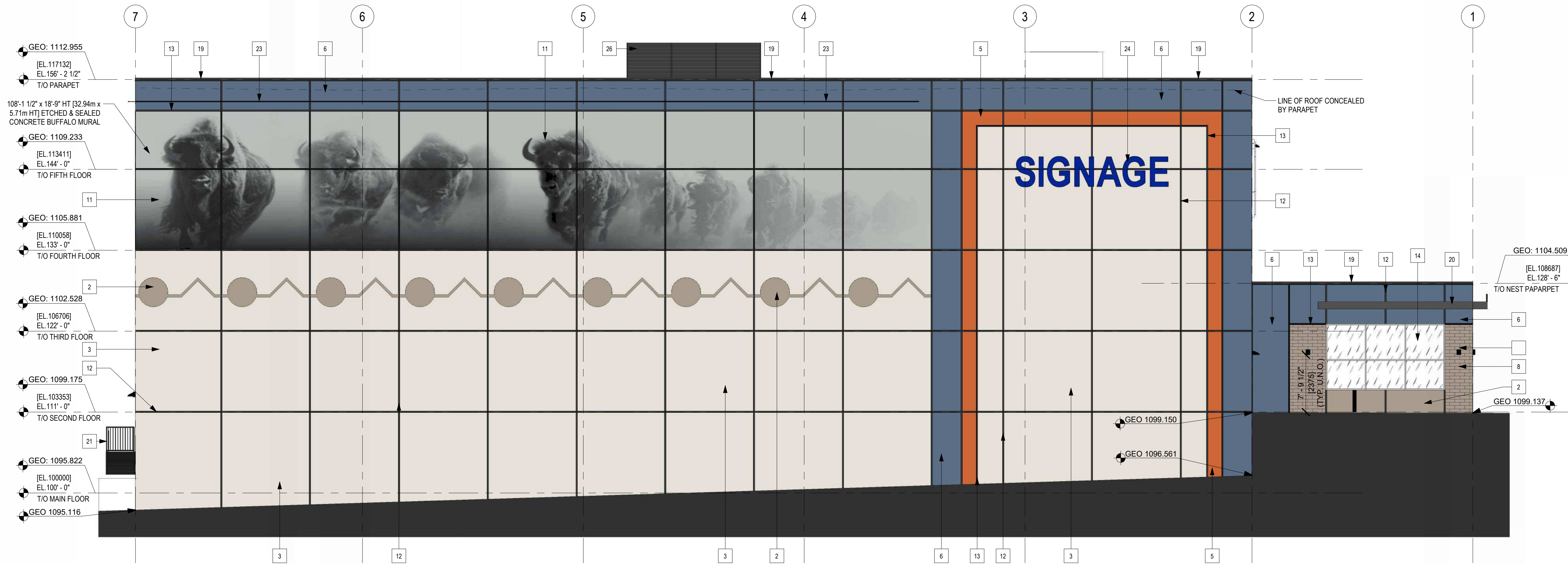
PROJECT INFORMATION:
BLUEBIRD SELF STORAGE - MEDICINE HILL
Bluebird Self Storage
LOT: 12
BLOCK: 3
PLAN: 251 0905
CIVIC ADDRESS: 1152 NAA DRIVE S.W.
CALGARY, ALBERTA

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J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:
EXTERIOR ELEVATIONS

