

# 1216 8TH STREET MIXED USE BUILDING

DP2025-04907 - DR1 RESPONSE

April 13th, 2026

NOT FOR CONSTRUCTION



**CLIENT**

GWL REALTY ADVISORS  
530 - 8 Avenue SW  
Suite 1900  
Calgary, AB T2P 3S8  
gwlrealtyadvisors.com

**ARCHITECTURAL**

Zeidler Architecture Inc.  
300 - 640 8 Avenue SW, Calgary, Alberta  
zeidler.com

**ELECTRICAL**

NEMETZ (S/A) & ASSOCIATES LTD.  
525 11 ave SW, Calgary, Alberta T2R 1M7  
nemetz.com

**CIVIL**

AL-TERRA  
120-6807 Railway St SE Calgary, AB T2H 3A8  
al-terra.com/

**LANDSCAPE**

O2 PLANNING & DESIGN  
510 - 255 17 Ave SW, Calgary, Alberta T2S 2T8  
o2design.com

**ARCHITECTURAL**

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**CIVIL**

- 01 SITE SERVICING PLAN
- 02 SITE GRADING PLAN

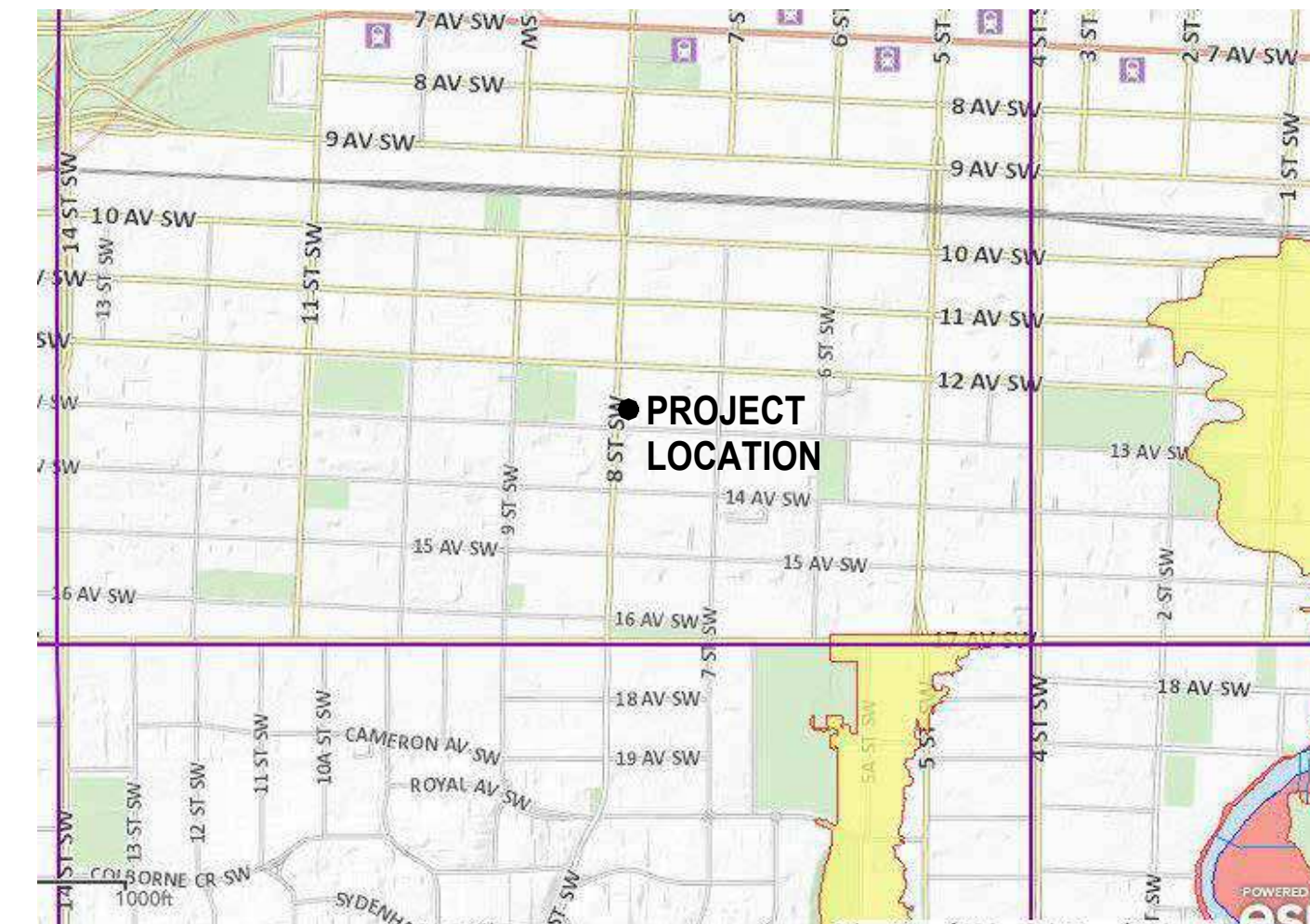
PROJECT INFORMATION	
MUNICIPAL ADDRESS	1216-1242 8th Street SW
COMMUNITY	BELTLINE
LAND USE	CC-COR
SITE AREA (m2)	1,811.16
SITE AREA (sf)	19,495.18
FAR MAX	9.90
FAR Allowed	193,002.23

Blue numbers ONLY INPUT DATA HERE, WHERE TEXT IS BLUE  
Black numbers DON'T CHANGE THESE NUMBERS - THEY ARE CALCS  
10.7639 m2 to sf  
16.8 sf/unit Rooftop Amenity  
9.89 FAR Utilized  
106 SF used (over) -0.1%

FLOOR	Retail Gross Rentable		Residential Gross Rentable		TOTAL LEASABLE		Amenity (Lounge, Kitchen, Gym)		Common Area, M&E, Service Areas		TOTAL NON-LEASABLE		GROSS BUILDABLE AREA (gba)		Calc Check	Efficiency	Units
	ft2	m2	ft2	m2	SF	ft2	m2	ft2	m2	ft2	m2	ft2	m2				
PARKING 4.5	0	0	15,069	1,400	15,069	0	0	0	0	0	0	15,069	1,400	OK	100.00%		
PARKING 4	0	0	18,675	1,735	18,675	0	0	0	0	0	0	18,675	1,735	OK	100.00%		
PARKING 3	0	0	18,675	1,735	18,675	0	0	0	0	0	0	18,675	1,735	OK	100.00%		
PARKING 2	0	0	18,675	1,735	18,675	0	0	0	0	0	0	18,675	1,735	OK	100.00%		
PARKING 1	0	0	17,965	1,669	17,965	0	0	0	0	0	0	17,965	1,669	OK	100.00%		
TOTAL U/G	0	0	89,061	8,274	89,061	0	0	0	0	0	0	89,061	8,274	OK			
MAIN FLOOR	6,013	559	0	0	6,013	0	0	6,211	577	6,211	12,223	1,136	OK	49.19%			
MEZZANINE	0	0	0	0	0	0	0	0	0	0	0	0	0	OK	0.00%		
LEVEL 2	0	0	5,950	553	5,950	153	14	1,158	108	1,311	7,261	675	OK	81.94%	10		
LEVEL 3	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 4	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 5	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 6	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 7	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 8	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 9	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 10	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 11	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 12	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 13	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 14	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 15	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 16	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 17	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 18	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 19	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 20	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 21	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 22	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 23	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 24	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 25	0	0	6,226	578	6,226	0	0	986	92	986	7,212	670	OK	86.33%	10		
LEVEL 26	0	0	0	0	0	4,036	375	1,031	96	5,068	5,068	471	OK	0.00%	0		
LEVEL 27	0	0	0	0	0	0	0	2,257	210	2,257	2,257	210	OK	0.00%	0		
LEVEL 28	0	0	0	0	0	0	0	215	20	215	215	20	OK	0.00%	0		
LEVEL 29	0	0	0	0	0	0	0	0	0	0	0	0	OK	0.00%	0		
TOTAL A/G	6,013	559	149,145	13,856	155,157	4,189	389	33,550	3,117	37,739	192,897	17,921	OK	80.44%	240		
TOTAL BUILDABLE	6,013	559	238,205	22,130	244,218	4,189	389	33,550	3,117	37,739	281,957	26,195					

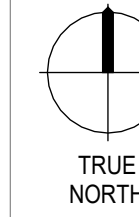
TYPE	OVERALL UNIT MIX		middle demising, outside glass				inside drywall				QUANT.	AVG SF (Gross)	UNIT MIX %
	UNIT NAME	DESCRIPTION	Gross Rentable		Net Rentable (BOMA)								
	BEDROOM	WASHROOM	sq.ft.	m <sup>2</sup>	sq.ft.	m <sup>2</sup>							
UNIT F STUDIO	F	1	1 FULL	273.4	25.40	233.6	21.70	1				0.4%	
UNIT A 1-BED	A	1	1 FULL	505.9	47.00	467.2	43.40	48				20.0%	
UNIT A1 1-BED	A1	1	1 FULL	501.6	46.60	451.0	41.90	48				20.0%	
UNIT B 1-BED	B	1	1 FULL	549.0	51.00	502.7	46.70	47				19.6%	
TOTAL 1-BEDS				74,435		67,931		144		515.01		60.0%	
UNIT C 2-BED	C	2	2 FULL	752.4	69.90	684.6	63.60	48				20.0%	
UNIT D 2-BED	D	2	2 FULL	804.1	74.70	727.6	67.60	48				20.0%	
TOTAL 2-BEDS				74,710		67,787		96		778.23		40.0%	
TOTAL/AVG				149,145				240		620.30		100.0%	
AVG SIZE				621.44		565.49							

1 PROJECT STATS  
DP0.01 NOT TO SCALE



PROJECT DATA:

NAME: MUNICIPAL ADDRESS: LEGAL ADDRESS: SITE AREA: DEVELOPABLE AREA:	GWL 1216 8TH ST SW 1216-1242 8th STREET SW - 832 13th AVENUE SW PLAN A1, BLOCK 85, LOTS 35-40 1,811.16 SM 16,300.44 SM
ZONING:	CENTRE CITY COMMERCIAL CORRIDOR DISTRICT (CC-COR)
DENSITY/FAR: (1183, 1195, 1202)	BASE RESIDENTIAL + COMMERCIAL BASE: 5 FAR (9,055.8 SM) MAXIMUM WITH BONUS AREA B: 9 FAR (16,300.44 SM) HERITAGE DENSITY TRANSFER INCREASE: 10% (1,630 SM) TOTAL FLOOR AREA RATIO: 9.9 FAR (17,930 SM > 17,921 SM)
BUILDING HEIGHT: (1184)	NO MAXIMUM BUILDING HEIGHT
USE AREA: (1188)	MAX. SINGLE USE AREA ON GROUND FLOOR: 465.0 SM
SETBACKS: (1190, 1191, 1192)	FRONT SETBACK ON 8th STREET: MIN. 1.5m - MAX. 3.0m + ROW 2.134m FRONT SETBACK ON 13th AVENUE: MIN. 3.0 - MAX. 6.0m REAR SETBACK - SHARED WITH A RESIDENTIAL DISTRICT: 3.0m REAR SETBACK - SHARED WITH A LANE/COMM. DISTRICT: NONE REQUIRED SIDE SETBACK - SHARED WITH A RESIDENTIAL DISTRICT: 3.0m SIDE SETBACK - SHARED WITH COMM. DISTRICT: NONE REQUIRED
FLOOR PLATE RESTRICTIONS: (1193)	FLOORS ABOVE 36m A.G. MAX. FLOOR PLATE AREA: 650.0 SM PROPOSED TOWER FLOOR PLATE AREA: 670.0 SM
BUILDING PROPOSED GFA: COMMERCIAL AREA: TYPICAL RESIDENTIAL TOWER FL. PLATE: 24 FL RESIDENTIAL TOWER AT 10 UNITS/FL:	17,921 SM (ABOVE GRADE BLDG. AREA) = 9.9 FAR 559 SM (5 CRUs) 670 SM TOTAL = 240 UNITS
RESIDENTIAL PARKING REQUIRED: RESIDENTIAL VISITOR PARKING REQUIRED: VISITOR PARKING PROPOSED PER TIA MEMO: COMMERCIAL PARKING: TOTAL PARKING REQUIRED: (1157) PARKING PROVIDED:	240 units * 0.75 stall/unit = 180 STALLS 240 units * 0.1 stall/unit = 24 STALLS 240 units * 0.075 stall/unit = 18 STALLS NONE REQUIRED 180 + 24 = 204 STALLS / 177 + 18 = 195 STALLS (AS PER TIA CALCULATION) 195 STALLS (4.5 U/G FLOORS) = 177 RESIDENT + 18 VISITOR
BICYCLE PARKING: (1159)	CLASS 1: 240 units * 0.5 stall/unit = 120 STALLS REQUIRED PROVIDED: 120 STALLS CLASS 2: 240 units * 0.1 stall/unit = 24 STALLS REQUIRED PROVIDED: 24 STALLS (8 + 16)
LOADING STALL	17,921 SM / 9,300 SM = 1.93 STALLS = 2 STALLS REQUIRED
WASTE AND RECYCLING STORAGE:	INSIDE THE BUILDING
GENERAL NOTES:	-THE RECYCLABLE MATERIALS AND WASTE COLLECTION WILL BE DONE BY A PRIVATE SERVICE PROVIDER. -THE RECYCLABLE MATERIALS AND WASTE CONTAINERS WILL BE MOVED OUT/IN TO THE RECYCLABLE MATERIALS AND WASTE STAGING AREA FOR COLLECTION BY THE BUILDING MAINTENANCE STAFF ON COLLECTION DAY. -THE FREQUENCY OF COLLECTION FOR THE RECYCLABLE MATERIALS AND WASTE CONTAINERS WILL BE BY SERVICE PROVIDER'S SCHEDULE. -ALL RECYCLABLE MATERIALS AND WASTE WILL BE STORED ON PRIVATE PROPERTY. -ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE (APPROACH AREA, CONCRETE PADS, CONCRETE APRONS) ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM 25,000 KG LOAD.



