

MARDA LOOP MIXED USE

ISSUED FOR DETAILED REVIEW 1

01/12/2026

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PROJECT INFORMATION:

PARCEL ADDRESS:

LEGAL:	L: 1, 2, & 3 INCLUSIVE, BLOCK B, PLAN 2259N
MUNICIPAL:	1537, 1539 34 AVE SW, CALGARY, AB
COMMUNITY:	MARDA LOOP
EXISTING ZONING:	M-C1
PROPOSED ZONING:	MU-1

PROPOSED GROSS BUILDING AREA:

MAIN	358.38 SQ.M. / 3,857.62 SQ.FT.
SECOND	735.17 SQ.M. / 7,913.30 SQ.FT.
THIRD	748.45 SQ.M. / 8,056.29 SQ.FT.
FOURTH	748.45 SQ.M. / 8,056.29 SQ.FT.
FIFTH	689.32 SQ.M. / 7,419.74 SQ.FT.
SIXTH	391.49 SQ.M. / 4,213.99 SQ.FT.

TOTAL:	3,671.26 SQ.M. / 39,517.23 SQ.FT.
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BYLAW REGULATIONS:

BUILDING SETBACKS:

	PERMITTED
FRONT (NORTH)	0.0m
SIDE (WEST)	7.5m FROM ADJACENT PROPERTY
REAR (SOUTH)	0.0m
SIDE (EAST)	0.0m

PARCEL COVERAGE:

PARCEL AREA:	986.85 SQ.M. / 10,622.23 SQ.FT.
PARCEL COVERAGE:	35.35%
BUILDING FOOT PRINT:	348.62 SQ.M. / 3,752.56 SQ.FT.

FLOOR AREA RATIO:

MAXIMUM ALLOWED:	4.0 (MU-1)
PROPOSED:	3.6

DENSITY:

MINIMUM ALLOWED:	N/A
MAXIMUM ALLOWED:	N/A
TOTAL PROPOSED UNITS:	44 UNITS
PROPOSED DENSITY:	446 UNITS PER HECTARE

AMENITY SPACE:

MINIMUM REQUIRED AMENITY SPACE:	200 SQ.M = 5.0 SQ.M. / UNIT
PROVIDED PRIVATE AMENITY SPACE:	5.0 SQ.M X 23 UNITS = 115 SQ.M.
PROVIDED COMMON INDOOR AMENITY SPACE:	83.36 SQ.M.
PROVIDED COMMON OUTDOOR AMENITY SPACE:	177.78 SQ.M.
TOTAL AMENITY SPACE:	252.84 SQ.M.

VEHICULAR PARKING:

REQUIRED RESIDENTIAL STALLS	
0.75 STALLS / UNIT	
- 25% TRANSIT REDUCTION	
- 0.25 PER EXTRA CLASS 1 STALL (MAX 25% REDUCTION)	17 STALLS REQUIRED

REQUIRED VISITOR STALLS	
0.1 STALLS / UNIT	
- 25% FREQUENT BUS REDUCTION	4 STALLS REQUIRED

COMMERCIAL & RETAIL STALLS :	0 STALLS REQUIRED
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TOTAL PARKING STALLS REQUIRED:	21 STALLS
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TOTAL PARKING STALLS PROPOSED:	12 STALLS
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BICYCLE PARKING:

MINIMUM REQUIRED:	
0.5 CLASS 1 BICYCLE STALLS / UNIT	44 UNITS x 0.5 = 22 STALLS REQ. 77 STALLS PROVIDED

0.1 CLASS 2 BICYCLE STALLS / UNIT	44 UNITS x 0.1 = 4.4 STALLS REQ. 6 STALLS PROVIDED
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WASTE AND RECYCLING

REQUIRED : 0.24m³ X 44 UNITS = 10.56 m³
REQUIRED COMMERCIAL: 3.0m³ PER 1000m²
348.05m²X3.0m³=1.05m³

PROPOSED : 3 WASTE RECEPTACLES X 2.51m³ = 7.53m³
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PICK-UP FREQUENCY - TWICE A WEEK

A MINIMUM OF ONE CONTAINER FOR EACH WASTE STREAM WILL BE PROVIDED.
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(ARTISTIC REPRESENTATION ONLY)



FORMED ALLIANCE ARCHITECTURE STUDIO



- SHEET NOTES

LOADING SERVICES PROTOCOL

TIMED LOADING STALL TO BE AVAILABLE AT OFF PEAK HOURS
 (10AM-12PM AND 3PM-5PM) ADJACENT TO THE 34 AV SW LAYWAY.
 SIGNAGE TO BE PROMINENTLY DISPLAYED ON STREET AS
 INDICATED BY N.20. **ON DP.101 SITE PLAN**, THE PROPOSED LOADING
 AREA HAS BEEN DESIGNED TO ACCOMMODATE AN SU-9 (OR
 SMALLER) EXPECTED DELIVERIES TO BE BOTH HOUSEHOLD AND
 RETAIL/RESTAURANT RELATED MATERIALS.

[illegible]

PROJECT NAME:

MARDA LOOP
MIXED - USE

637, 1539 34TH AVE SW
507 14A ST SW

1, 2, & 3 BLOCK: B P: 2259N

24.044

MIN	CHECKED
N	.8

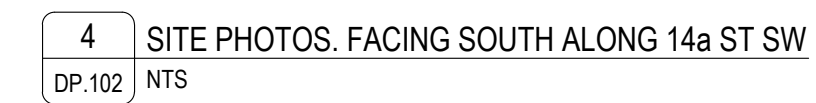
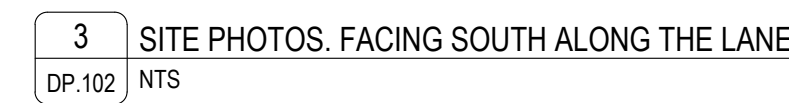
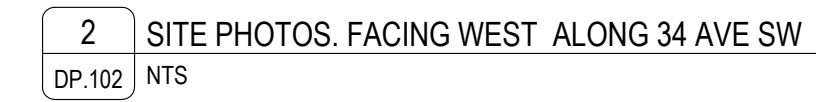
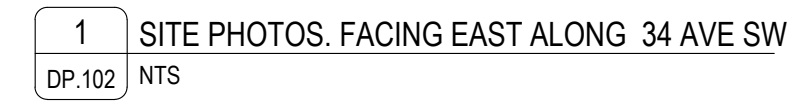
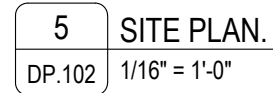
DATE	SCALE
025.08.06	AS NOTED

SITE PLAN

RUNNING NUMBER

DP.101

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

[illegible]

PROJECT NAME

MARDIA LOOP
MIXED - USE

137, 1539 34TH AVE SW
507 14A ST SW

1, 2, & 3 BLOCK: B P: 2250N

24.044

MAN	CHECKED
N	JB

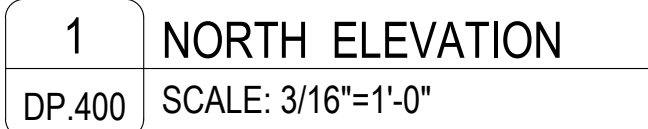
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SITE INFORMATION

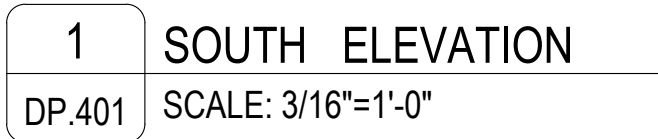
ARTICLE NUMBER

DP.102

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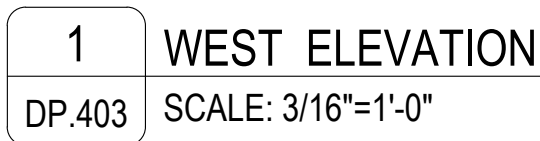


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 PROPOSED GEODETIC ELEVATION

RAJYU) 72, 88 (50)

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 PROPOSED GEODETIC ELEVATION

[illegible]

MARDA LOOP
MIXED - USE

PROJECT NO. 24.044

UN JB

TABLE 6
 (continued)