JOB NUMBER: 25-010
DATE: APR. 16, 2025
DRAWN BY: KBK
A3.1

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NORTH ELEVATION

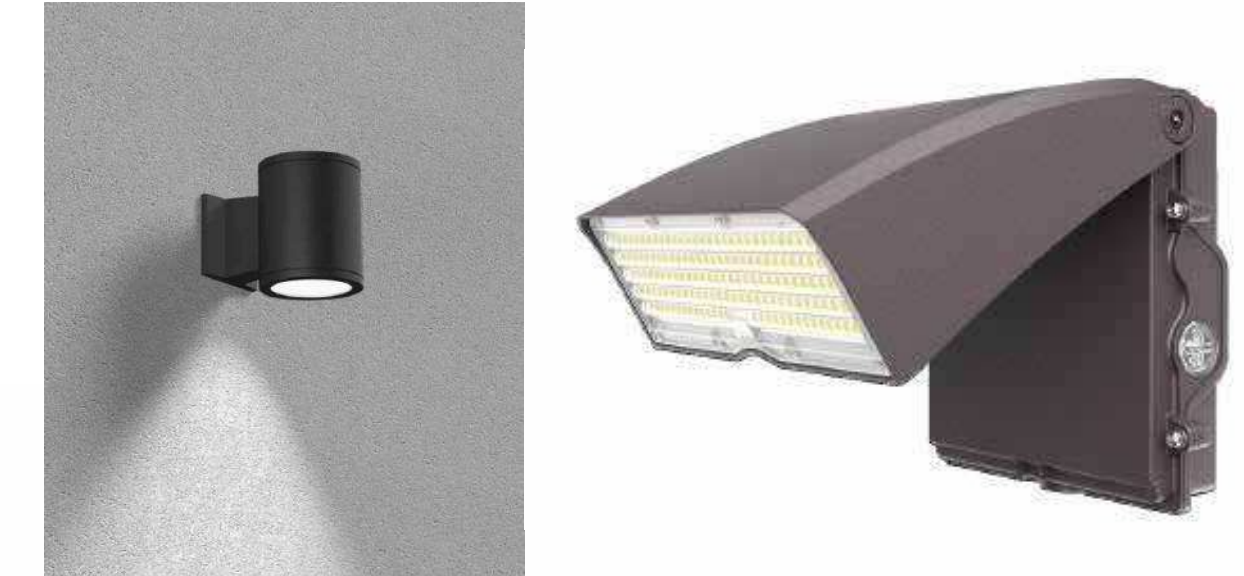
SCALE: 1/8" = 1'-0"

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4	*KEYNOTE NUMBER NOT USED*
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8	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2/72 OB) (COLOUR: CLOVERDALE BIG SPENDER 0212)
9	STONE PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2/72 OB) (COLOUR: CLOVERDALE BONAIRE 0020)
10	WOOD PATTERNED PRIMED & PAINTED PRECAST CONCRETE PANELS (RECKLI 2/72 OB) (COLOUR: CLOVERDALE CASA DE ORO 1026)
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29	FIRE DEPARTMENT LOCKBOX (AS PER CITY OF CALGARY REQUIREMENTS)