2	ISSUED FOR DP-DR1	2026-04-13
1	ISSUED FOR DP APPLICATION	2025-08-21
0	ISSUED FOR PRE-APPLICATION REVIEW	2025-07-22

NO.	ISSUE/ REVISION	DATE

PROJECT  
**1216 8TH STREET MIXED USE TOWER**

PROJECT ADDRESS  
1216 8TH ST SW  
CALGARY, ALBERTA T2R 1A9

TITLE  
**PROJECT DATA**

PROJECT NO.	SCALE	DRAWN	CHECKED
B25-2006	As indicated	Author	Checker

DRAWING NO.	REVISION NO.
DP0.01	2

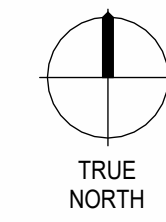
**DP0.01**

NOT FOR CONSTRUCTION

2 AERIAL VIEW  
DP0.01 NOT TO SCALE

3 LUB MAP  
DP0.01 NOT TO SCALE

4 REGULATORY FLOOD MAP  
DP0.01 NOT TO SCALE



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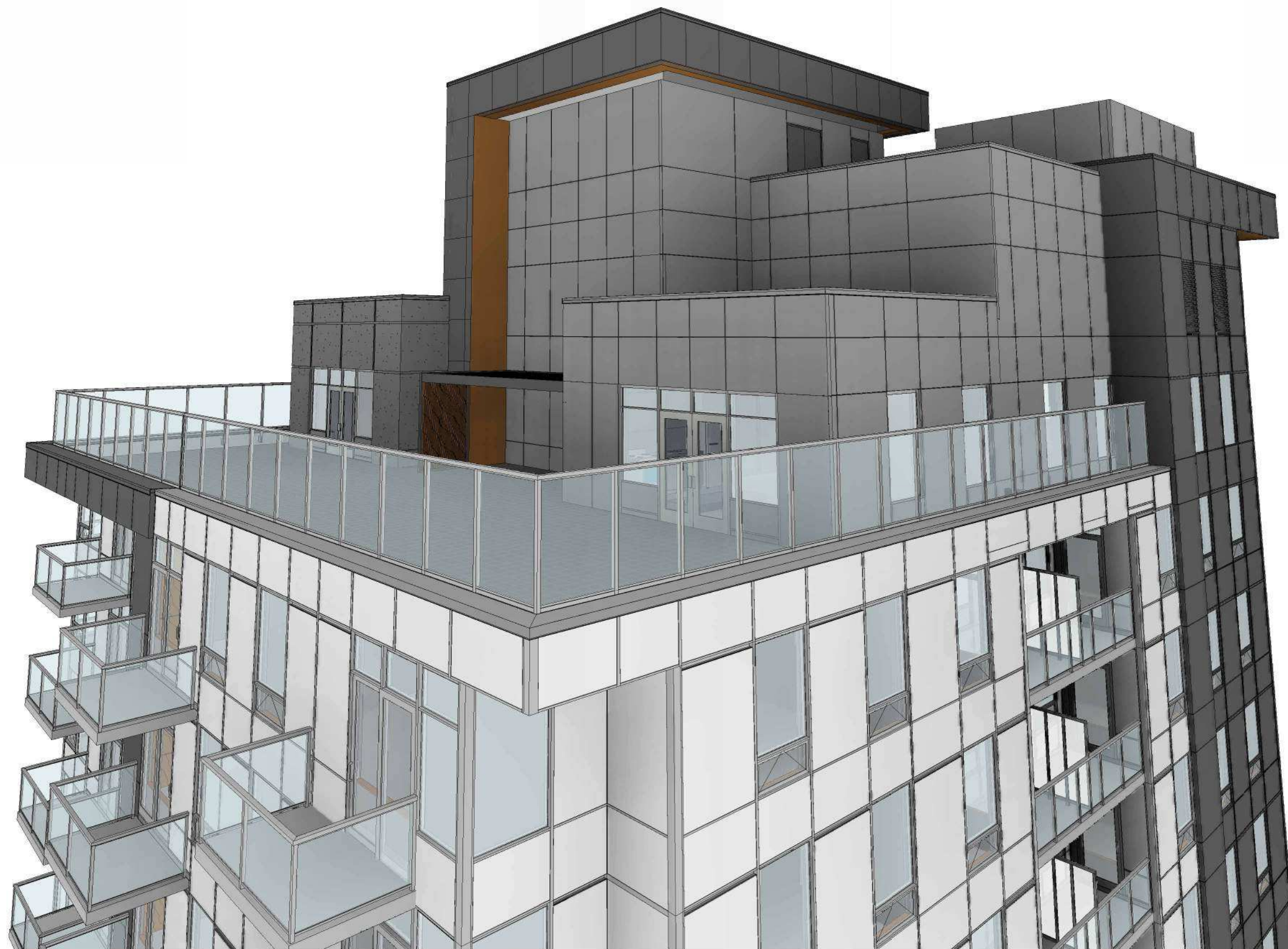
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**1** PERSPECTIVE - ROOFTOP NW CORNER  
DP0.02 NOT TO SCALE



**2** PERSPECTIVE - ROOFTOP SE CORNER  
DP0.02 NOT TO SCALE



**3** PERSPECTIVE - ROOFTOP SW CORNER  
DP0.02 NOT TO SCALE



**4** PERSPECTIVE - RESIDENTIAL ENTRY  
DP0.02 NOT TO SCALE

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SEAL

PROJECT  
**1216 8TH STREET  
MIXED USE TOWER**

PROJECT ADDRESS  
1216 8TH ST SW  
CALGARY, ALBERTA T2R 1A9

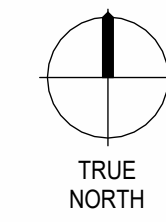
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**PERSPECTIVE VIEWS**

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B25-20006		Author	Checker

DRAWING NO.	REVISION NO.
<b>DP0.02</b>	<b>2</b>

**DP0.02**

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NO. ISSUE/ REVISION DATE

SEAL

PROJECT  
**1216 8TH STREET  
MIXED USE TOWER**

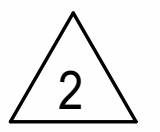
PROJECT ADDRESS  
1216 8TH ST SW  
CALGARY, ALBERTA T2R 1A9

TITLE  
**3D VIEWS**

PROJECT NO.	SCALE	DRAWN	CHECKED
B25-20006		Author	Checker

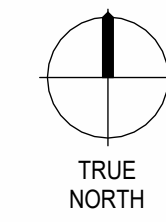
DRAWING NO. REVISION NO.

**DP0.03**



**1** BUILDING 3D - NORTH WEST  
DP0.03 NOT TO SCALE

**2** BUILDING 3D - NORTH EAST  
DP0.03 NOT TO SCALE



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TITLE  
**3D VIEWS 2**

PROJECT NO.	SCALE	DRAWN	CHECKED
B25-20006		Author	Checker

DRAWING NO.	REVISION NO.
<b>DP0.03b</b>	<b>2</b>

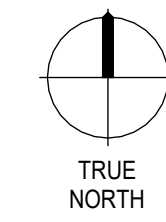
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4/13/2026 9:26:58 AM

**1** BUILDING 3DN - SOUTH WEST  
DP0.03b NOT TO SCALE

**2** BUILDING 3D - SOUTH EAST  
DP0.03b NOT TO SCALE

**NOT FOR CONSTRUCTION**

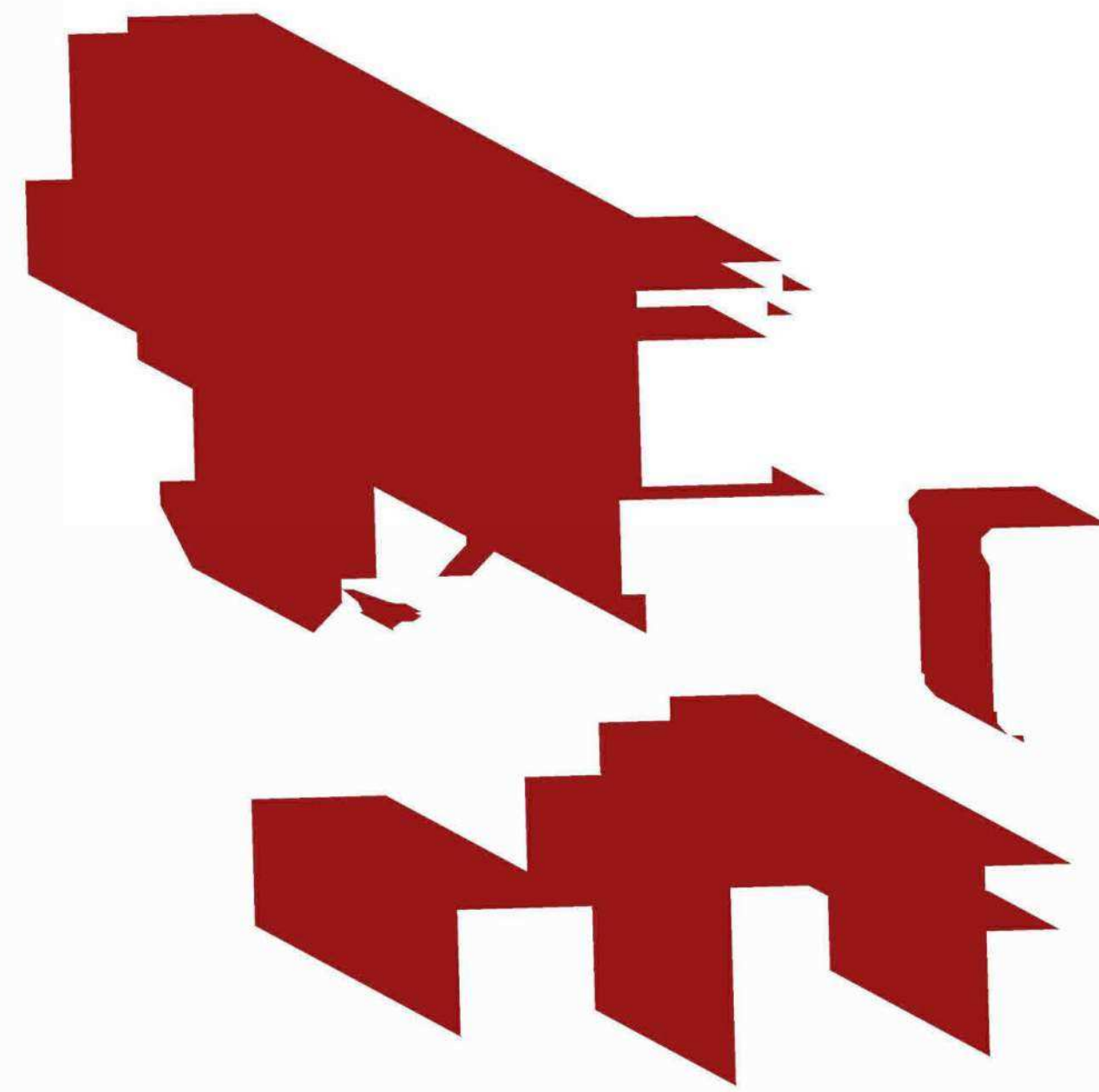


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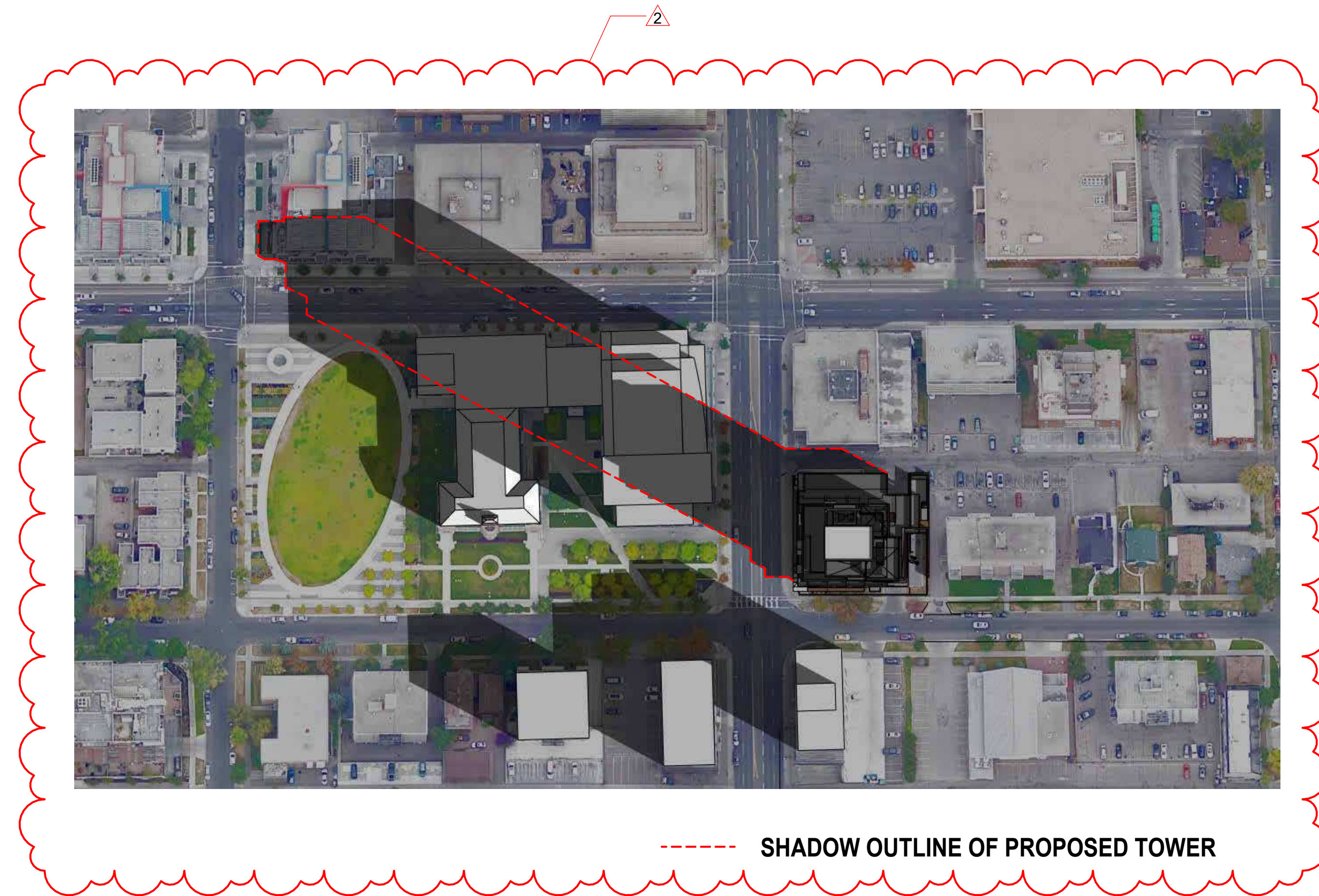
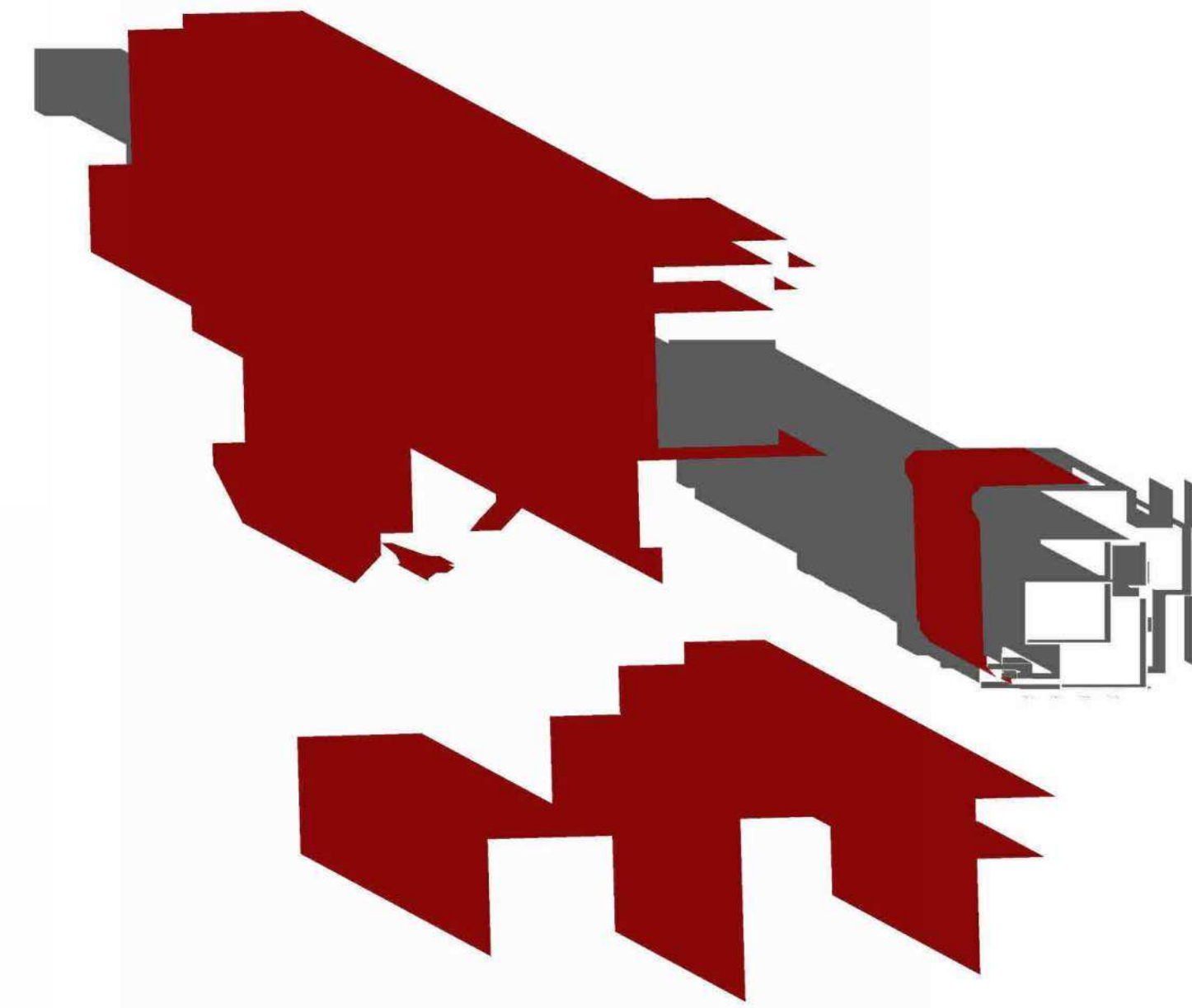
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10:00 am SEPTEMBER 21