RANTR NUMBER

DP.500

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[illegible]

PROJECT NAME

MARDA LOOP
MIXED - USE

MUNICIPAL ADDRESS
537, 1539 34TH AVE SW
1507 14A ST SW
CALGARY, AB

LEGAL ADDRESS
: 1, 2, & 3 BLOCK: B P: 2259N

PROJECT NO. 24.044

RUN	CHECKED
UN	JB

DATE	SCALE
2025.08.05	AS NOTED

SUPPLEMENTAL RENDERS

RANTR NUMBER

DP.501

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PROJECT NAME

Palestine's role

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1 overall landscape plan
Scale: 1:125

Site Information		
Address:	1537,1539 34 AV + 35070 14A ST SW Calgary, AB	
City of Calgary Zoning:	MU-1 Mixed Use	
Landscape Statistics		
Site Area	986.84 sq m	
Landscape area provided	181.19 sq m	
at grade	90.55 sq m	
rooftop amenity space	90.64 sq m	
Tree requirements		provided
	Total	5
Deciduous Trees		5.00
	75mm cal	5
Coniferous Trees		0.00
Shrub Requirements		provided
	Total	198
	Deciduous	198.00

Trees

-
- Ivory Silk Japanese Lilac

Shrubs and Perenials

-
- Rhythm and Blues Astilbe
-
- Annabelle Hydrangea
-
- Anise Hyssop
-
- Dwarf Korean Lilac (tree form)
-
- Double play candy corn spirea
-
- Gold Star Potentilla

Grasses

-
- Foerster's Feather Reed Grass
-
- Prairie Fire Red Switch Grass

groundcovers and surfaces

-
- wood mulch
-
- fine ground
-
- sod
-
- drought tolerant
over 300mm of topsoil
-
- decorative rock mulch
-
- concrete paving
plain grey broom finish
-
- accent concrete
integral colour concrete

Plant List			
Qty	Common Name	Botanical Name	Size
Ornamental Grasses and Groundcovers			
13	Foerster's Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	5 gallon pot
14	Prairie Fire Red Switch Grass	Panicum virgatum 'Prairie Fire'	5 gallon pot
Shrubs			
Coniferous			
Deciduous			
46	Anise Hyssop	Agastache 'Blue Fortune'	600mm min
7	Annabelle Hydrangea	Hydrangea arborescens 'Annabelle'	600mm min
55	Double play candy corn spirea	Spiraea japonica 'candy corn'	600mm min
11	Dwarf Korean Lilac (tree form)	Syringa meyeri 'Palibin (tree form)'	600mm min
11	Gold Star Potentilla	Potentilla fruticosa 'Gold Star'	600mm min
68	Rhythm and Blues Astilbe	Astilbe 'Rhythm and Blues'	600mm min
Trees			
Coniferous			
Deciduous			
5	Ivory Silk Japanese Lilac	Syringa reticulata 'Ivory Silk'	75mm cal

Arqueicos Group Ltd.
Design and Development Consultants

8-121 Village Heights SW
Calgary, Alberta T3H 2L2

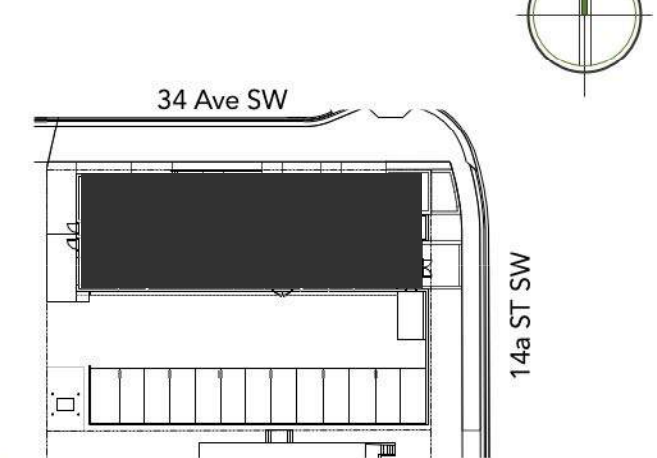
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 - Water delivery to be limited to trees and shrub beds. Spray heads only within areas with sod.
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- Plant Material**
- All plant material to be sourced from Alberta nurseries and be capable of growth in the Calgary Region (Chinook hardy) as per municipal bylaws.

Key Plan



4	development permit DR	26.01.09
3	review and coordination	25.12.09
2	development permit	25.08.05
1	review and coordination	25.06.25
Issued for:		Date, (yy.mm.dd)

Project No. 49-001
Project Title.
**Marda Loop
Mixed Use**

Calgary, A.B.

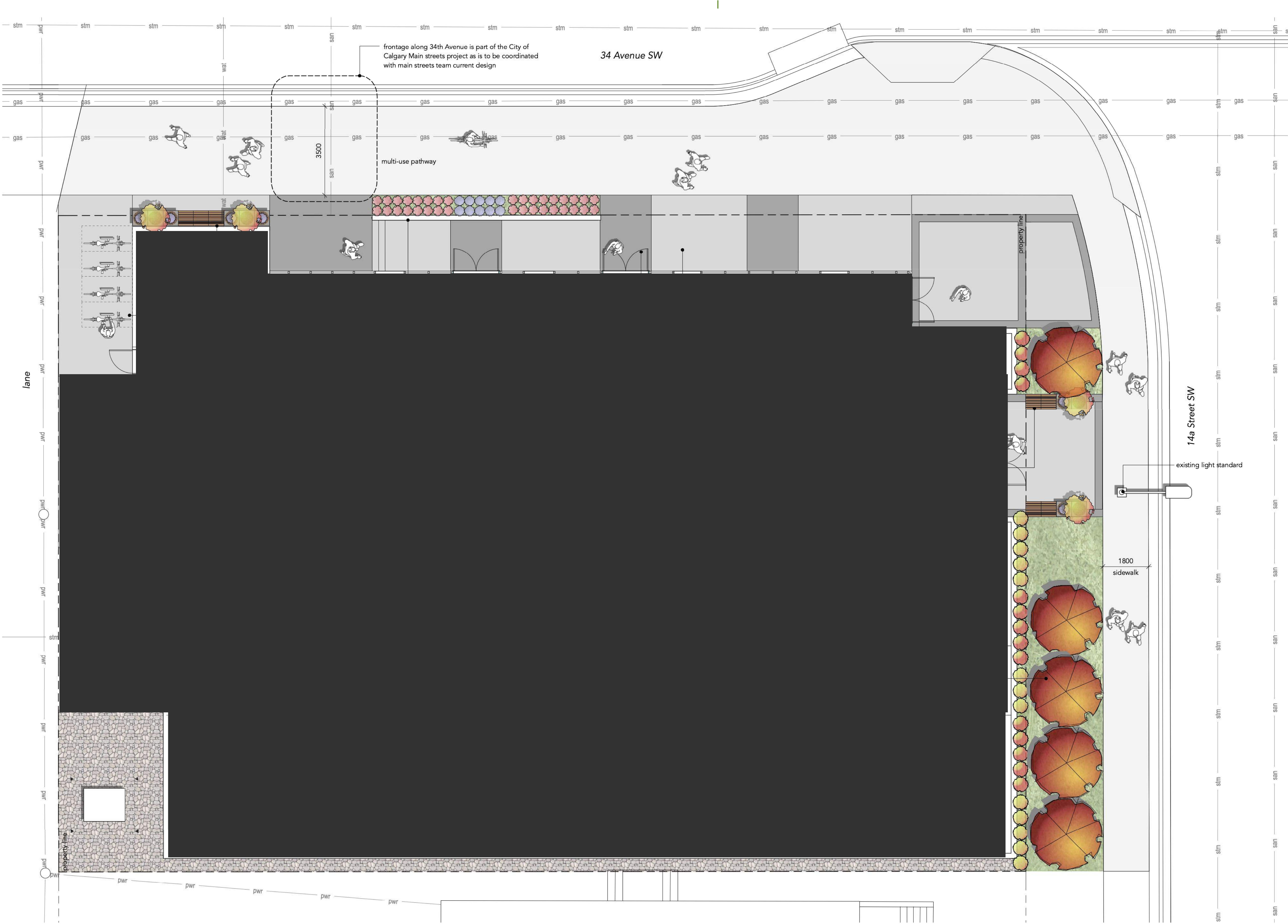
Drawing Title:
Overall Landscape Plan

Drawn by:
cmp

Checked by:
cmp

Scale:
1:125

Drawing No.
L-0



Trees

Ivory Silk Japanese Lilac

Shrubs and Perennials

Rhythm and Blues Astilbe

Annabelle Hydrangea

Anise Hyssop

Dwarf Korean Lilac (tree form)