NOTE: ALL MECHANICAL WALL GRILLES & PENETRATIONS ARE TO BE PAINTED SIMILAR TO ADJACENT WALL COLOUR

LIGHTING LEGEND

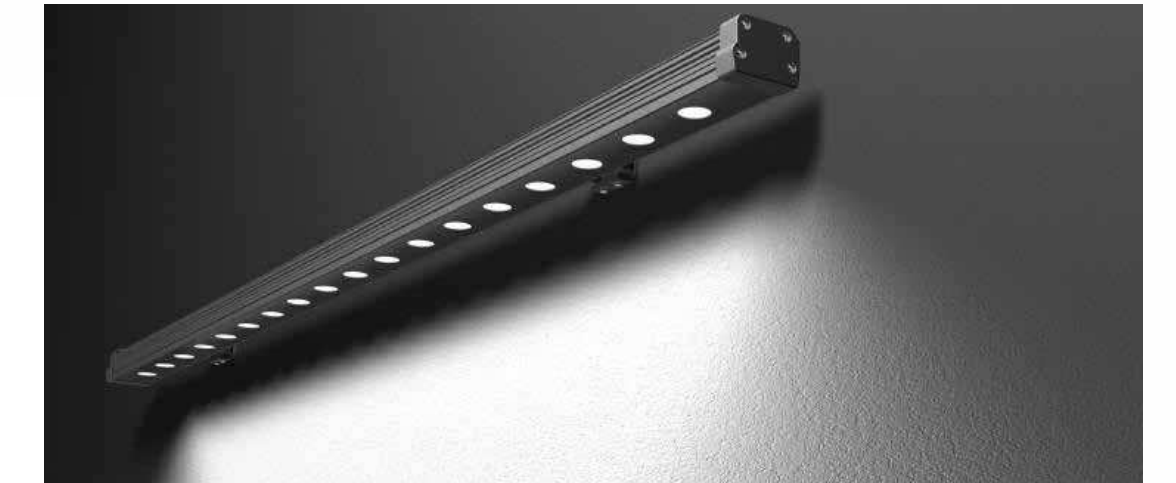
WALL PACKS



SITE LIGHTING

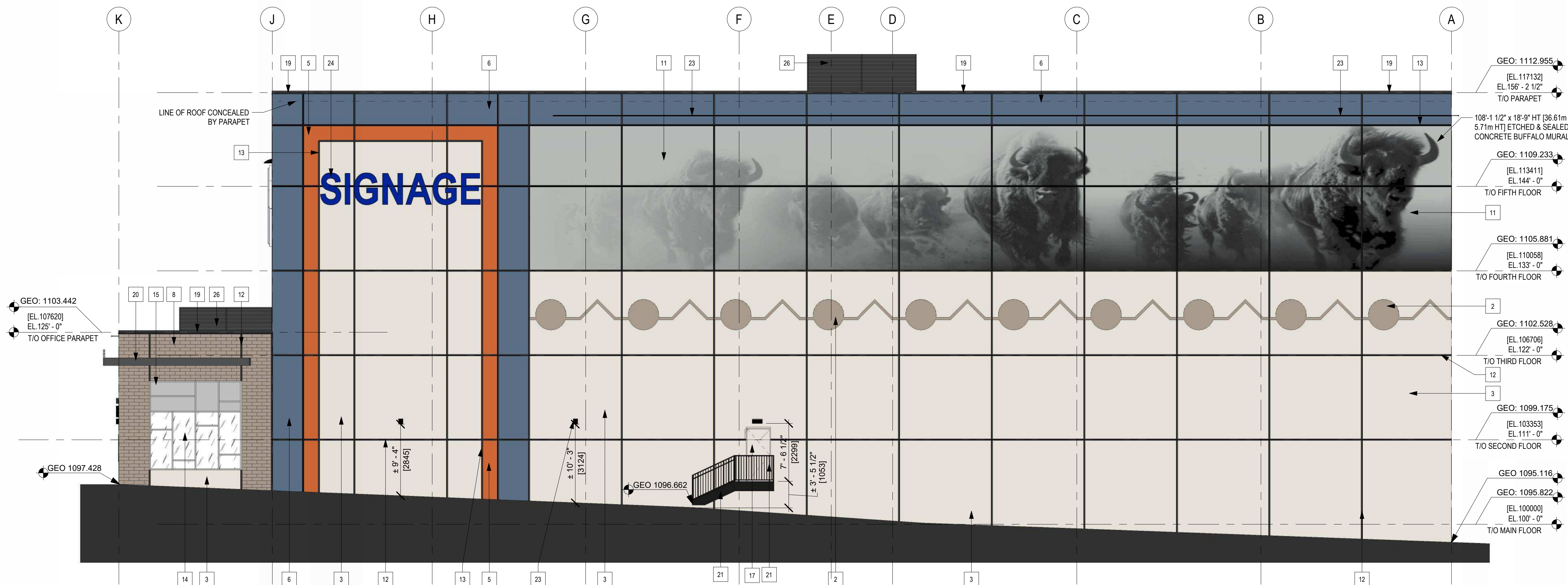


MURAL DOWNLIGHT



NOTE: EXTERIOR DOWNLIGHTING (BY OTHERS) (ELECTRICAL TO CONFIRM FIXTURES AND LIGHTING)

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EAST ELEVATION

SCALE: 1/8" = 1'-0"

CLIENT:

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5
Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)
PERMIT No. AC 13659
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

ISSUED FOR DEVELOPMENT PERMIT

PROJECT INFORMATION:

BLUEBIRD SELF STORAGE - MEDICINE HILL

LOT: 12
BLOCK: 3
PLAN: 251 0905
CIVIC ADDRESS: 1152 N/A DRIVE S.W.
CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
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Drawing Title:

EXTERIOR ELEVATIONS

JOB NUMBER: 25-010
DATE: APR. 16, 2025
DRAWN BY: KBK

A3.2

DRAWINGS ARE TO BE READ, NOT SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR DISCREPANCIES IMMEDIATELY.



SOUTHWEST VIEW



SOUTHEAST VIEW





NORTHEAST VIEW







NORTHWEST VIEW

WALL COLOURS

-  CLOVERDALE - COASTAL FOG (0213)
-  CLOVERDALE - BIG SPENDER (0212)
-  CLOVERDALE - BONAIRE (0020)
-  CLOVERDALE - CASA DE ORO (1026)
-  CLOVERDALE - BLUE DEPTHS (0626)
-  CLOVERDALE - QUIET PEACE (0592)

NOTE: ALL WALLS CONSIST OF PAINTED PRECAST CONCRETE ONLY. PLEASE SEE FEATURE ELEMENTS BELOW FOR CAST IN FORMLINER PATTERNS.