SHADOW EXISTING BUILDINGS



SHADOW PROPOSED BUILDING



----- SHADOW OUTLINE OF PROPOSED TOWER

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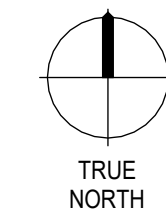
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**SHADOW STUDY**

PROJECT NO.	SCALE	DRAWN	CHECKED
B25-20006		Author	Checker

DRAWING NO.	REVISION NO.
DP0.04	2

**DP0.04**

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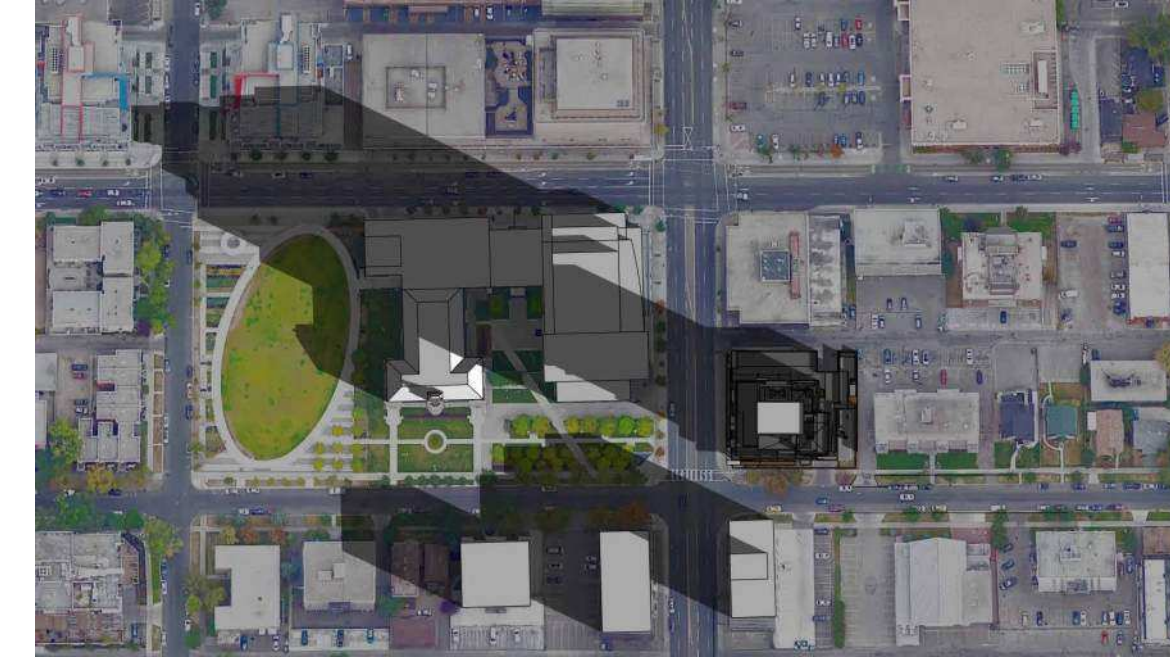
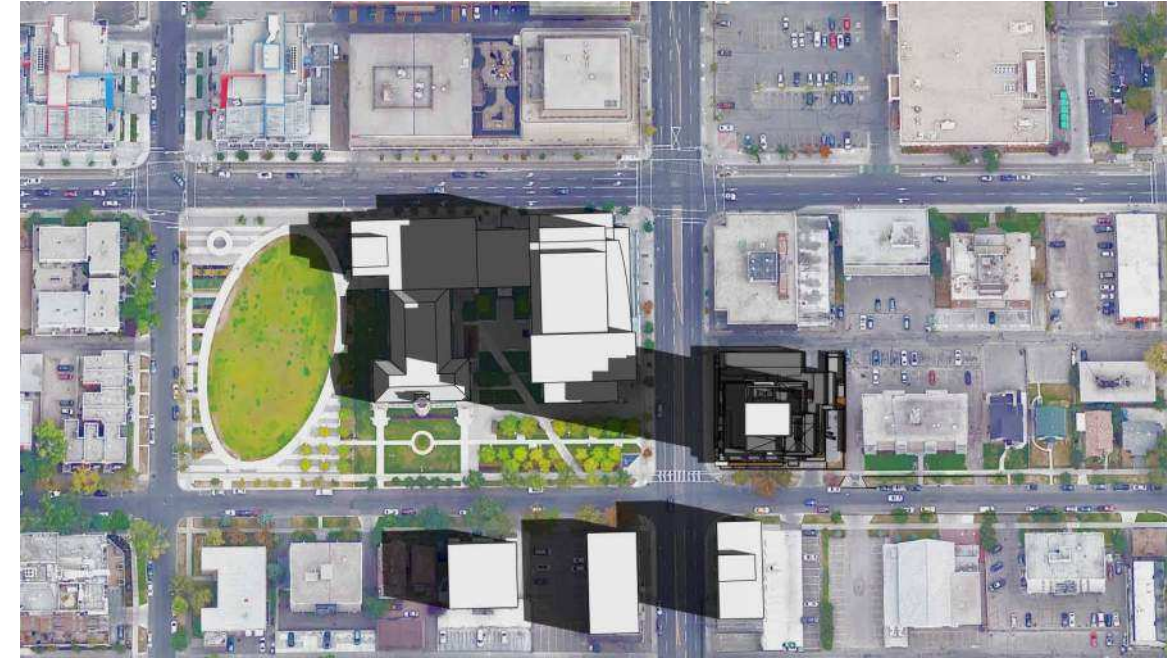
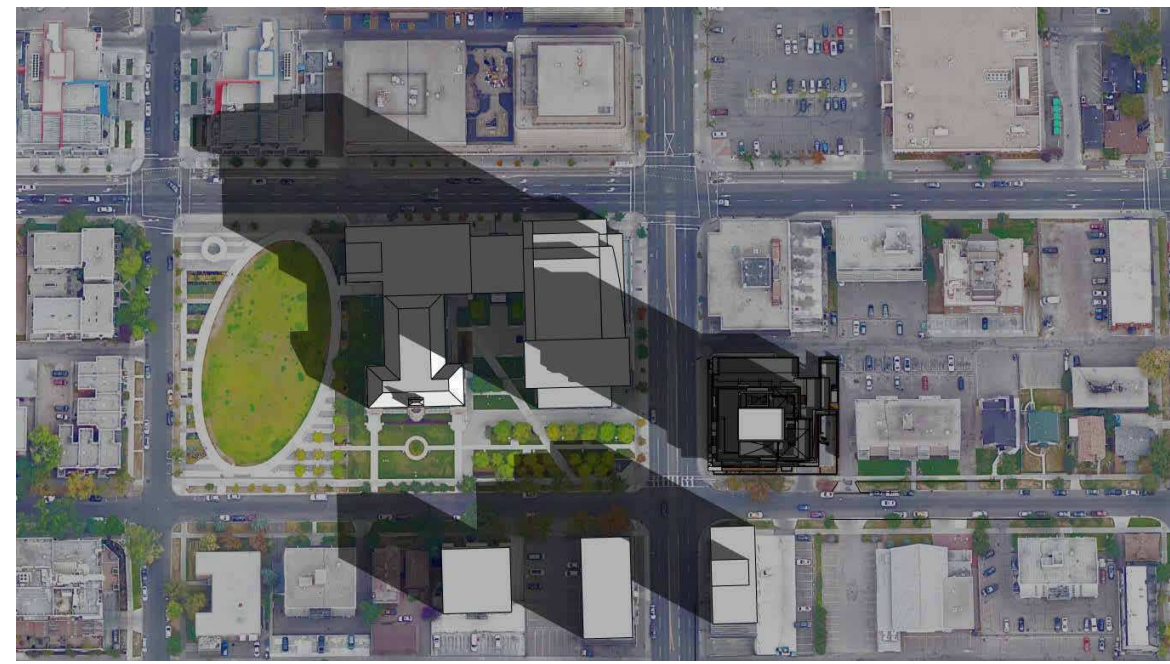
SEPTEMBER 21

JULY 21

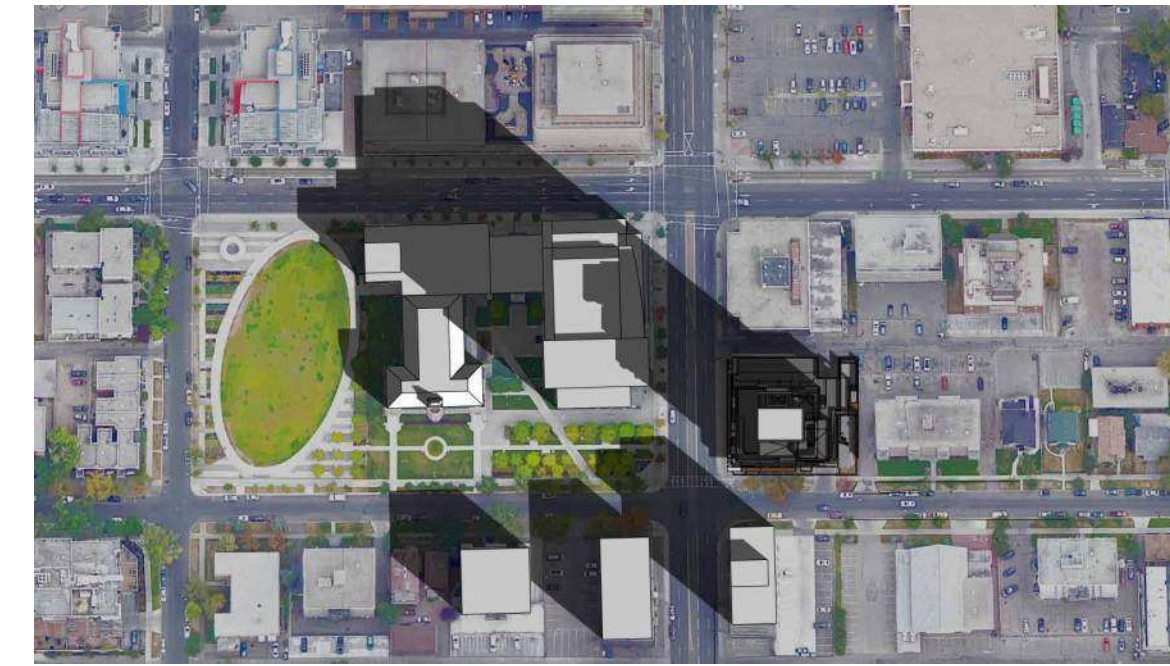
MAY 21

MARCH 21

10:00 am



11:00 am



12:00 pm



2:00 pm



4:00 pm



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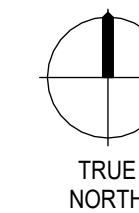
TITLE  
**SHADOW STUDY**