Double play candy corn spirea

Gold Star Potentilla

Grasses

Foerster's Feather Reed Grass

Prairie Fire Red Switch Grass

groundcovers and surfaces

wood mulch

fine ground

sod

drought tolerant over 300mm of topsoil

decorative rock mulch

concrete paving

plain grey broom finish

accent concrete

integral colour concrete

General Notes

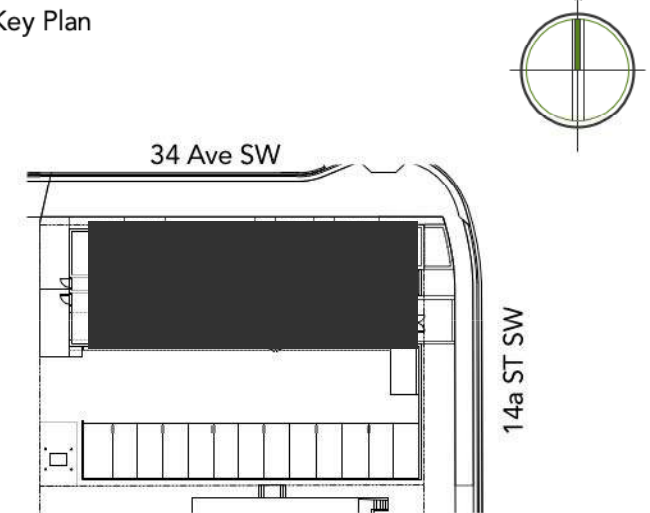
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Irrigation Notes

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2. Water delivery to be limited to trees and shrub beds. Spray heads only within areas with sod.
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Plant Material

1. All plant material to be sourced from Alberta nurseries and be capable of growth in the Calgary Region (Chinook hardy) as per municipal bylaws.



1 ground floor landscape plan
Scale: 1:75

4	development permit DR	26.01.09
3	review and coordination	25.12.09
2	development permit	25.08.05
1	review and coordination	25.06.25
Issued for:		Date: (yy.mm.dd)

Project No. 49-001

Project Title.

**Marda Loop
Mixed Use**

Calgary, A.B.

Drawing Title:

Landscape Plans

Drawn by:

cmp

Checked by:

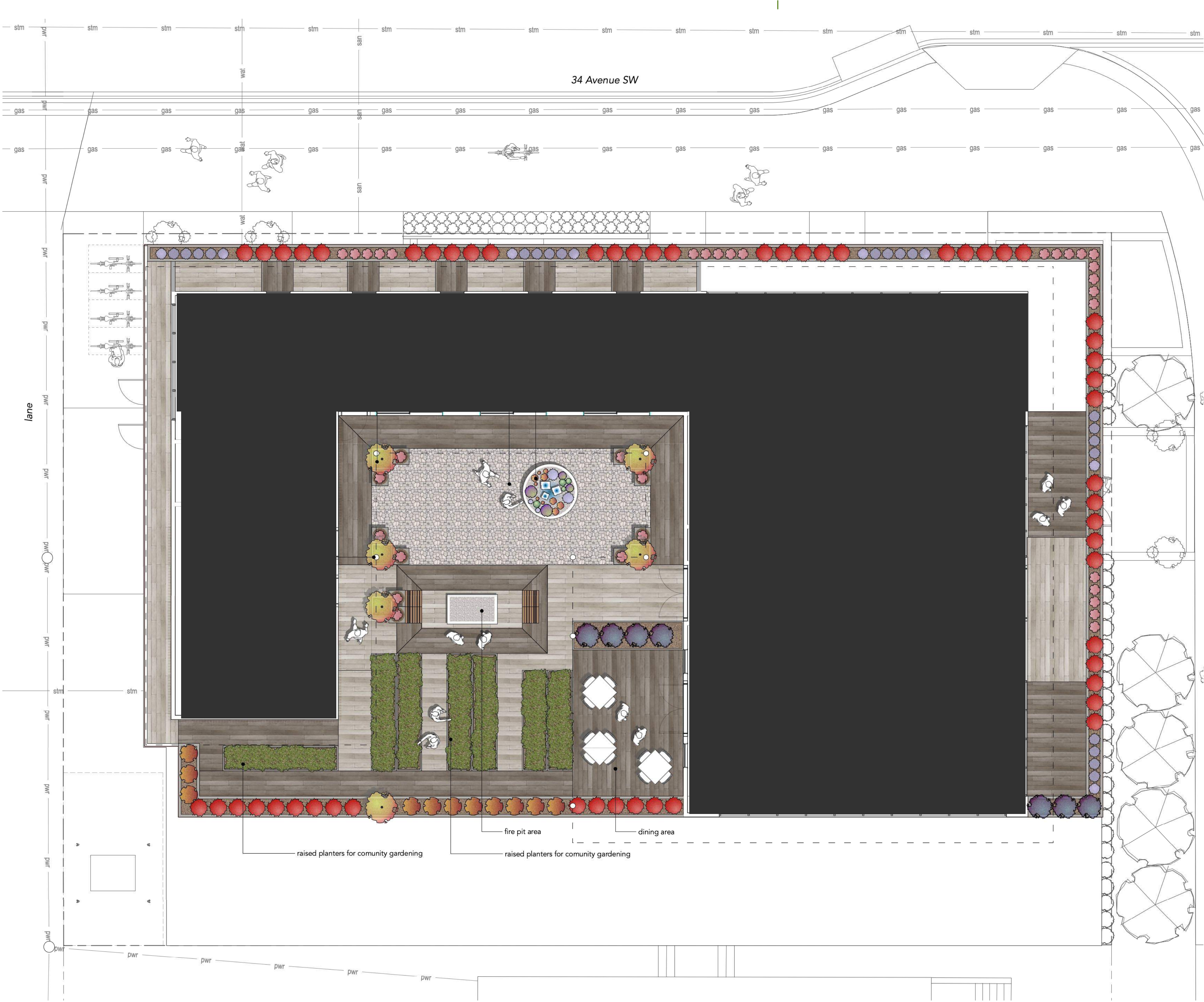
cmp

Scale: 1:75

Drawing No.

L-1





Shrubs and Perennials

- Rhythm and Blues Astilbe
- Annabelle Hydrangea
- Anise Hyssop
- Dwarf Korean Lilac (tree form)
- Double play candy corn spirea
- Gold Star Potentilla



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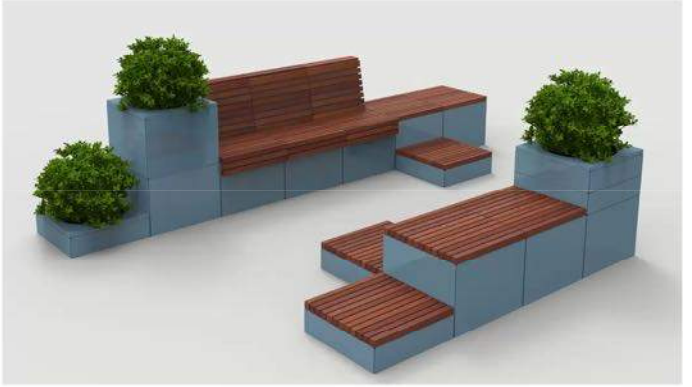
zen garden



pondless water feature



fire pit

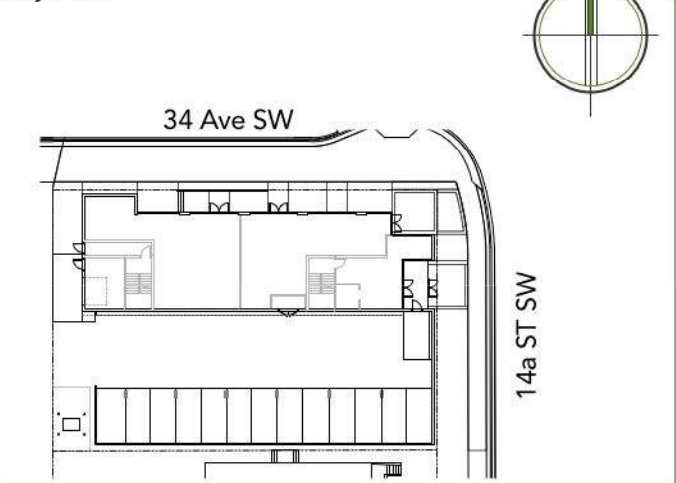


modular planters and seating



freestanding planters

Key Plan



4	development permit DR	26.01.09
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1	review and coordination	25.06.25
Issued for:		Date: (yy.mm.dd)

Project No. 49-001

Project Title.