FEATURE ELEMENTS

-  VERTICAL WOOD PATTERNED CONCRETE FORMLINER
-  STONE PATTERNED CONCRETE FORMLINER
-  POWDER COATED STEEL & PREFINISHED FLASHINGS (BLACK)
-  PREFINISHED CLEAR ANODIZED ALUMINUM WINDOW FRAMES

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CLIENT:



MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:



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STAMPS:

ISSUED FOR DEVELOPMENT PERMIT

PROJECT INFORMATION:

BLUEBIRD SELF STORAGE - MEDICINE HILL



LOT: 12
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CALGARY, ALBERTA

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Drawing Title:

EXTERIOR BUILDING RENDERINGS

JOB NUMBER: 25-010
DATE: APR. 16, 2025
DRAWN BY: KBK

A3.3

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STREETScape - STORAGE OFFICE (THE NEST)



STREETScape - OFFICES

WALL COLOURS

-  CLOVERDALE - COASTAL FOG (0213)
-  CLOVERDALE - BIG SPENDER (0212)
-  CLOVERDALE - BONAIRE (0020)
-  CLOVERDALE - CASA DE ORO (1026)
-  CLOVERDALE - BLUE DEPTHS (0626)
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STORAGE LOADING AREA



STREETScape - SIGNAGE TOWER

FEATURE ELEMENTS


-  VERTICAL WOOD PATTERNED CONCRETE FORMLINER
-  STONE PATTERNED CONCRETE FORMLINER
-  POWDER COATED STEEL & PREFINISHED FLASHINGS (BLACK)
-  PREFINISHED CLEAR ANODIZED ALUMINUM WINDOW FRAMES



MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:



Axiom
Architecture Inc.
Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5
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BLUEBIRD SELF STORAGE - MEDICINE HILL



LOT: 12
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CALGARY, ALBERTA

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K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:
EXTERIOR BUILDING RENDERINGS

JOB NUMBER: 25-010
DATE: APR. 16, 2025
DRAWN BY: KBK

A3.4

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ETCHED & SEALED CONCRETE BUFFALO MURAL



ETCHED & SEALED CONCRETE BUFFALO MURAL - NIGHT

WALL COLOURS

- CLOVERDALE - COASTAL FOG (0213)
- CLOVERDALE - BIG SPENDER (0212)
- CLOVERDALE - BONAIRE (0020)
- CLOVERDALE - CASA DE ORO (1026)
- CLOVERDALE - BLUE DEPTHS (0626)
- CLOVERDALE - QUIET PEACE (0592)

NOTE: ALL WALLS CONSIST OF PAINTED PRECAST CONCRETE ONLY. PLEASE SEE FEATURE ELEMENTS BELOW FOR CAST IN FORMLINER PATTERNS.

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VISUAL IMPACT - TRANS CANADA HIGHWAY (DISTANCE OF 150m)



VISUAL IMPACT - TRANS CANADA HIGHWAY (DISTANCE OF 150m)

FEATURE ELEMENTS

- VERTICAL WOOD PATTERNED CONCRETE FORMLINER
- STONE PATTERNED CONCRETE FORMLINER
- POWDER COATED STEEL & PREFINISHED FLASHINGS (BLACK)
- PREFINISHED CLEAR ANODIZED ALUMINUM WINDOW FRAMES

CLIENT:

MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:

Suite 100 - 550 Laura Avenue Red Deer County, AB, T4E 0A5
Ph: 403-358-3311 www.AxiomArch.ca

AXIOM ARCHITECTURE INC. (RED DEER)
PERMIT No. AC 13659
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

STAMPS:

ISSUED FOR DEVELOPMENT PERMIT

PROJECT INFORMATION:

BLUEBIRD SELF STORAGE - MEDICINE HILL

LOT: 12
BLOCK: 3
PLAN: 251 0905
CIVIC ADDRESS: 1152 N/A DRIVE S.W.
CALGARY, ALBERTA

REVISIONS:

ISSUE	REV.	DATE	DESCRIPTION
P	-	2026-01-12	RESUBMITTED FOR DTR-2 COMMENTS
N	-	2025-12-17	REVISED GRADING FOR CIVIL COORDINATION
M	-	2025-12-09	ISSUED FOR CIVIL COORDINATION
L	-	2025-11-28	RESUBMITTED FOR DTR-1 COMMENTS
K	-	2025-10-16	ISSUED FOR LIGHTING LAYOUT
J	-	2025-08-22	ISSUED FOR DEVELOPMENT PERMIT

Drawing Title:

EXTERIOR BUILDING RENDERINGS

JOB NUMBER: 25-010
DATE: APR. 16, 2025
DRAWN BY: KBK

A3.5

DRAWINGS ARE TO BE READ, NOT SCALED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR DISCREPANCIES IMMEDIATELY.

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RULES FOR FACADES AND SELF STORAGE FACILITY

GLAZING REQUIREMENTS AS PER DIRECT CONTROL - 35D2025

- THE FACADE OF A BUILDING ON THE GROUND FLOOR FACING N/A DRIVE SW MUST PROVIDE WINDOWS OF TRANSPARENT AND UNOBSCURED GLASS THAT OCCUPY A MIN. 50% OF THE FACADE BETWEEN THE HEIGHT OF 0.6m AND 2.4m
- THE FACADE OF A BUILDING LOCATED ABOVE THE GROUND FLOOR AND FACING A STREET MUST PROVIDE WINDOWS WITH UNOBSCURED GLASS THAT OCCUPY A MINIMUM OF 15% OF THE FACADE.