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B25-20006		Author	Checker

DRAWING NO.	REVISION NO.
DP0.04b	2

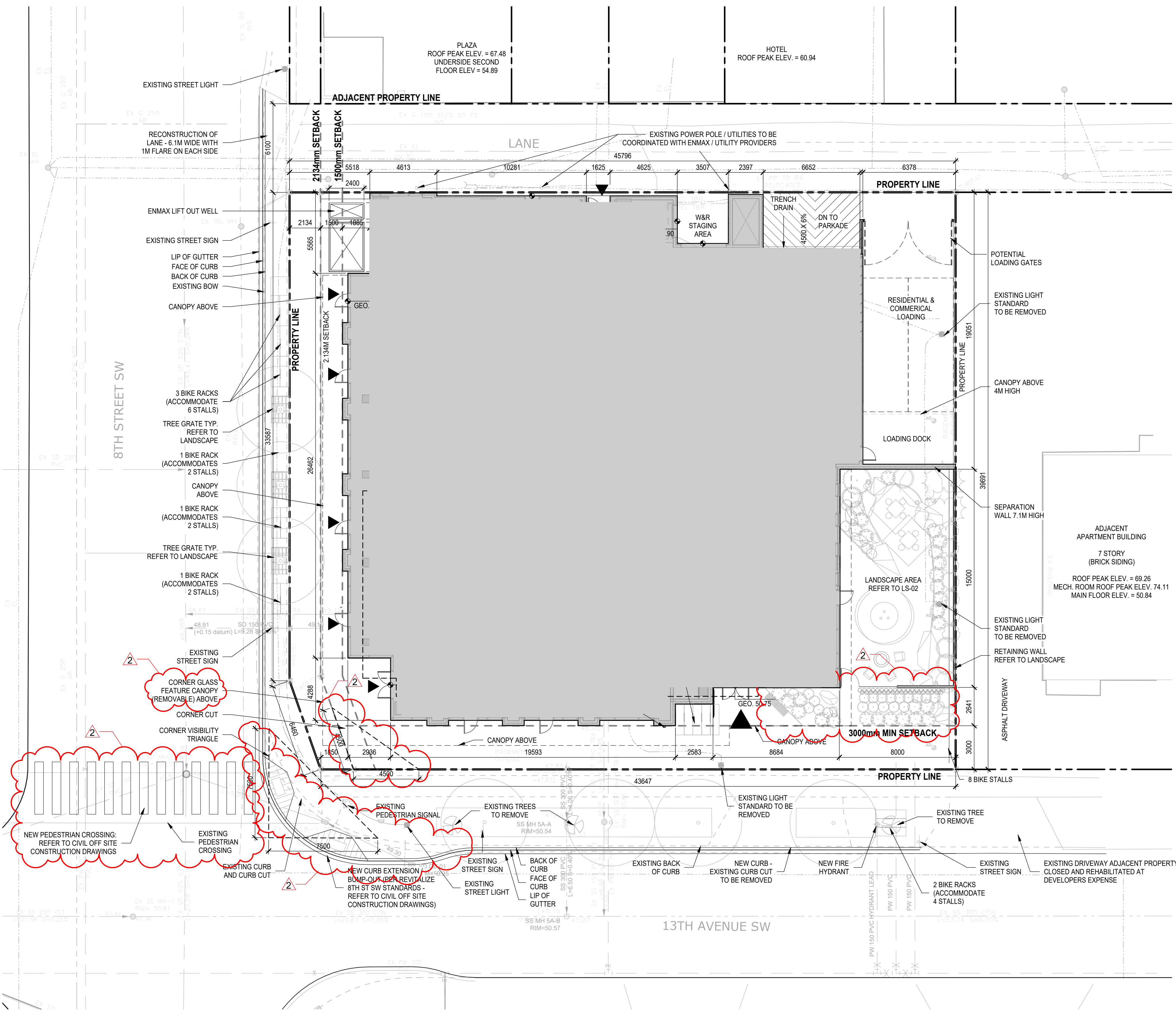
**DP0.04b**

**NOT FOR CONSTRUCTION**



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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



**SITE LEGEND:**

- PROPERTY LINES (ALL PL TO REMAIN AS IS)
- SETBACK LINES
- WASTE & RECYCLING PICK-UP / LOADING SWEEP PATH
- CENTER OF ROAD
- SIAMESE CONNECTION
- FIRE HYDRANT
- WALL MOUNTED LIGHT ABOVE
- 12' LED LIGHT COLUMN
- BOLLARD
- 40' LED BOLLARD
- LIGHT STANDARD
- EXISTING STREET SIGNAGE
- CLASS 2 BIKE RACK
- METAL TREE GRATE
- BUILDING ENTRANCE/EXIT

**GENERAL NOTES**

- SEE CIVIL DRAWINGS FOR FURTHER GRADES AND SITE UTILITY ALIGNMENT
- SEE LANDSCAPE DRAWINGS FOR LANDSCAPE PLAN AND DETAILS
- SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING PLAN, FIXTURE LOCATIONS AND TYPES
- BUILDING WILL HAVE ELECTRICAL ISOLATION, THROUGH THE PLACEMENT OF A MASTER SWITCH, WHICH SHALL BE LOCATED AT ABOVE THE DESIGNATED FLOOD ELEVATION OF 1046.21M (GEODETIC)
- REFER TO ELEVATIONS FOR SIGNAGE DETAILS

NO.	ISSUE/ REVISION	DATE
2	ISSUED FOR DP-DR1	2026-04-13
1	ISSUED FOR DP APPLICATION	2025-08-21
0	ISSUED FOR PRE-APPLICATION REVIEW	2025-07-22

NO.	ISSUE/ REVISION	DATE
SEAL		

PROJECT  
**1216 8TH STREET MIXED USE TOWER**

PROJECT ADDRESS  
1216 8TH ST SW  
CALGARY, ALBERTA T2R 1A9

TITLE  
**SITE PLAN**

PROJECT NO.	SCALE	DRAWN	CHECKED
B25-20006	As indicated	Author	Checker

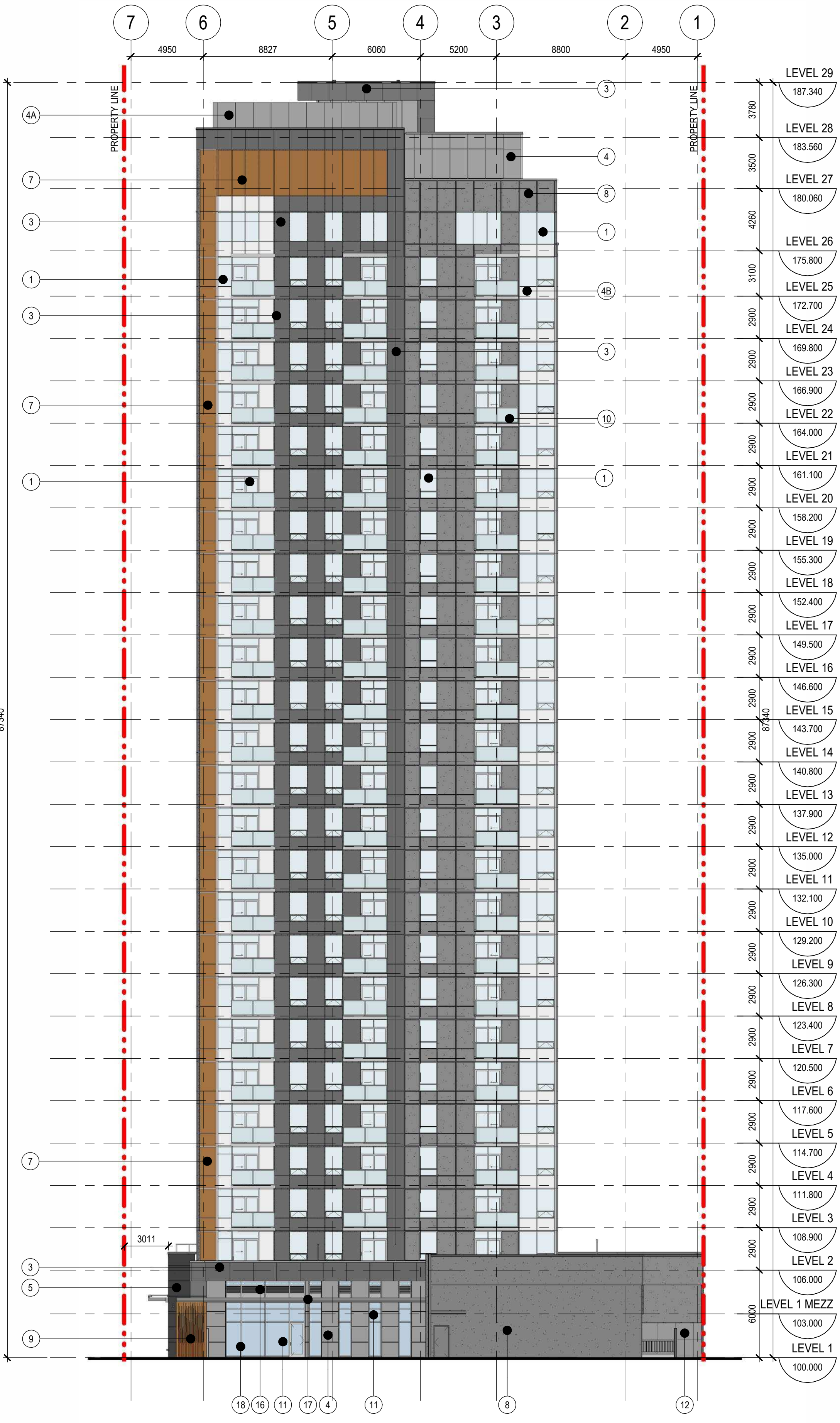
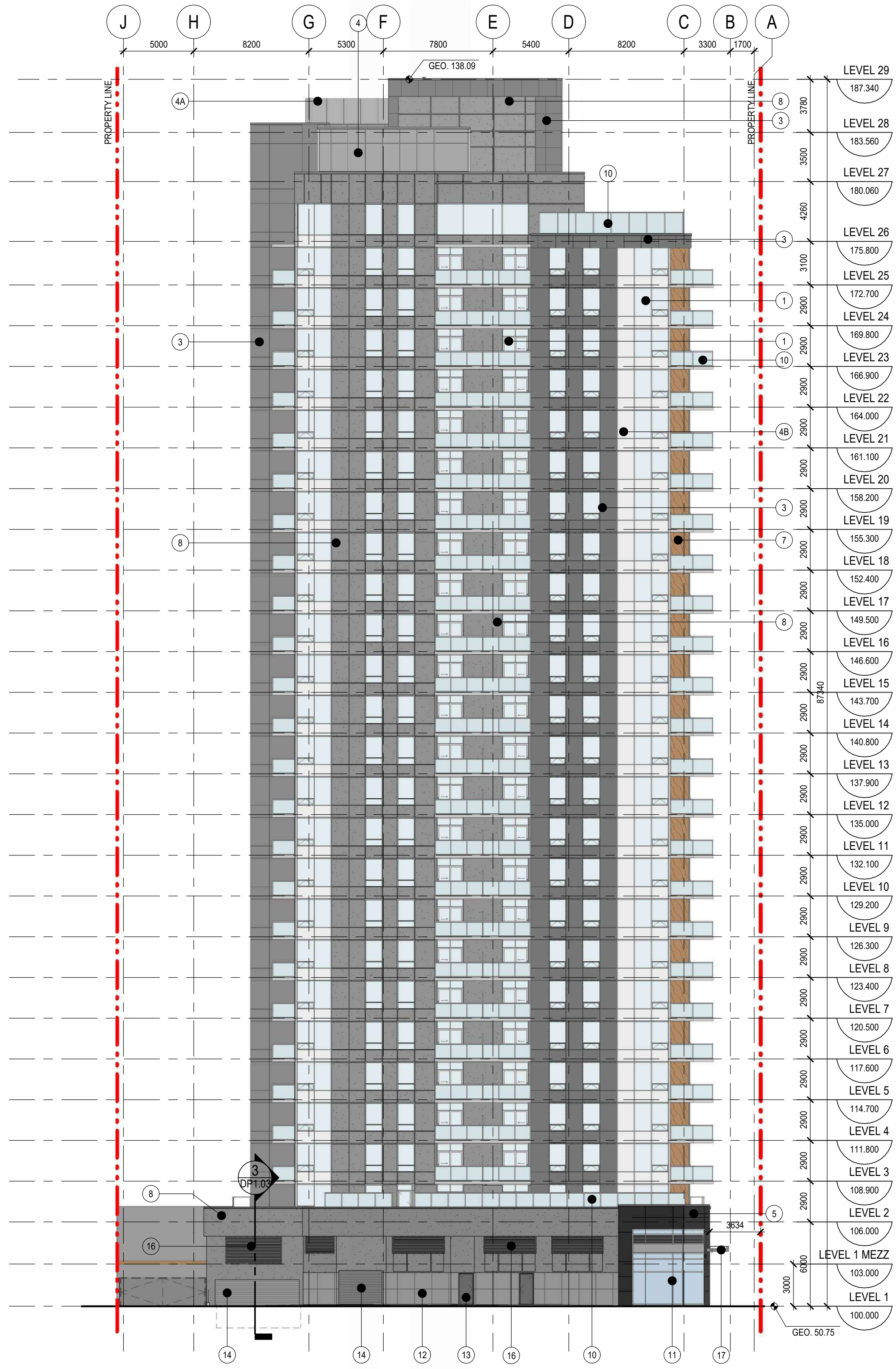
DRAWING NO.	REVISION NO.
<b>DP1.01</b>	<b>2</b>

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4/13/2026 9:27:02 AM

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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



**MATERIAL - AREA LEGEND**

1	CLEAR VISION GLAZING WINDOW WALL SYSTEM
2	GLASS SPANDREL TO MATCH CLEAR VISION GLAZING
3	METAL PANEL - CHARCOAL
4	METAL PANEL - GREY
4A	METAL PANEL - LIGHT GREY
4B	METAL PANEL - WHITE
5	STONE TILE - CHARCOAL
6	STONE TILE - LIGHT GREY
7	METAL PANEL - WOOD FINISH
8	EIFS - LIGHT GREY
9	CORTEN STEEL OR SIMILAR
10	GLASS BALCONY RAILING / SCREEN SYSTEM
11	STOREFRONT CURTAINWALL CLEAR GLAZING
12	CONCRETE FACED INSULATION PANELS
13	EXTERIOR DOORS
14	OVERHEAD DOOR
15	OVERHEAD DOOR RAMP
16	LOUVER - GREY
17	CANOPY - WOOD GRAIN SOFFIT
18	MULLION - ALUMINUM

2	ISSUED FOR DP-DR1	2026-04-13
1	ISSUED FOR DP APPLICATION	2025-08-21
0	ISSUED FOR PRE-APPLICATION REVIEW	2025-07-22

NO.	ISSUE/ REVISION	DATE
-----	-----------------	------

SEAL

PROJECT  
**1216 8TH STREET MIXED USE TOWER**

PROJECT ADDRESS  
1216 8TH ST SW  
CALGARY, ALBERTA T2R 1A9

TITLE  
**BUILDING ELEVATIONS**

PROJECT NO.	SCALE	DRAWN	CHECKED
B25-20006	As indicated	Author	Checker

DRAWING NO.	REVISION NO.
DP3.00	2

**DP3.00**

**NOT FOR CONSTRUCTION**

**2** BUILDING ELEVATION - NORTH - DP  
SCALE: 1:200

**1** BUILDING ELEVATION - EAST - DP  
SCALE: 1:200



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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTION INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.