Marda Loop
Mixed Use

Calgary, A.B.

Drawing Title:

Landscape Plans

Drawn by:

cmp

Checked by:

cmp

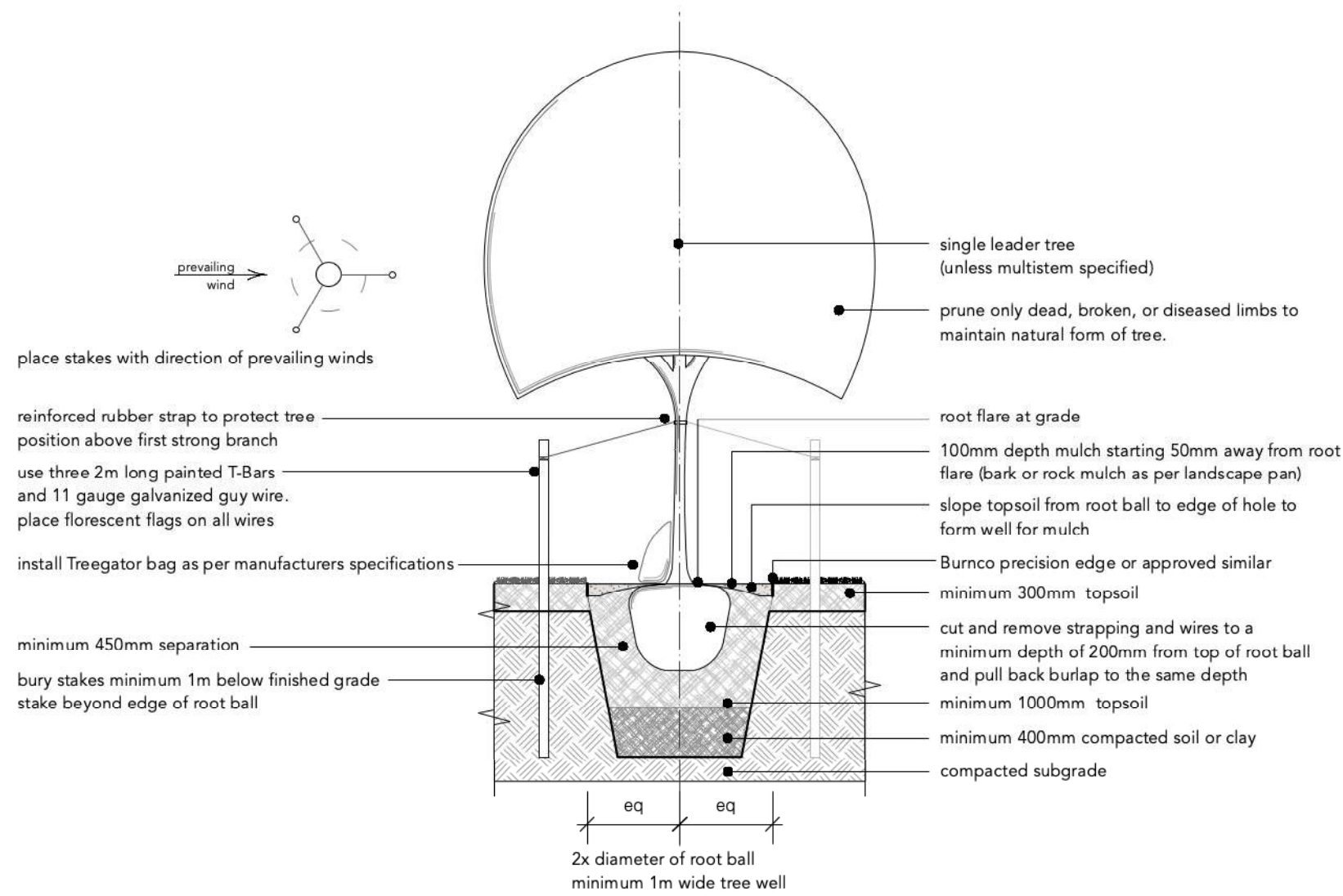
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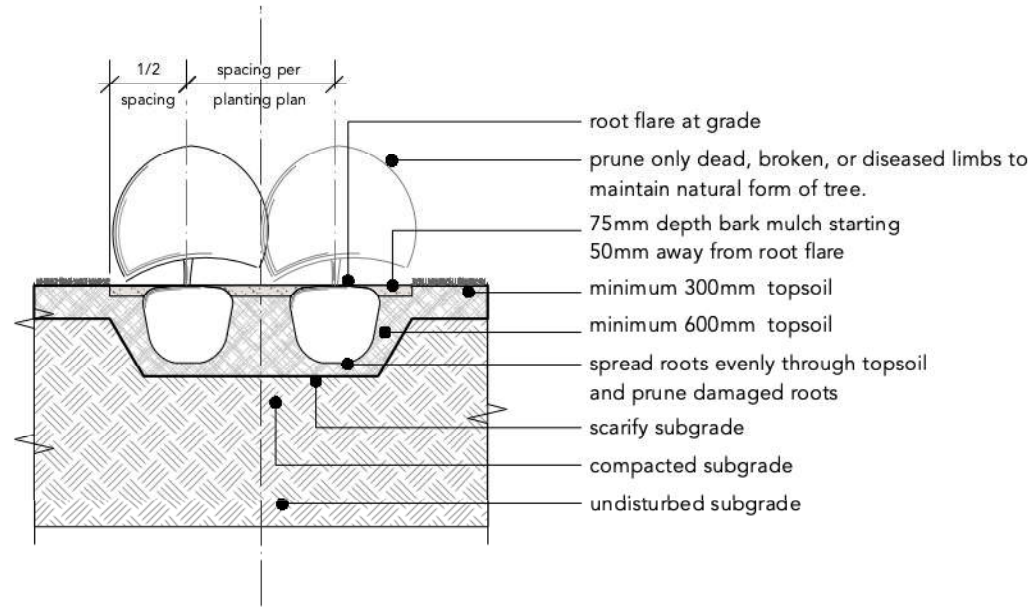
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L-2