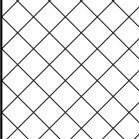

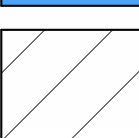
GROUND FLOOR GLAZING

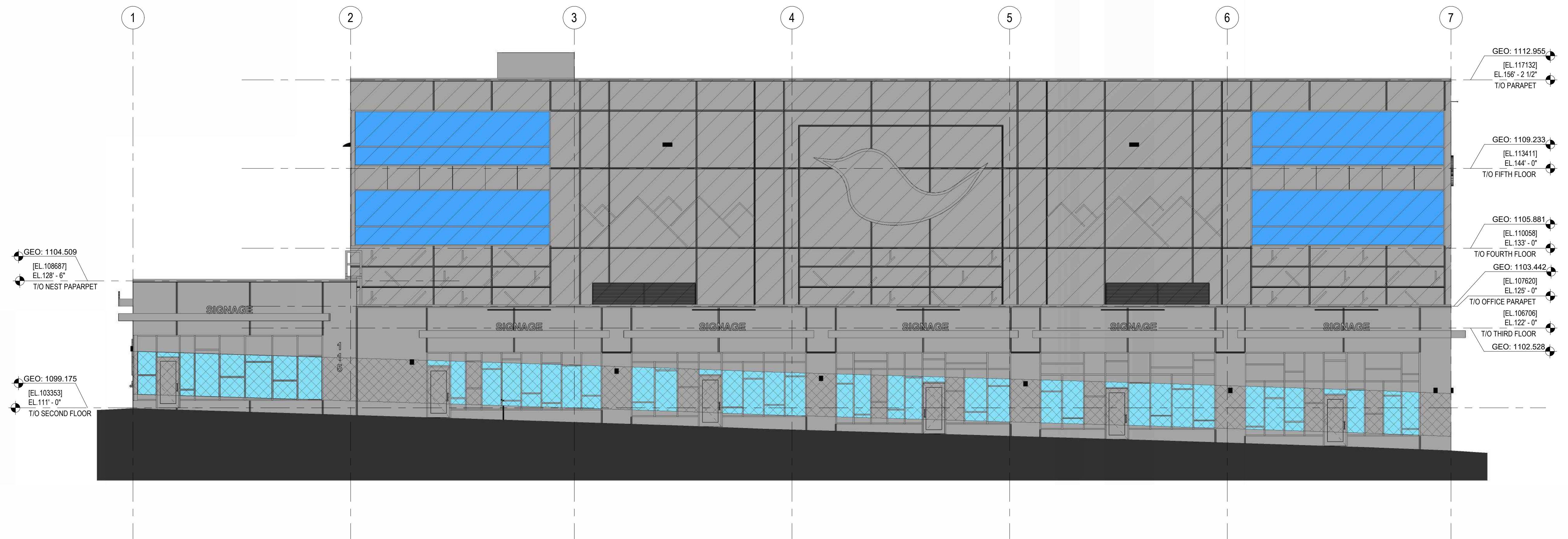
- FACADE AREA: 99.67sqm (1,072.84sqft)
- MIN. REQUIRED GLAZING: 49.84sqm (536.47sqft) (50%)
- PROVIDED GLAZING: 55.73 sqm (599.84sqft) (55.9%)

UPPER FLOOR GLAZING

- FACADE AREA: 439.46sqm (4,730.31sqft)
- MIN. REQUIRED GLAZING: 65.92sqm (709.56sqft) (15%)
- PROVIDED GLAZING: 71.21sqm (766.50sqft) (16.2%)

BYLAW GLAZING LEGEND

	GROUND FLOOR TRANSPARENT AND UNOBSCURED GLAZING AREA
	LOWER FACADE AREA
	UPPER FLOOR TRANSPARENT AND UNOBSCURED GLAZING AREA
	UPPER FACADE AREA



STREET FACING GLAZING ELEVATION (SOUTH)

SCALE: 1/8" = 1'-0"


CLIENT:



MECHANICAL / ELECTRICAL:

STRUCTURAL:

ARCHITECTURAL:



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Drawing Title:

GLAZING COMPLIANCE EXTERIOR ELEVATION

JOB NUMBER: 25-010
DATE: APR. 16, 2025
DRAWN BY: KBK

A5.1