NO.	ISSUE/REVISION	DATE
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1	ISSUED FOR DP APPLICATION	2025-08-21
0	ISSUED FOR PRE-APPLICATION REVIEW	2025-07-22

NO.	ISSUE/REVISION	DATE

PROJECT  
**1216 8TH STREET  
MIXED USE TOWER**

PROJECT ADDRESS  
1216 8TH ST SW  
CALGARY, ALBERTA T2R 1A9

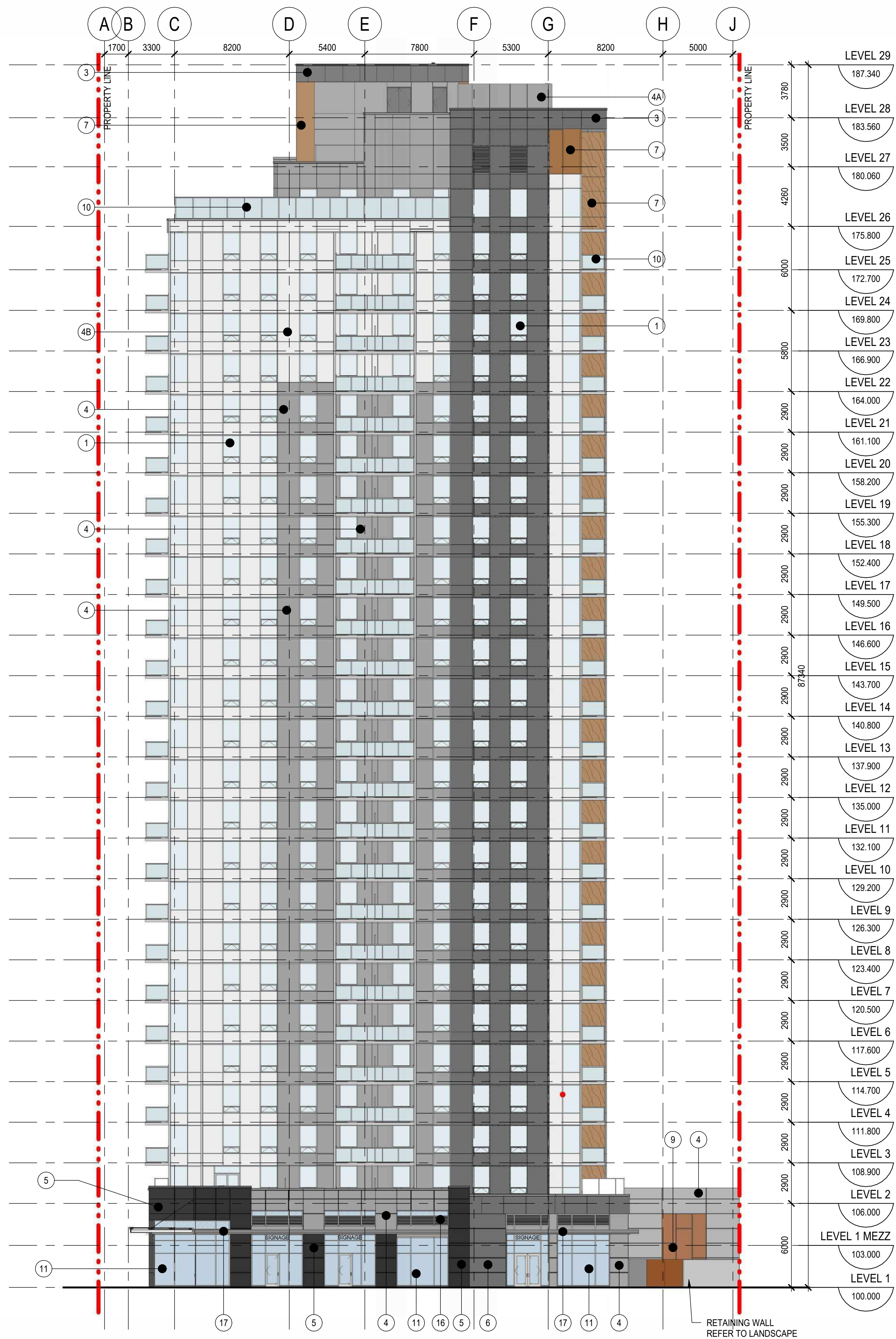
TITLE  
**BUILDING  
ELEVATIONS**

PROJECT NO.	SCALE	DRAWN	CHECKED
B25-20006	As indicated	Author	Checker

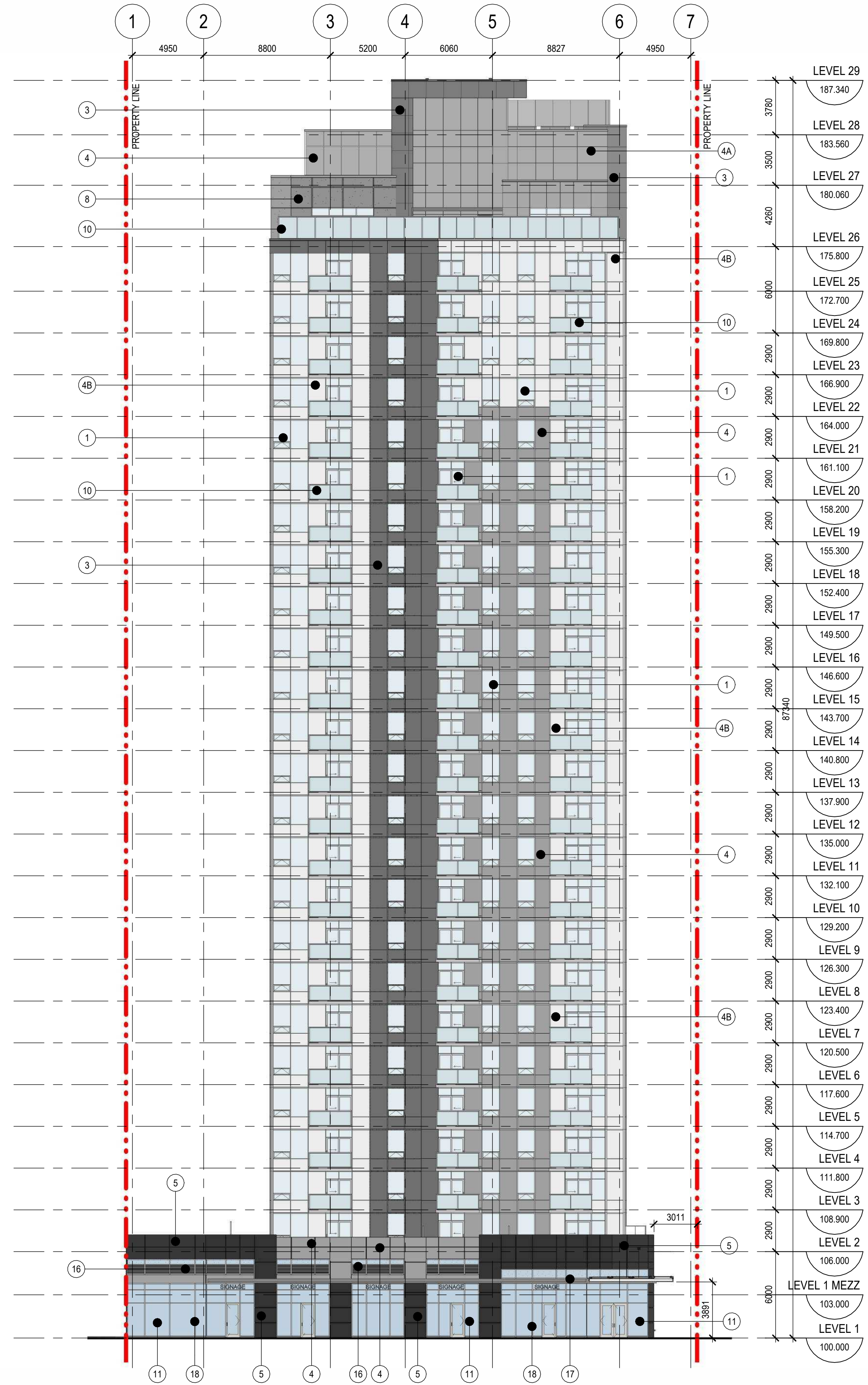
DRAWING NO.	REVISION NO.
DP3.01	2

**DP3.01**

**NOT FOR CONSTRUCTION**



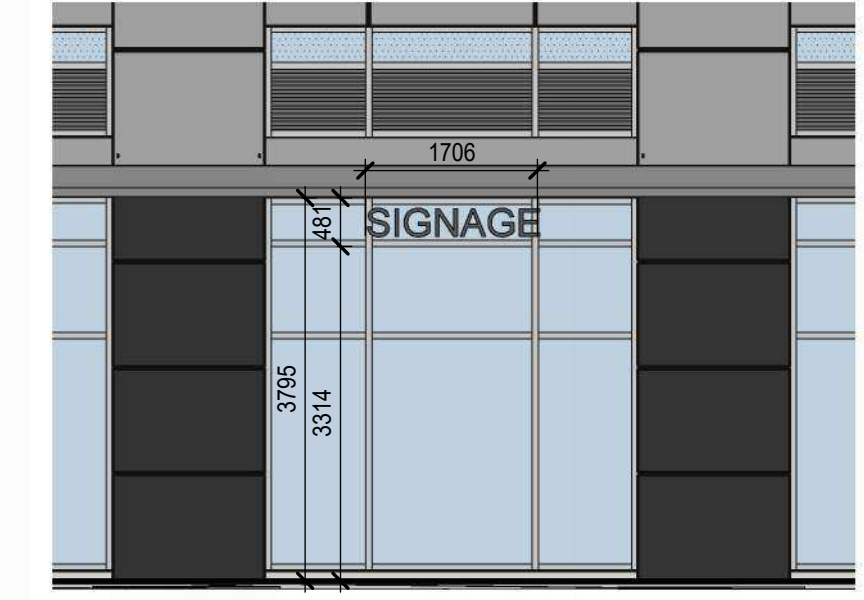
**1** BUILDING ELEVATION - SOUTH - DP  
DP3.01 SCALE: 1:200



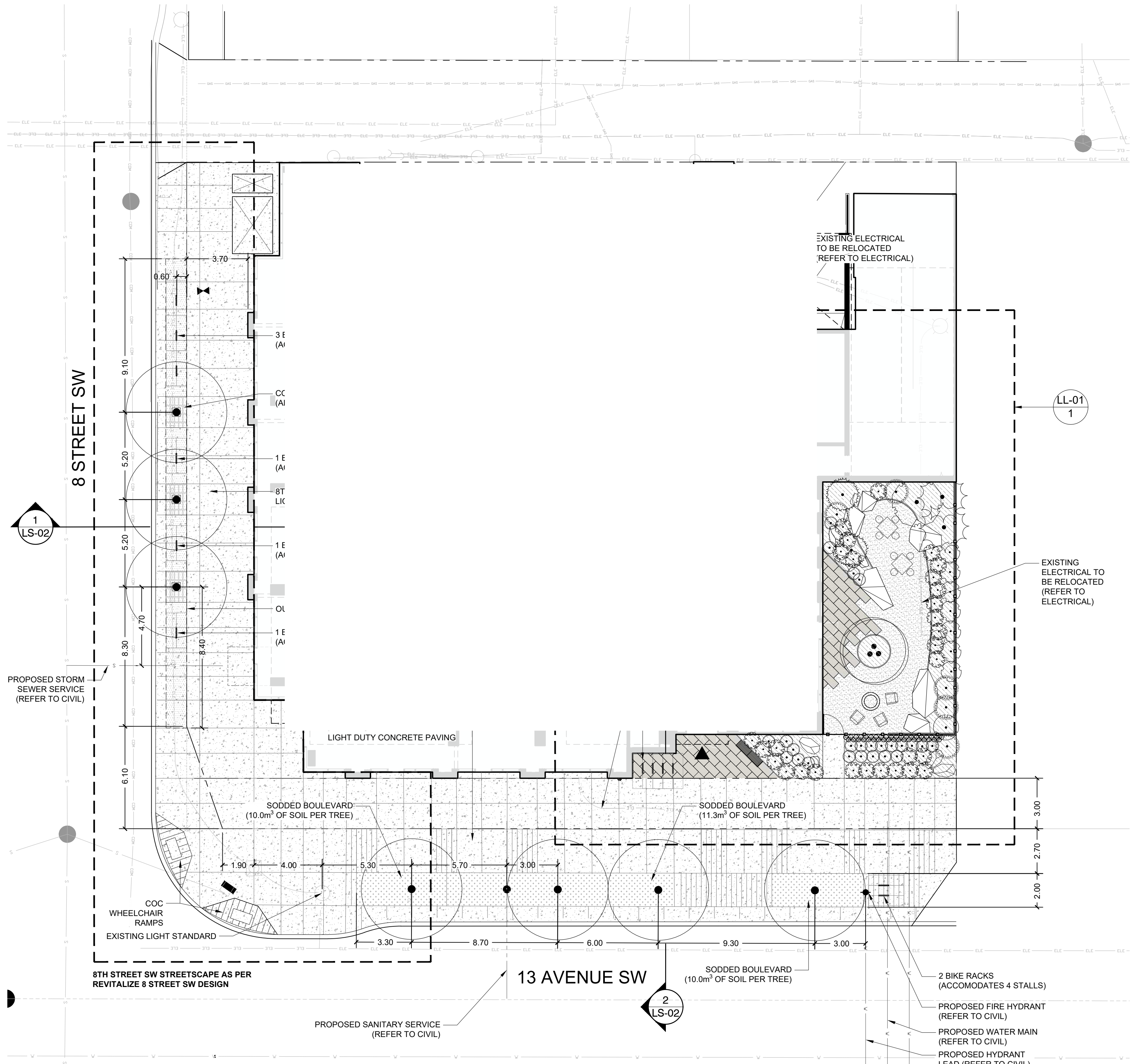
**2** BUILDING ELEVATION - WEST - DP  
DP3.01 SCALE: 1:200

**MATERIAL - AREA LEGEND**

1	CLEAR VISION GLAZING WINDOW WALL SYSTEM
2	GLASS SPANDREL TO MATCH CLEAR VISION GLAZING
3	METAL PANEL - CHARCOAL
4	METAL PANEL - GREY
4A	METAL PANEL - LIGHT GREY
4B	METAL PANEL - WHITE
5	STONE TILE - CHARCOAL
6	STONE TILE - LIGHT GREY
7	METAL PANEL - WOOD FINISH
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10	GLASS BALCONY RAILING / SCREEN SYSTEM
11	STOREFRONT CURTAINWALL CLEAR GLAZING
12	CONCRETE FACED INSULATION PANELS
13	EXTERIOR DOORS
14	OVERHEAD DOOR
15	OVERHEAD DOOR RAMP
16	LOUVER - GREY
17	CANOPY - WOOD GRAIN SOFFIT
18	MULLION - ALUMINIUM