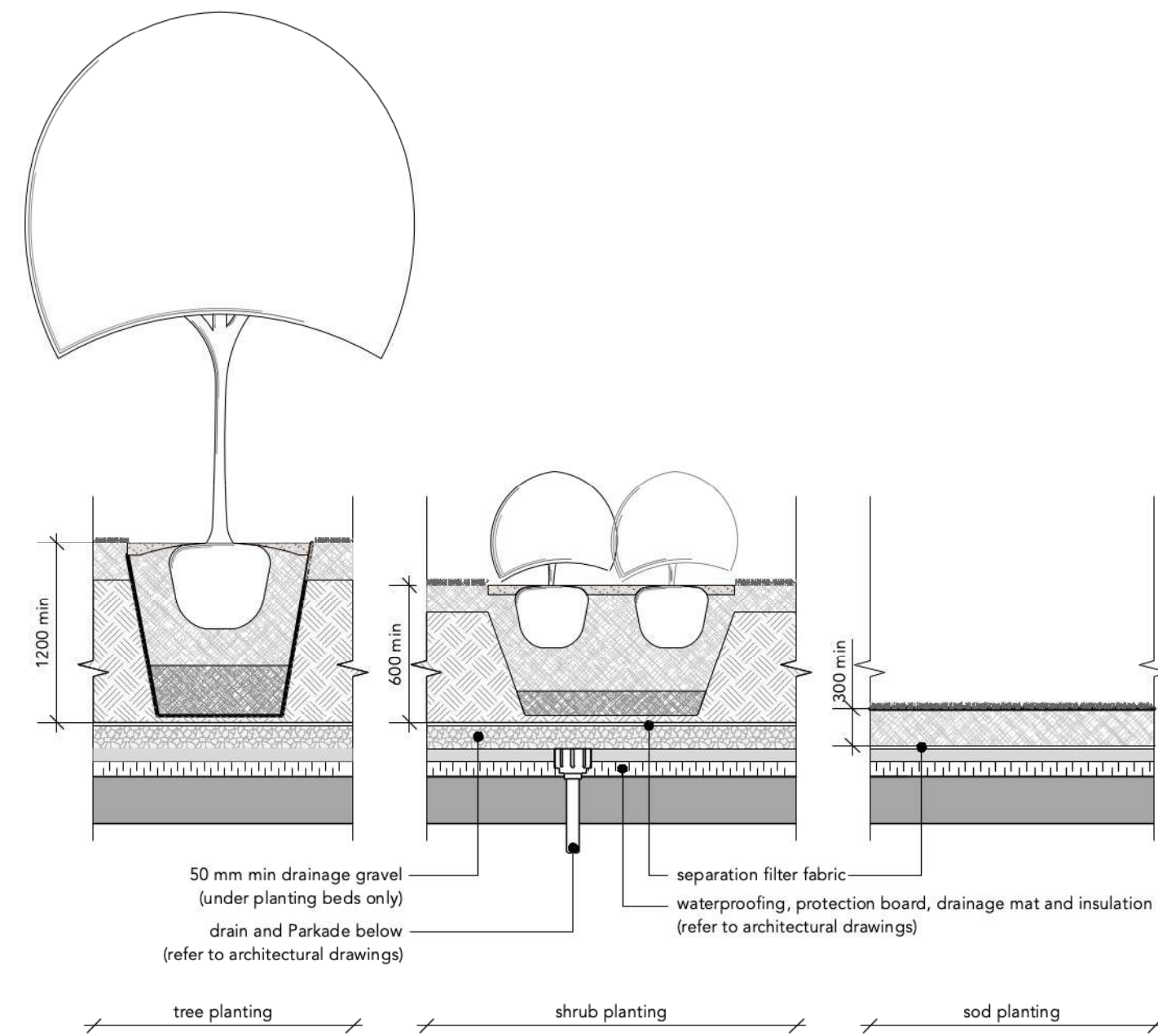




1 typical tree planting
Scale: 1:50



2 typical shrub planting
Scale: 1:50

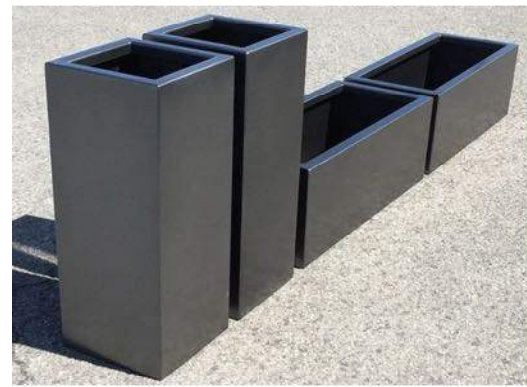


3 typical planting depths on rooftop and over parkade
Scale: 1:50

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- Plant Material**
1. All plant material to be sourced from Alberta nurseries and be capable of growth in the Calgary Region (Chinook hardy) as per municipal bylaws.



Maglin Iconic bike rack
Gunmetal powder coat
surface mounted

free standing planters

4 proposed site furnishings
n.t.s.

4	development permit DR	26.01.09
3	review and coordination	25.12.09
2	development permit	25.08.05
1	review and coordination	25.06.25
Issued for:		Date: (yy.mm.dd)

Project No. 49-001

Project Title:

Marda Loop
Mixed Use

Calgary, A.B.

Drawing Title:

Details and Furnishings

Drawn by:

cmp

Checked by:

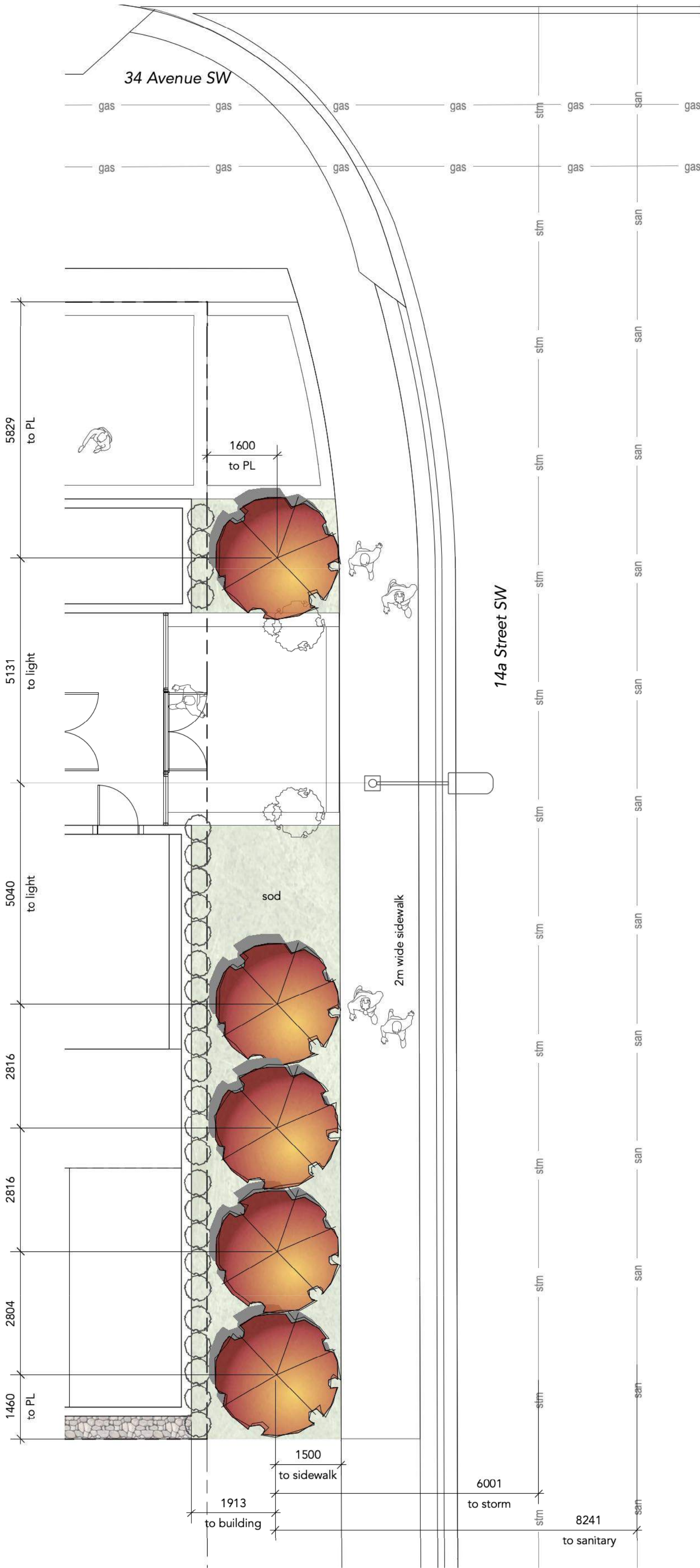
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Scale:

as noted

Drawing No.