**3** SIGNAGE DETAIL TYP.  
DP3.01 SCALE: 1:75



**LEGEND**

**GENERAL**

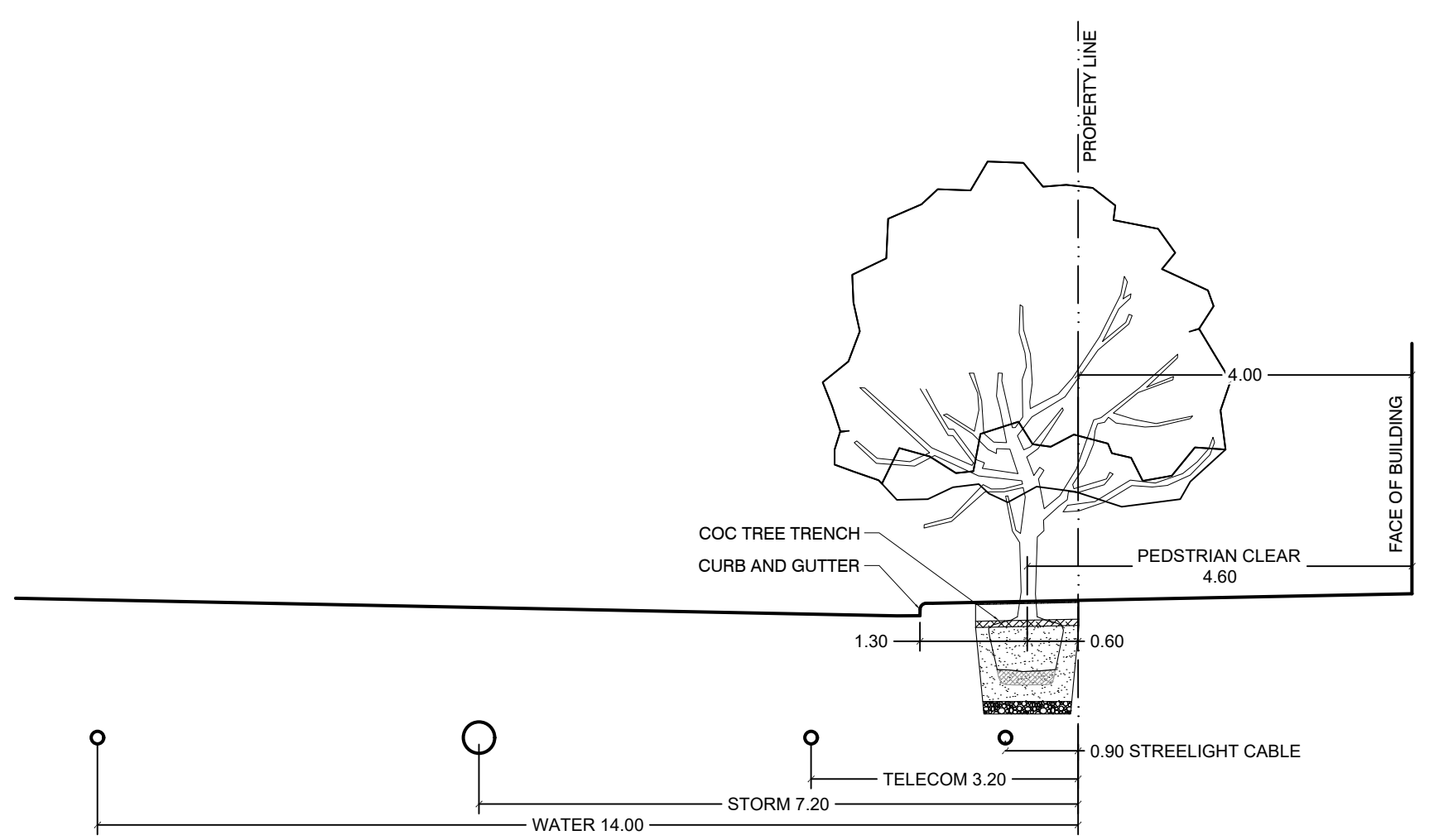
- PROPERTY LINE
- - - EXISTING SANITARY
- - - EXISTING STORM
- - - EXISTING WATER
- - - EXISTING GAS
- - - EXISTING ELECTRICAL
- - - EXISTING COMMUNICATION

- SECTION NOTES**
- Utility horizontal dimensions are accurate to what is measure from the site survey. Utility vertical dimensions are indicative only and does not reflect the actual depths of existing lines.
  - The contractor shall verify all existing utilities prior to commencing construction and notify Consultant of any discrepancies.
  - Refer also Civil Drawings

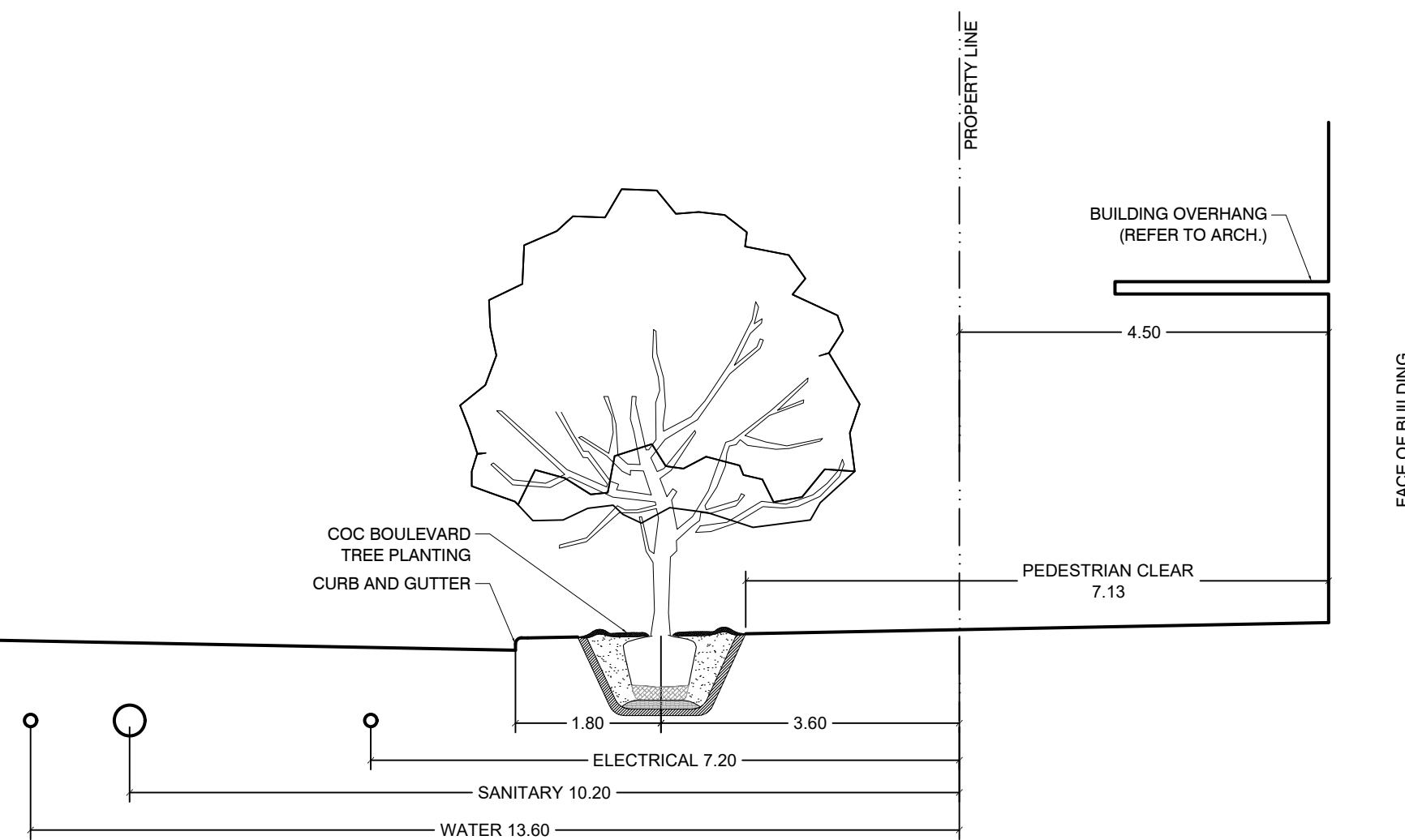
- GENERAL NOTES**
- Construction to follow "City of Calgary Parks Development Guidelines and Standard Specifications: Landscape Construction" - current edition.
  - Prior to construction start, mark all underground utility locations. Call Alberta One-Call (800) 242.3447.
  - Prior to construction start, notify Consultant of any discrepancies.
  - Prior to earthworks and/ or permanent feature install, ensure all utility installations are complete.
  - Obtain all necessary material compliance, subgrade, subbase, topsoil, and finish grade inspections and tests, prior to starting related work. Notify Consultant of inspections in advance. Consultant to be present at all inspections.
  - Unless otherwise noted, plan dimensions are in meters
  - Written dimensions override scaled measurements.

**STREET TREE PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	QTY
	AB	ACER NEGUNDO 'BARON' / BARON BOX ELDER	WIRE BASKET	80MM CAL	7



**1 SECTION - 8 STREET SW**  
1:75 P-02-1-01



**2 SECTION - 13 AVE SW**  
1:75 P-02-1-02

- GRADING**
- Provide 48-hour advance notice to Consultant to coordinate survey and stake hard surface elements, permanent features, and significant grade elements (e.g., high points and swales); two (2) trips max.
  - As available, apply Geotechnical construction recommendations and any specifics for subgrade and subbase preparation.
  - Coordinate a Geotechnical Engineer to inspect compacted subgrade and subbase prior to placement of the next profile material. Share all reports with Consultant.
  - Set subgrade to match topsoil depth below finish grade.
  - Provide positive overland drainage. Grade to the following slopes:
    - Pathways: <5%
    - Slopes: <33.0% (<3:1)
  - Provide smooth, safe, and seamless transition of materials, where construction of proposed surfaces adjoins existing materials. Applicable for all surfaces, hard and soft.
  - Smooth and round slope transitions, mounds, and berms to facilitate mowing and maintenance.

- PLANTING**
- Notify Consultant of discrepancies between plant list and drawing.
  - Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks' Development Guidelines and Standard Specifications - Landscape Construction (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or 311 to arrange an inspection.
  - Prior to planting, stake tree locations and planting beds. Provide 48-hour advance notice to Consultant for review and approval.
  - All plant material to be disease free and true to form, specimen-grade, single-stem stock (unless otherwise specified), and meet current CNLA standards. Prior to install, notify Consultant readiness for plant material inspection, e.g., nursery defects, transport damage, and root ball size. Consultant reserves the right to reject any and all plant material that does not meet these requirements.
  - Prepare and install planting per Calgary Parks detail sheets 23, 24, 25, 26, and 27.
  - Group shrubs and coniferous trees in plant beds.
  - Mulch tree wells and plant beds with 75mm min depth clean bark mulch.
  - Install and maintain tree protection measures to prevent animal damage per Calgary Parks detail sheet 27b.
  - Rock pick and clean topsoil to Calgary Parks specifications.
  - Maintain site from project start to CCC to FAC. Guarantee plant material for one growing season.
  - Remove tree stakes upon FAC. Water bags and tree protection measures to remain at the discretion of the Park Inspector.

- STREET TREES**
- Follow minimum setbacks in "Design Guidelines for Subdivision Servicing" Section ii-b Road Classifications - Complete Streets and "City of Calgary Parks Development Guidelines and Standard Specifications: Landscape Construction" Table 4-2. Minimum setbacks are listed below for convenience. If any conflict with the above guidelines, the guidelines govern. Contractor is to obtain a copy and comply with the guidelines.
    - 4.0m min from bus setback from bus pads, mailboxes, and streetlights
    - 3.0m min from deep utility mainlines
    - 2.5m min from lot servicing utilities
    - 2.5m min from hydrants
    - 2.0m min from Alco
    - 1.5m min from all other shallow utilities (e.g. Enmax, cable)
    - 1.0m min from driveways.
  - Tree placements to comply with traffic safety visibility sightline requirements. Do not place trees within any utility right-of-way or easement.
  - Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks' Development Guidelines and Standard Specifications - Landscape Construction (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or 311 to arrange an inspection.

- IRRIGATION**
- All proposed areas of soft landscaping to be watered using standard underground irrigation lines with drip emitters.
  - Methods to reduce water use will be employed where possible but the Project does not attempt to qualify as a "low water irrigation system."
  - Irrigation is design-build by contractor.

- LANDSCAPE STATISTICS**
- Total 'Class 2' Bike Parking Required: **24 Stalls**
  - Total 'Class 2' Bike Parking Provided: **24 Stalls**
  - Total Right of Way Trees: **7 Each**

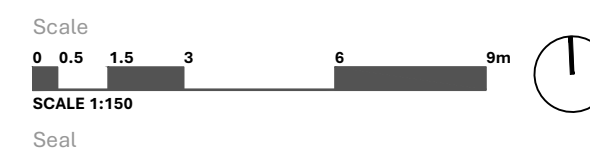
2025-04-01 12:24pm By: calvin.liam N:\Projects\190101-1\216 8 Street SW\Working\2 - CAD\2 - Sheet\LS-02.dwg

**O2**

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

No.	Date Issued	Description
03	2026-04-01	ISSUED FOR DP REVIEW AMENDMENT
02	2025-08-21	ISSUED FOR DP REVIEW
01	2025-08-15	ISSUED FOR DP COORDINATION

Design: JP / CT, Drawn: CT, Check: JP



DP No. DP-2019-3135  
Approval

**NOT YET APPROVED**

Project Name: **GWL 1216 8 Street SW**  
Municipal Address: 1216 - 1242 8th Street Mixed use Building SW, Calgary, Alberta, 217-146