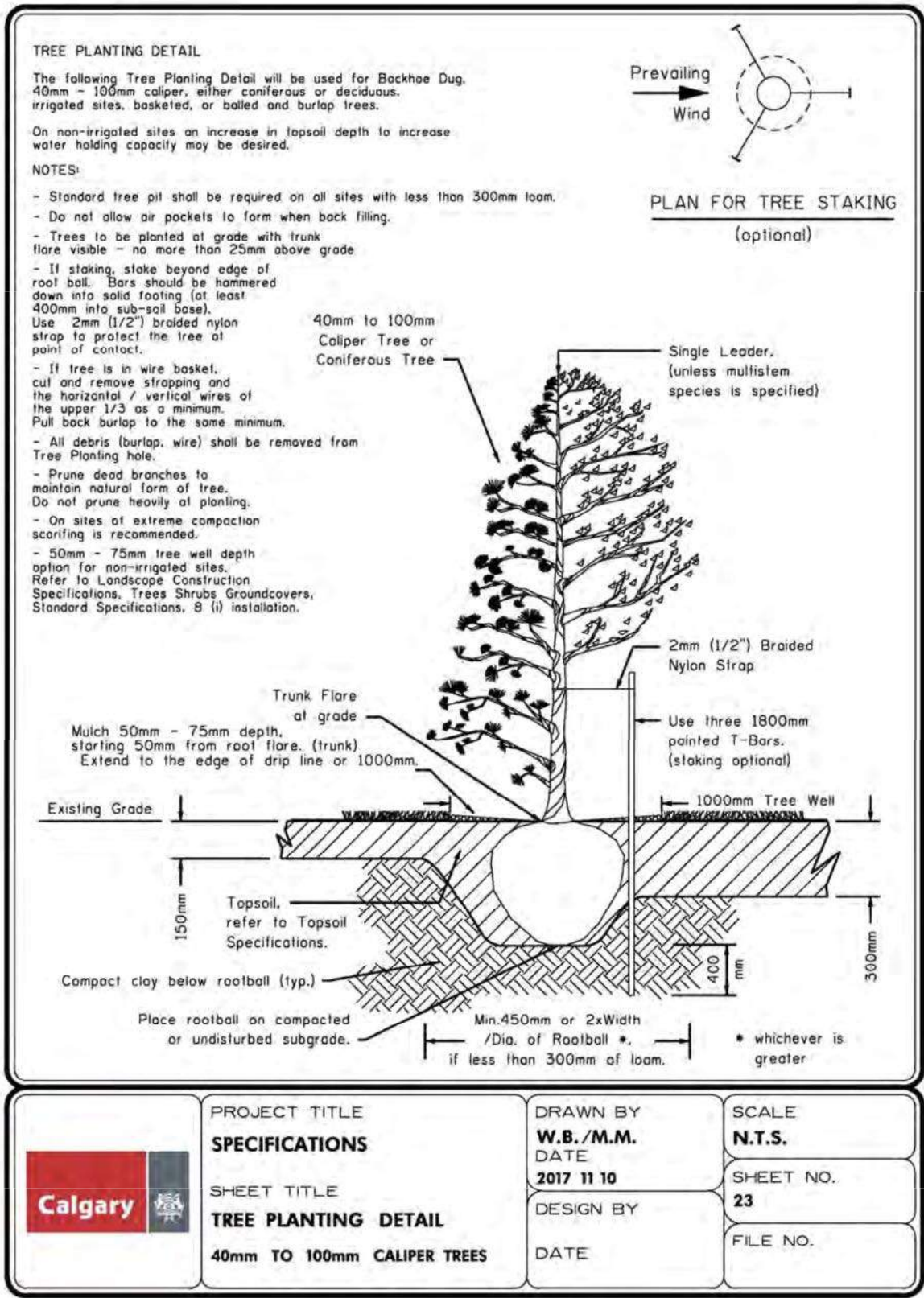
L-3



1 line assignment
Scale: 1:75



Detail Sheet 23: Tree Planting - 40 mm to 100 mm Caliper Trees

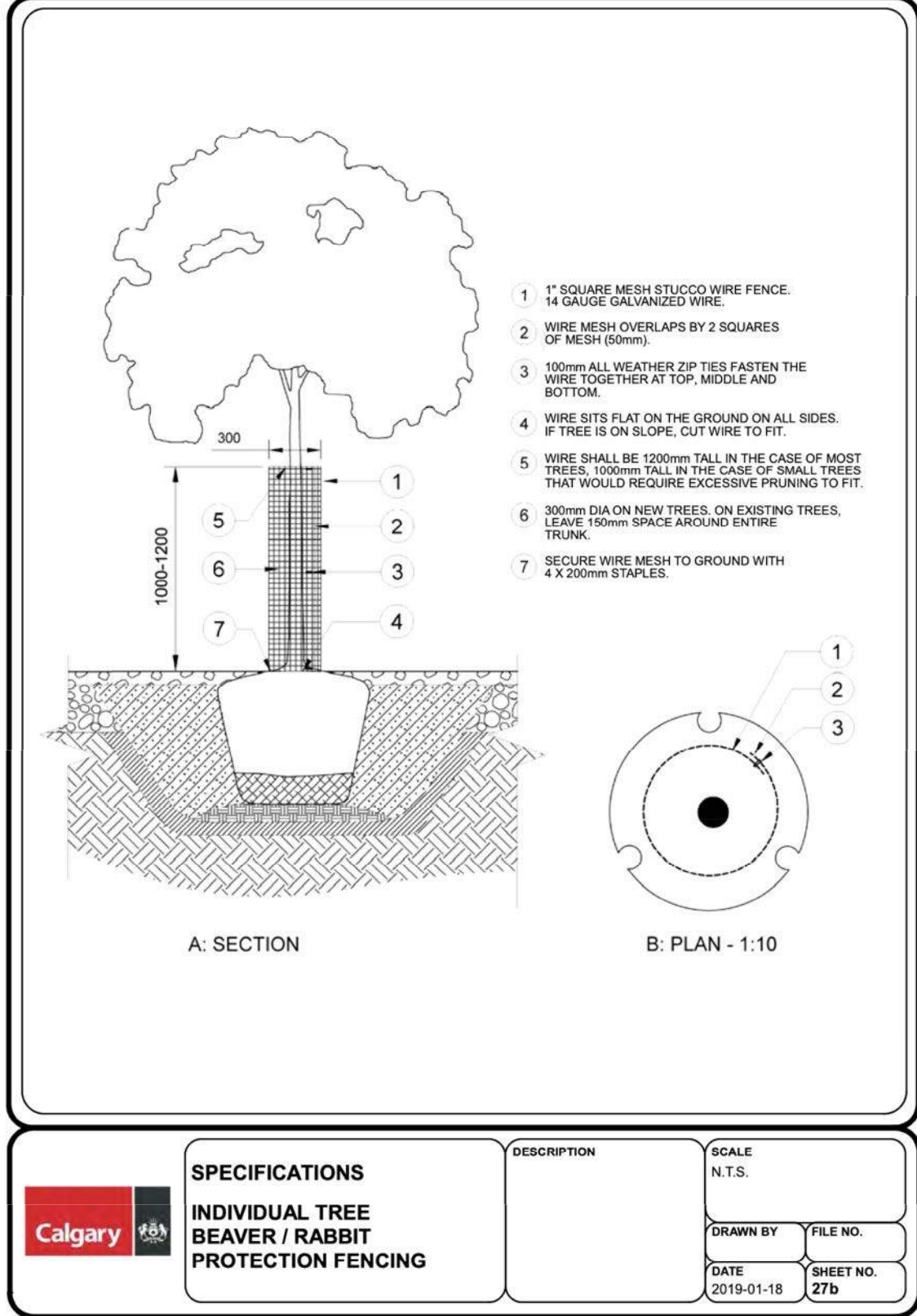


2 City of Calgary Planting Detail
Scale: n.t.s.

General Notes

1. ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CALGARY DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS, CURRENT EDITION AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCd) REQUIREMENTS.
2. THE LANDSCAPE ARCHITECT WILL BE NOTIFIED MIN. 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
3. CONTRACTOR TO COMPLY WITH ALL APPLICABLE MINISTRY OF ENVIRONMENT AND DEPARTMENT OF FISHERIES + OCEANS CANADA REQUIREMENTS AT ALL TIMES DURING CONSTRUCTION.
4. CONTRACTOR TO CONFIRM LOCATION OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. ENSURE ALL UTILITY INSTALLATIONS HAVE BEEN COMPLETED PRIOR TO PLANTING. CONTACT ALBERTA 1-CALL (1-800-242-3447).
5. CONTRACTOR TO CONFIRM ELEVATION, LOCATION, AND GRADIENT OF SURROUNDING GRADES AND PROVIDE A SMOOTH TRANSITION.
6. CONTRACTOR MUST BE COMPLIANT WITH ALL ALBERTA OCCUPATIONAL HEALTH AND SAFETY (OHS) REGULATIONS.
7. CONTRACTOR TO ABIDE BY SITE REGULATIONS AS NOTED IN CONTRACT DOCUMENTS AND CONSULTANT DRAWINGS.
8. ANY AND ALL WORK SHALL BE MAINTAINED WITHIN THE LIMIT OF DISTURBANCE. THE CONTRACTOR IS RESPONSIBLE FOR ANY INTRUSION OR DAMAGE TO ADJACENT PROPERTY.
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN JOB SITE AT ALL TIMES AND REMOVING DEBRIS ON A REGULAR BASIS. ALL LOOSE TRASH WILL BE MAINTAINED ON SITE AND/OR CLEANED UP BY THE CONTRACTOR, THIS IS INCIDENTAL TO THE WORK.
10. ALL LANDSCAPE AREAS ARE TO BE SLOPED TO ENSURE POSITIVE DRAINAGE DRAINAGE UNLESS NOTED OTHERWISE.
11. ALL LOCATIONS AND ELEVATIONS OF EXISTING GRADES AND UTILITIES ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION.
12. DATA SOURCES: INFORMATION PROVIDED BY FAAS ARCHITECTURE AND RICHVIEW ENGINEERING.

Detail Sheet 27b: Tree Planting - Protection Fencing



3 City of Calgary Tree Protection Fencing
Scale: n.t.s.

Planting Notes

1. REFER TO PLANT SCHEDULE FOR DETAILED SPECIES INFORMATION.
2. PLANT MATERIAL SHALL MEET ALL REQUIREMENTS OF THE LATEST EDITION OF THE CANADIAN NURSERY TRADES ASSOCIATION GUIDE SPECIFICATIONS FOR NURSERY STOCK UNLESS OTHERWISE SPECIFIED.
3. SUPPLY MINIMUM OF 75mm OF NATURAL COLOUR CEDAR OR FIR BARK MULCH TO ALL PROPOSED TREE AND SHRUB BEDS.
4. TREES AND SHRUBS TO BE GUARANTEED FOR 2 GROWING SEASONS BY CONTRACTOR.