Drawing Name: **SITE PLAN AND SECTIONS**

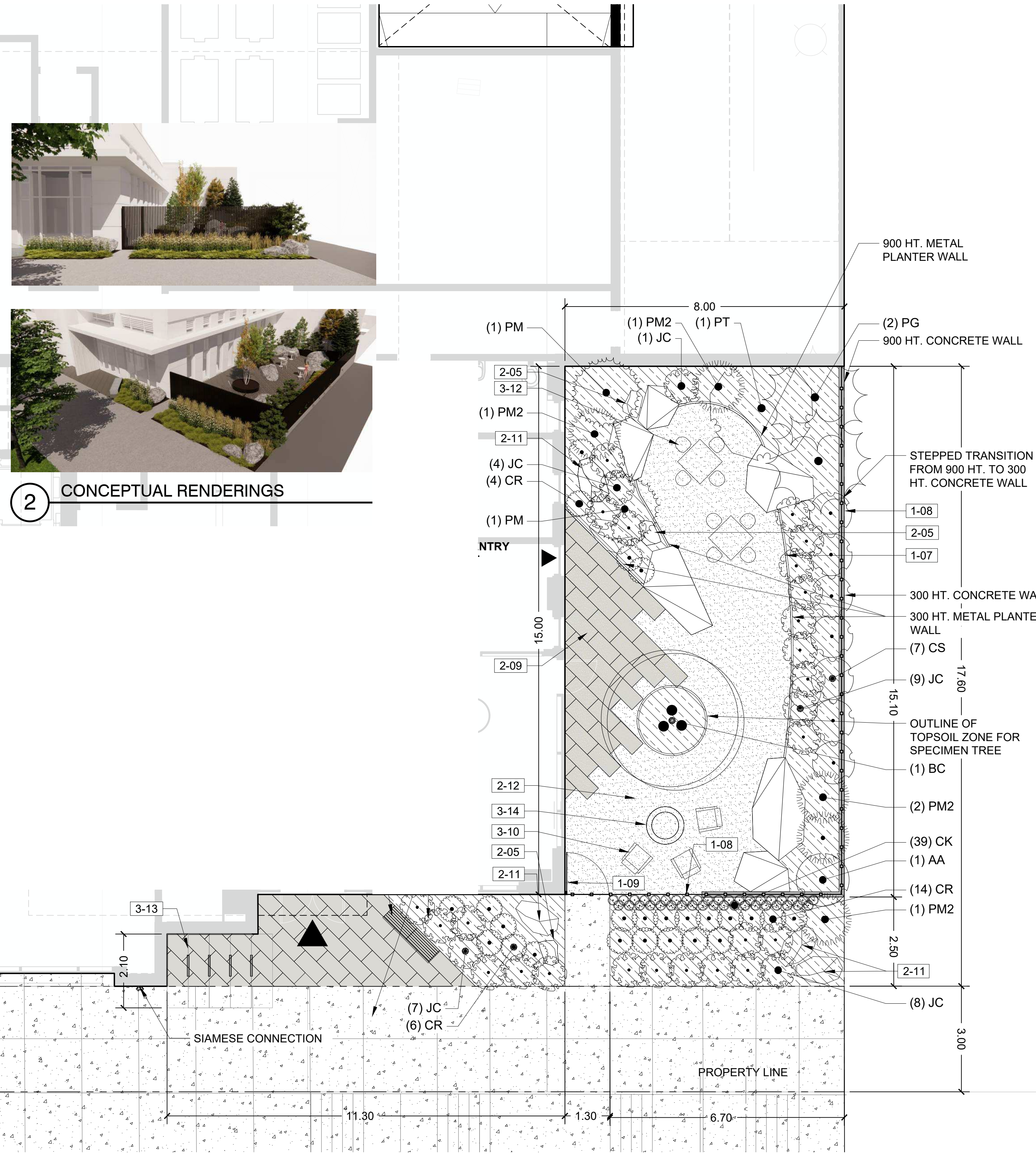
Project No. 190101-1

Drawing No. **LS-02**

Sheet Size ANSI D



2 CONCEPTUAL RENDERINGS



1 LANDSCAPE PLAN - GROUND LEVEL

LEGEND

- GENERAL
- PROPERTY LINE
  - - - EXISTING SANITARY
  - - - EXISTING STORM
  - - - EXISTING WATER
  - - - EXISTING GAS
  - - - EXISTING ELECTRICAL
  - - - EXISTING COMMUNICATION

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION
<b>1 LINEAR FEATURES</b>		
[Symbol]	1-07	METAL PLANTER EDGE
[Symbol]	1-08	CUSTOM ARCHITECTURAL SCREEN
[Symbol]	1-09	CUSTOM METAL GATE
[Symbol]	1-10	CONCRETE RETAINING WALL
<b>2 HARDSCAPE</b>		
[Symbol]	2-05	MEDIUM BOULDER
[Symbol]	2-09	LIGHT DUTY UNIT PAVING TYPE 2
[Symbol]	2-10	COC LIGHT DUTY CONCRETE PAVING
[Symbol]	2-11	LARGE BOULDER
[Symbol]	2-12	1/4" CRUSHED RUNDLESTONE FINES
<b>3 SITE FURNITURE</b>		
[Symbol]	3-01	BENCH TYP.
[Symbol]	3-10	LOUNGING CHAIR
[Symbol]	3-12	MOVABLE TABLE AND CHAIRS
[Symbol]	3-13	BIKE RACK
[Symbol]	3-14	FIRE BOWL
[Symbol]	3-15	TREE GRATE
<b>4 SOFTSCAPE</b>		
[Symbol]	4-02	MULCHED PLANTING BED
[Symbol]	4-03	BOULEVARD GROUND COVER

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE
<b>TREES</b>					
[Symbol]	BC	BETULA PAPPYRIFERA 'CLUMP' / CLUMP PAPER BIRCH	WIRE BASKET	50MM CAL	
[Symbol]	PG	PICEA GLAUCA / WHITE SPRUCE	WIRE BASKET		2.0M HEIGHT
[Symbol]	PM	PINUS UNCINATA / MOUNTAIN PINE	WIRE BASKET		1.5M
[Symbol]	PT	POPULUS TREMULOIDES / TREMBLING ASPEN	WIRE BASKET	50MM CAL	
<b>SHRUBS</b>					
[Symbol]	AA	ARONIA ARBUTIFOLIA / RED CHOKEBERRY	#2 CONT.		1.5 m
[Symbol]	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	#1 CONT.		0.3 m
[Symbol]	CR	CHRYSANTHEMUM X SUPERBUM / SHASTA DAISY	#1 CONT.		0.75 m
[Symbol]	CS	CORNUS STOLONIFERA / RED TWIG DOGWOOD	#2 CONT.		1.2 m
[Symbol]	JC	JUNIPERUS SABINA 'MONNA' / CALGARY CARPET® JUNIPER	#2 CONT.		1 m
[Symbol]	PM2	PINUS MUGO / MUGO PINE	#2 CONT.		1.5 m

GENERAL NOTES

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- Written dimensions override scaled measurements.

GRADING

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- Coordinate a Geotechnical Engineer to inspect compacted subgrade and subbase prior to placement of the next profile material. Share all reports with Consultant.
- Set subgrade to match topsoil depth below finish grade.
- Provide positive overland drainage. Grade to the following slopes:
  - Softscape cross fall: 2-2.5%
  - Pathways: <5%
  - Slopes: <33.0% (<3:1)
- Provide smooth, safe, and seamless transition of materials, where construction of proposed surfaces adjoins existing materials. Applicable for all surfaces, hard and soft.
- Smooth and round slope transitions, mounds, and berms to facilitate mowing and maintenance.

PLANTING

- Notify Consultant of discrepancies between plant list and drawing.
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- Prior to planting, stake tree locations and planting beds. Provide 48-hour advance notice to Consultant for review and approval.
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- Mulch tree wells and plant beds with 75mm min depth clean bark mulch.
- Install and maintain tree protection measures to prevent animal damage per Calgary Parks detail sheet 27b.
- Rock pick and clean topsoil to Calgary Parks specifications.
- Maintain site from project start to CCC to FAC. Guarantee plant material for one growing season.
- Remove tree stakes upon FAC. Water bags and tree protection measures to remain at the discretion of the Park Inspector.

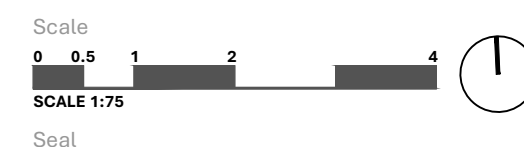
SHEET NOTES

- Refer to LL-01 for additional notes.



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No.	Date Issued	Description
03	2026-04-01	ISSUED FOR DP REVIEW AMENDMENT
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01	2025-08-15	ISSUED FOR DP COORDINATION



DP No.  
DP-2019-3135

Approval

NOT YET APPROVED

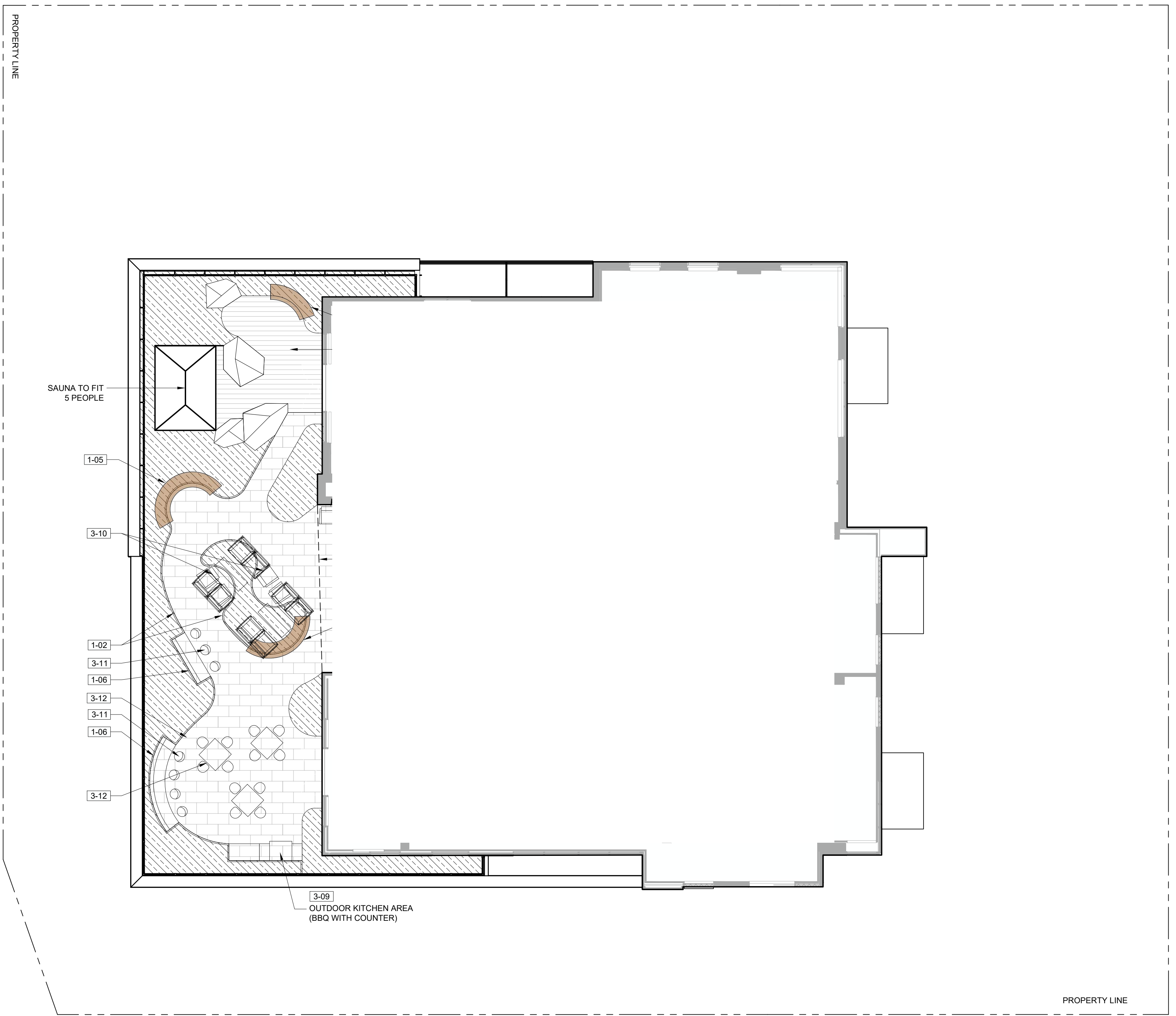
Project Name  
**GWL 1216 8 Street SW**  
Municipal Address  
1216 - 1242 8th Street Mixed use Building SW, Calgary, Alberta, 217-146

Drawing Name  
**GROUND LEVEL LANDSCAPE PLAN**

Project No.  
190101-1

Drawing No.  
**LL-01**

Sheet Size ANSI D



**REFERENCE NOTES SCHEDULE**

SYMBOL	CODE	DESCRIPTION
<b>1 LINEAR FEATURES</b>		
[Symbol]	1-02	METAL PLANTER WALL
[Symbol]	1-05	PLANTER WALL BENCH
[Symbol]	1-06	CUSTOM BAR COUNTER (ACCESSIBLE)
<b>2 HARDSCAPE</b>		
[Symbol]	2-03	LARGE UNIT PAVERS (ROOF DECK)
[Symbol]	2-05	COMPOSITE WOOD DECKING
<b>3 SITE FURNITURE</b>		
[Symbol]	3-08	BBQ
[Symbol]	3-09	BBQ WITH COUNTER TOP
[Symbol]	3-10	LOUNGING CHAIR
[Symbol]	3-11	BAR HEIGHT STOOLS
[Symbol]	3-12	MOVABLE TABLE AND CHAIRS
<b>4 SOFTSCAPE</b>		
[Symbol]	4-02	MULCHED PLANTING BED

**GENERAL NOTES**

1. Construction to follow "City of Calgary Parks Development Guidelines and Standard Specifications: Landscape Construction" - current edition.
2. Prior to construction start, mark all underground utility locations. Call Alberta One-Call (800) 242.3447.
3. Prior to construction start, notify Consultant of any discrepancies.
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6. Unless otherwise noted, plan dimensions are in meters.
7. Written dimensions override scaled measurements.

**SHEET NOTES**

1. Refer to LL-01 for additional notes.

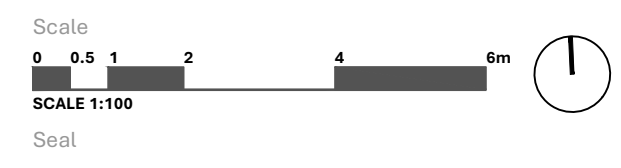
**1** LANDSCAPE PLAN - 25TH LEVEL

2026-04-01 12:24pm By: calvin.liam N:\Projects\190101-1 1216 8 Street\4 - Working\2 - CAD\2 - Sheets\LL-03.dwg



**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

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03	2026-04-01	ISSUED FOR DP REVIEW AMENDMENT
02	2025-08-21	ISSUED FOR DP REVIEW
01	2025-08-15	ISSUED FOR DP COORDINATION