5. ALL REPLACEMENTS TO BE AT CONTRACTOR'S EXPENSE. SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT.

Irrigation Notes

1. ALL LANDSCAPE AREAS INCLUDING TREES, SHRUBS, GRASSES WILL REQUIRE HAND WATERING VIA WATER TRUCK FOR A MINIMUM OF ONE FULL GROWING SEASON OR UNTILL PLANT MATERIAL IS FULLY ESTABLISHED.

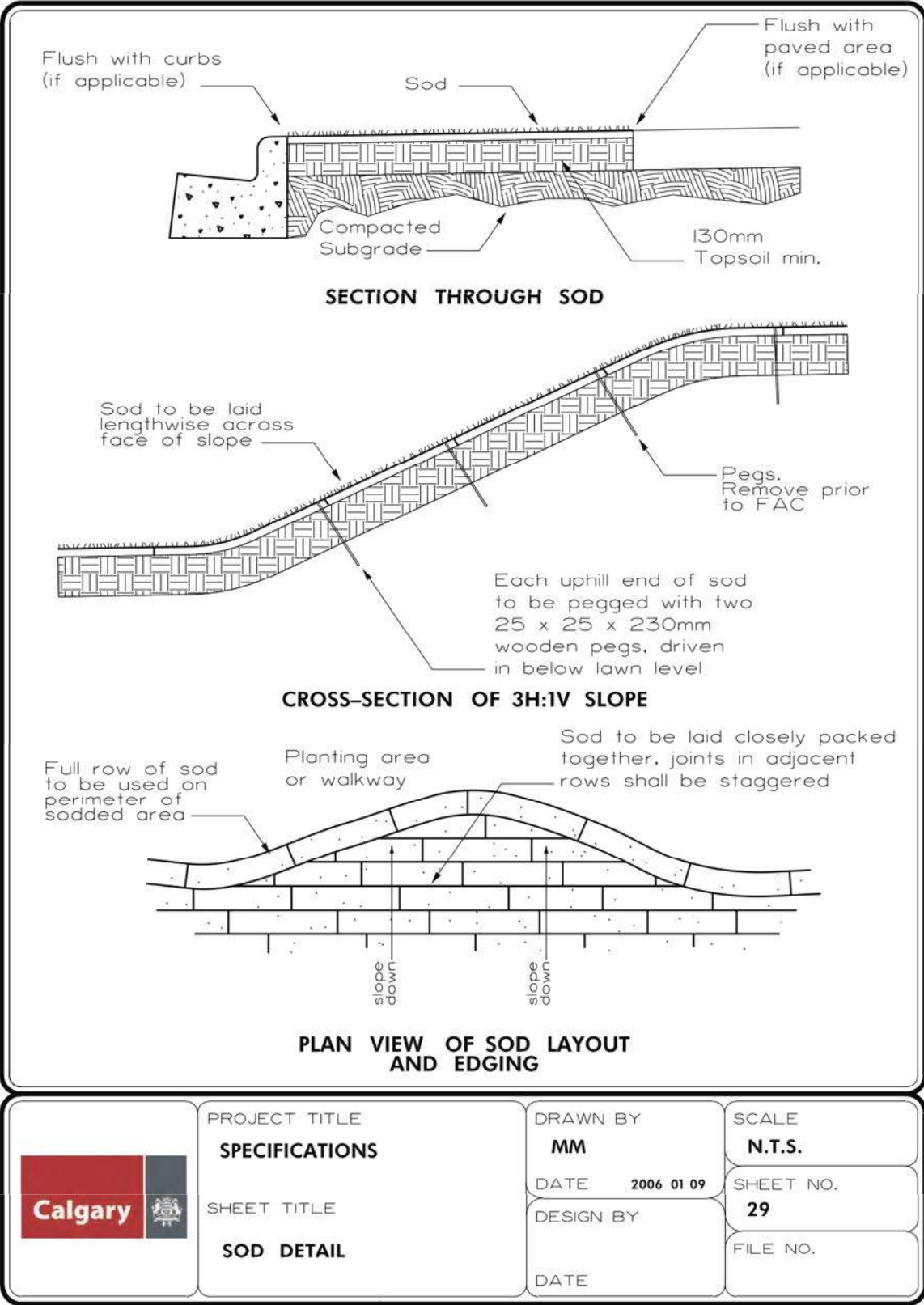
Grading Notes

1. REFER TO DSSP PLANS FOR GRADING INFORMATION.

Topsoil Notes

1. GROWING MEDIUM FOR ALL TREE AND SHRUB BEDS IS TO MEET THE LATEST EDITION OF THE CANADIAN LANDSCAPE SPECIFICATION UNDER THE DESIGNATION 2P.
2. GROWING MEDIUM SHOULD BE CERTIFIED TO ITS ORIGIN AND VIRTUALLY FREE OF INVASIVE PLANT SEEDS, THEIR REPRODUCTIVE PARTS AND ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEIOUS MATERIALS THAT DETRACT FROM DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

Detail Sheet 29: Sod



4 City of Calgary Sod Detail
Scale: n.t.s.

General Notes

1. This drawing, including all concepts and design ideas are property of Arquiecos Group Ltd. This drawings can only be reproduced with written authorization of Arquiecos Group, the Project Owner or the Owner's Representative.
2. These drawings must not be used for construction purposes unless specifically issued as such.
3. This drawings have been drawn to scale as indicated in the titleblock and viewpoints. Do not scale drawings. Due to printing and reproduction scale may vary slightly. Written dimensions rule over scaled dimensions. Contractors to verify all dimensions, datum, elevations and grading on site prior to commencing work. Report any discrepancies immediately.
4. Any variations and design changes to the information shown on these drawings must not be carried out without written authorization from Arquiecos Grup Ltd. the Project Owner or the Owner's Representative
5. Any references made to the location of all existing and proposed utilities, including URW must be verified on site prior to commencing work. Report any and all conflicts identified immediately.
6. Contractor must adhere to municipal, provincial and federal regulations, guidelines and by-laws including but not limited to the most recent versions of the Canadian Standards for Nursery Stock as well as municipal Landscape and Roads Construction Standards. Any discrepancies between municipal standards and details presented in these drawings must be reported immediately. Municipal Construction standards rule over these drawings.