DP No.  
**DP-2019-3135**  
Approval

**NOT YET APPROVED**

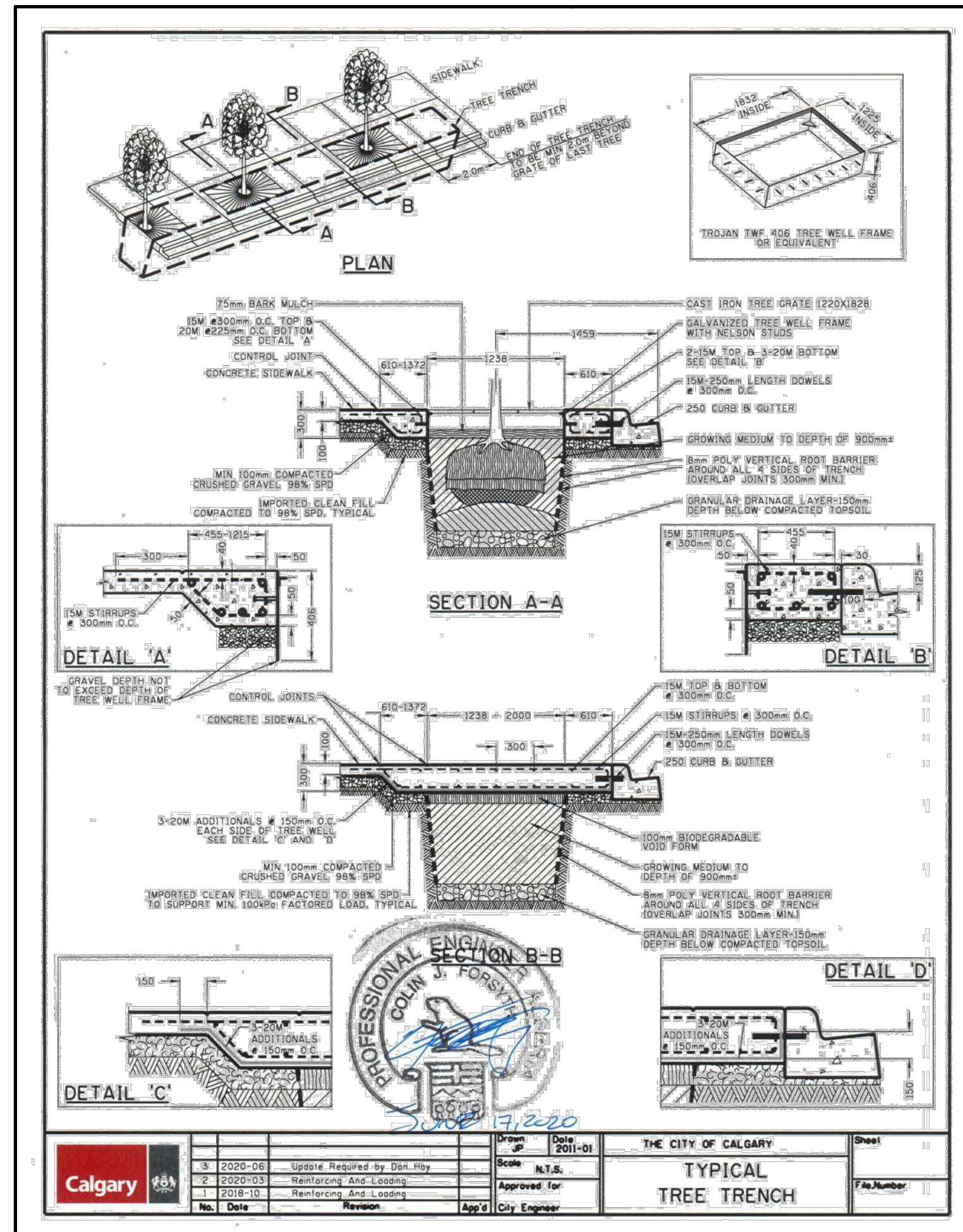
Project Name  
**GWL 1216 8 Street SW**  
Municipal Address  
1216 - 1242 8th Street Mixed use Building SW, Calgary, Alberta, 217-146

Drawing Name  
**26TH LEVEL  
LANDSCAPE PLAN**

Project No.  
**190101-1**

Drawing No.  
**LL-03**

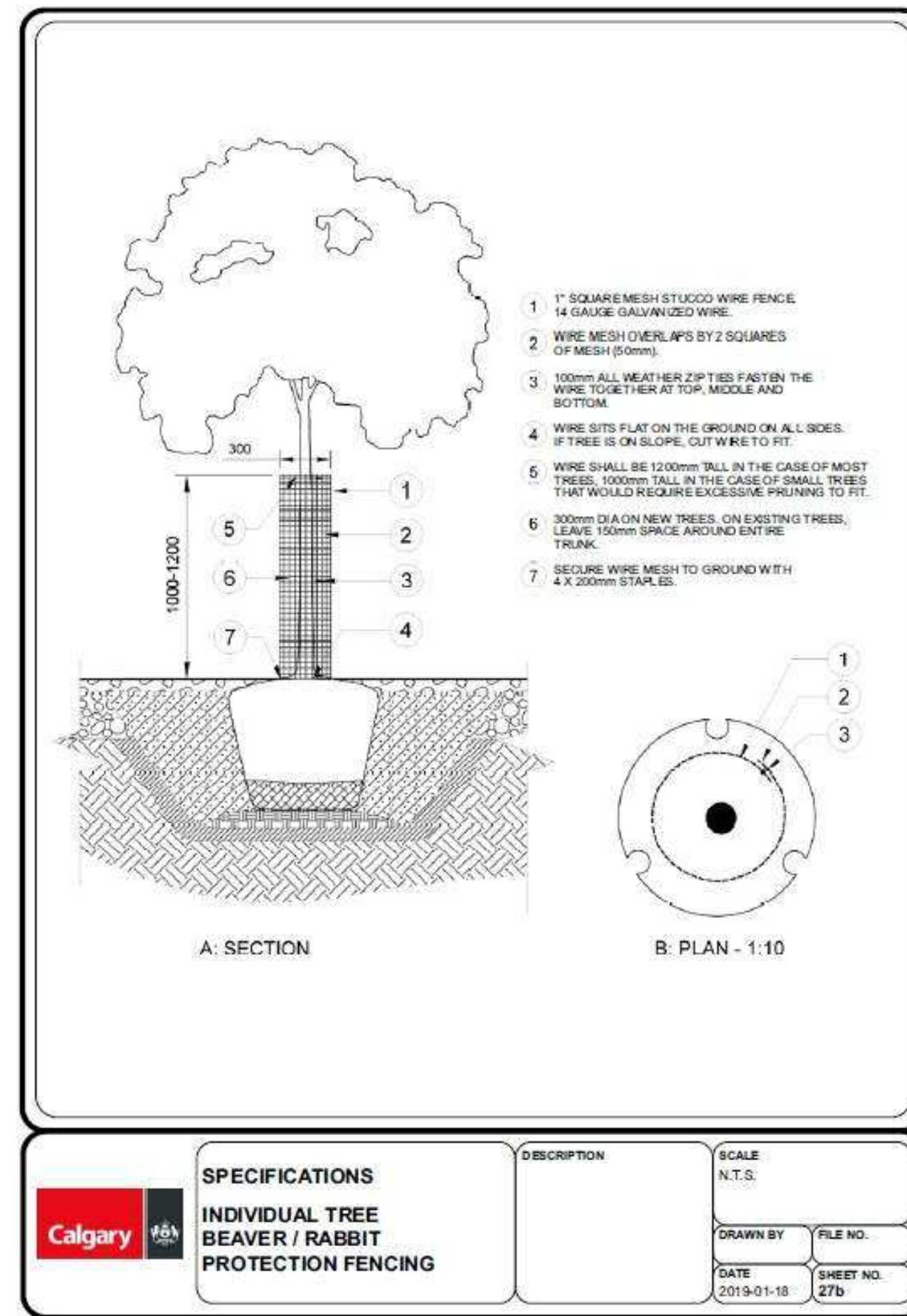
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1 CITY OF CALGARY TYPICAL TREE TRENCH

NTS

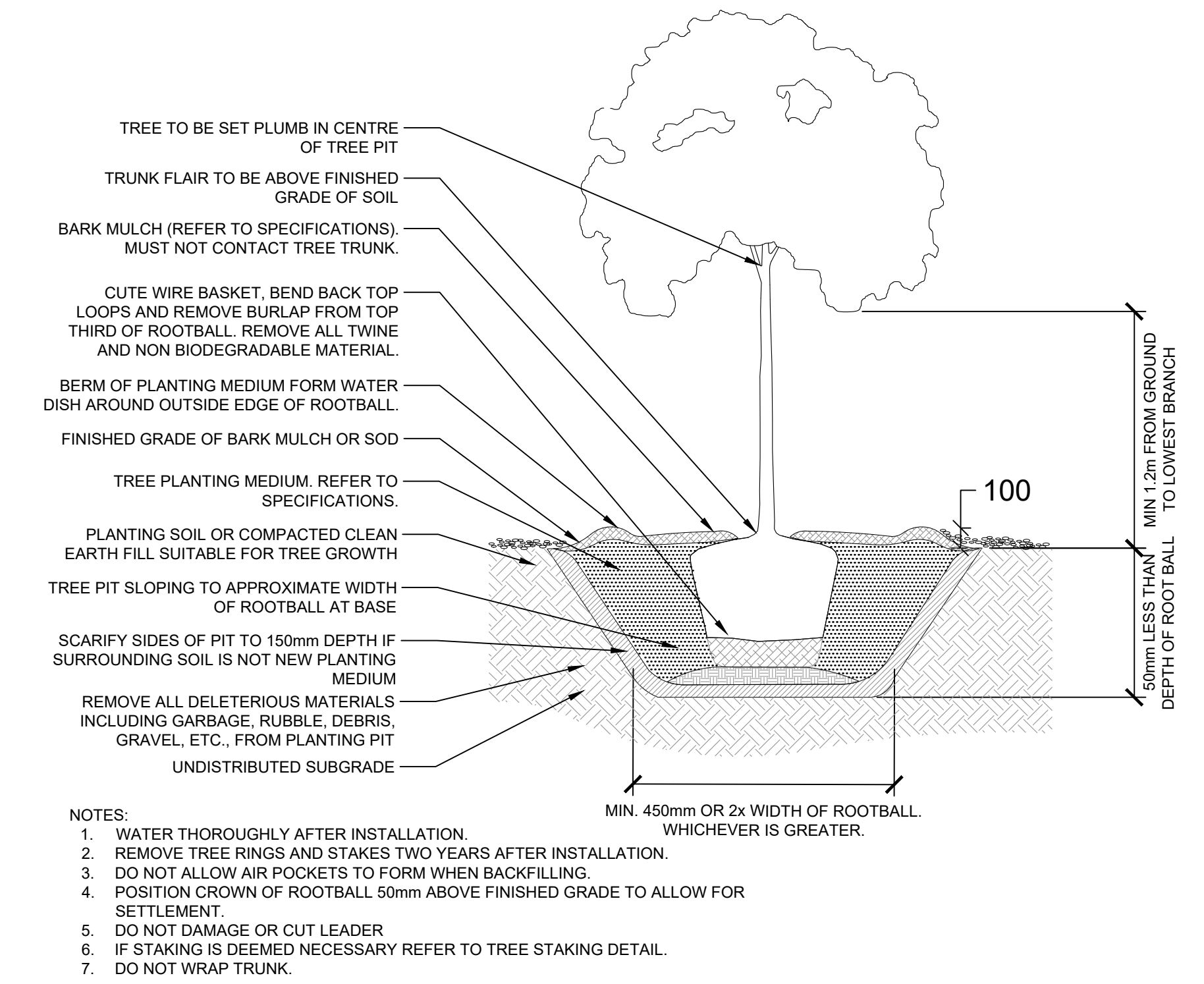
P-02-CEN-45



3 COC TREE PLANTING - PROTECTION FENCING

NTS

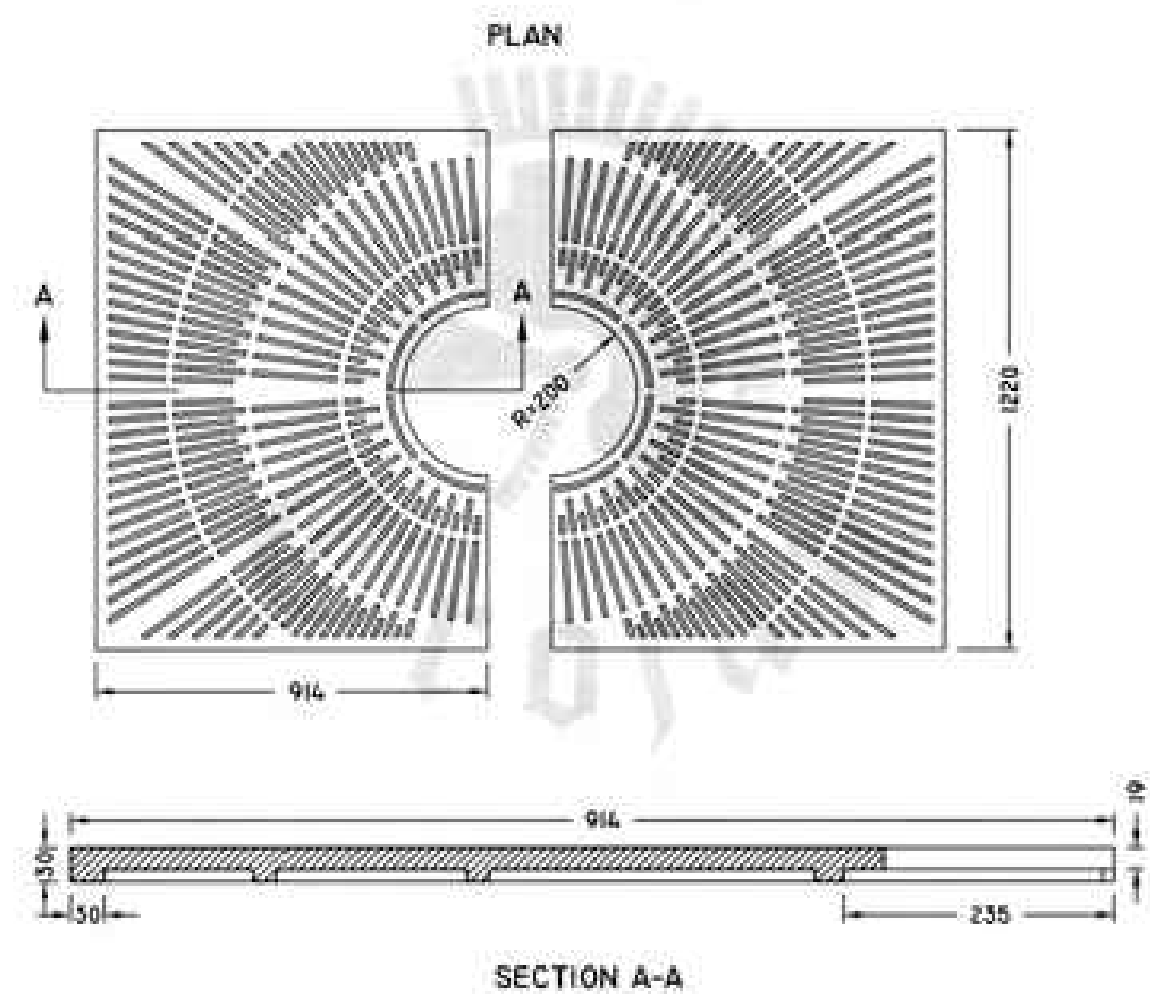
P-02-CEN-52



4 DECIDUOUS TREE PLANTING

1:30

P-02-CEN-61



2 CITY OF CALGARY TYPICAL TREE GRATE

NTS

P-02-CEN-83

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NOT FOR CONSTRUCTION

No.	Date Issued	Description
03	2026-04-01	ISSUED FOR DP REVIEW AMENDMENT
02	2025-08-21	ISSUED FOR DP REVIEW
01	2025-08-15	ISSUED FOR DP COORDINATION

Scale

Seal

DP No.  
DP-2019-3135

Approval

NOT YET APPROVED

Project Name  
**GWL 1216 8 Street SW**  
Municipal Address  
1216 - 1242 8th Street Mixed Use Building SW, Calgary,  
Alberta, 217-146

Drawing Name  
**DETAILS**

Project No.  
190101-1

Drawing No.

**LD-03**

Sheet Size ANSI D

02