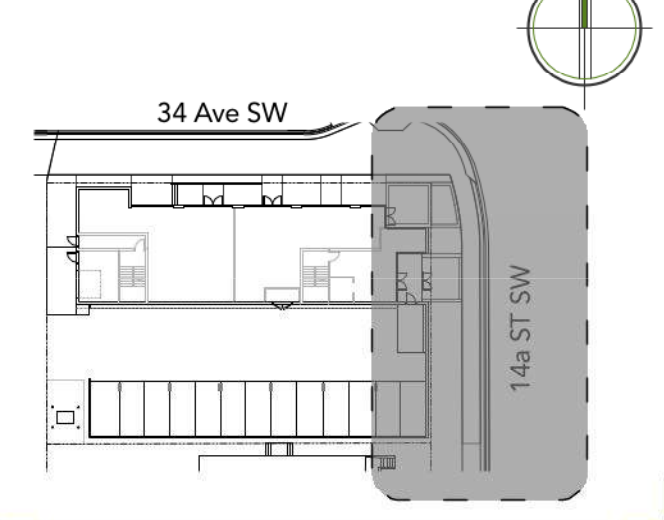
Irrigation Notes

1. All landscape areas shall be watered by a low water use automatic underground irrigation system as per municipal standards.
2. Water delivery to be limited to trees and shrub beds. Spray heads only within areas with sod.
3. Contractor is responsible for coordination with other trades and subconsultants regarding the specifics of the system, including location of power and water sources. Ensure power and water meters are properly installed and operating prior to utilization of the system.

Plant Material

1. All plant material to be sourced from Alberta nurseries and be capable of growth in the Calgary Region (Chinook hardy) as per municipal bylaws.

Key Plan



4	development permit DR	26.01.09
3	review and coordination	25.12.09
2	development permit	25.08.05
1	review and coordination	25.06.25
Issued for:		Date: .yy.mm.dd

Project No. 49-001

Project Title.

Marda Loop
Mixed Use

Calgary, A.B.

Drawing Title:

Line Assignment

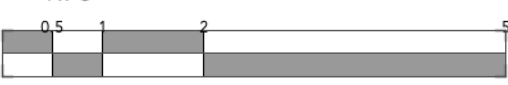
Drawn by:

cmp

Checked by:

cmp

Scale: 1:75



Drawing No.

L-4

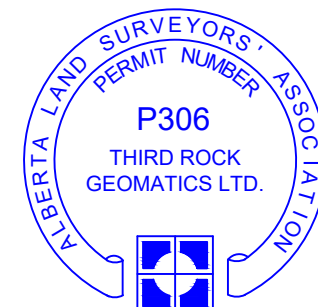
SITE PLAN SHOWING EXISTING FEATURES

Description of Property

Civic Address: 1537 and 1539 34 Avenue SW, Calgary, Alberta
Legal Address: Lots 1, 2, and 3 inclusive,
Block B, Plan 2259N

Date of Survey: March 27, 2025

Mark A. Sutter
Mark A. Sutter, A.L.S., P. Surv. (Copyright reserved)
Dated at the City of Calgary, Alberta, April 1, 2025



Area Table (m²)

	Parcel	House	Garage	Building	Coverage
1537 34 Avenue NW	493.7	163.2			33.1 %
1539 34 Avenue NW	493.6	159.5			32.3 %
3507 14A Street NW	615.5	226.9			36.9 %

Tree Table (m)

	Trunk Ø	Drip Ø	Height	Species
T1	0.30	4.0	9	Deciduous

Notes

Distances are in metres and decimals thereof.
Bearings are assumed from plan 2259N.

All ties are perpendicular to property line.
Side yard and setback distances are measured to concrete walls.

Title Boundary shown thus: ————

Wood Fence shown thus: ————

OH Powerline & Telephone: ————

Sewer: ————

Elevations are geodetic, derived from GNSS Observations

Roof Peak - RP

Main Floor - MF

Utility Pole - ○ PP

Light Standard - ○ LS

Elevation Point - ●

All buried utility information shown or omitted is subject to verification.

Buried utilities drawn from City of Calgary Block Profiles.

Disclaimer

This Drawing, prepared by Third Rock Geomatics Ltd., and all information contained herein is provided for the purpose of a Development Permit Application for:

1537 and 1539 34 Avenue SW, Calgary, Alberta, Lots 1, 2, and 3, Block B, Plan 2259N

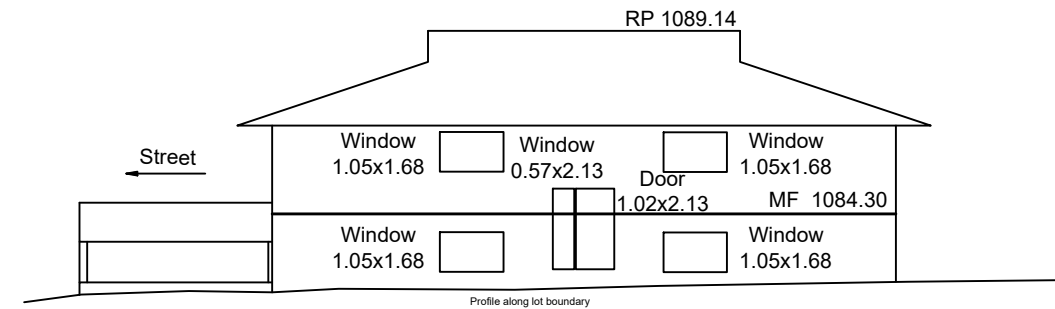
The information contained in the drawing is the property of Third Rock Geomatics Ltd. and any reproduction is prohibited without written consent. Errors or omissions must be reported to Third Rock Geomatics Ltd. immediately upon identification. This survey is not authorized for use in establishing boundaries. Third Rock Geomatics Ltd. takes no responsibility for any unauthorized use of its products.



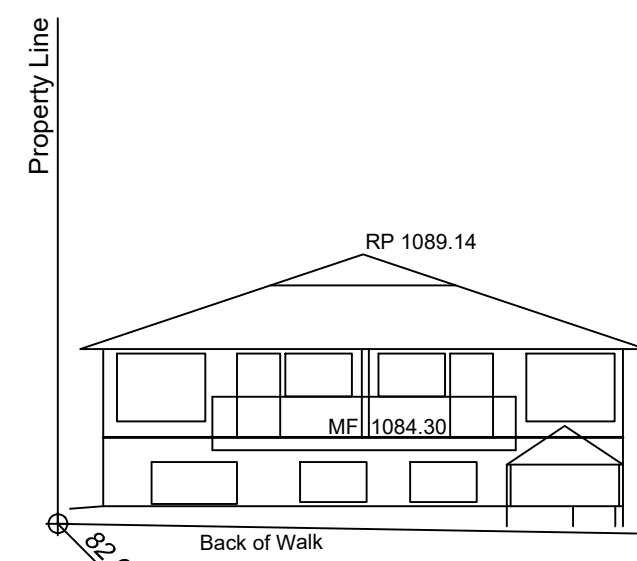
UtilitySafety.ca 1-800-242-3447

This plan represents information as of the date of survey.
Third Rock Geomatics Ltd. and their employees take no responsibility for the location of any underground facilities whether shown on or omitted from this plan. All underground facilities should be located by the respective authorities prior to construction.

File: 25-0137 2259N.B; — Drawing Name: 25-0137.dwg | Plot Date: 2025-04-01 06:32 PM



3507 14A Street NW
Looking South

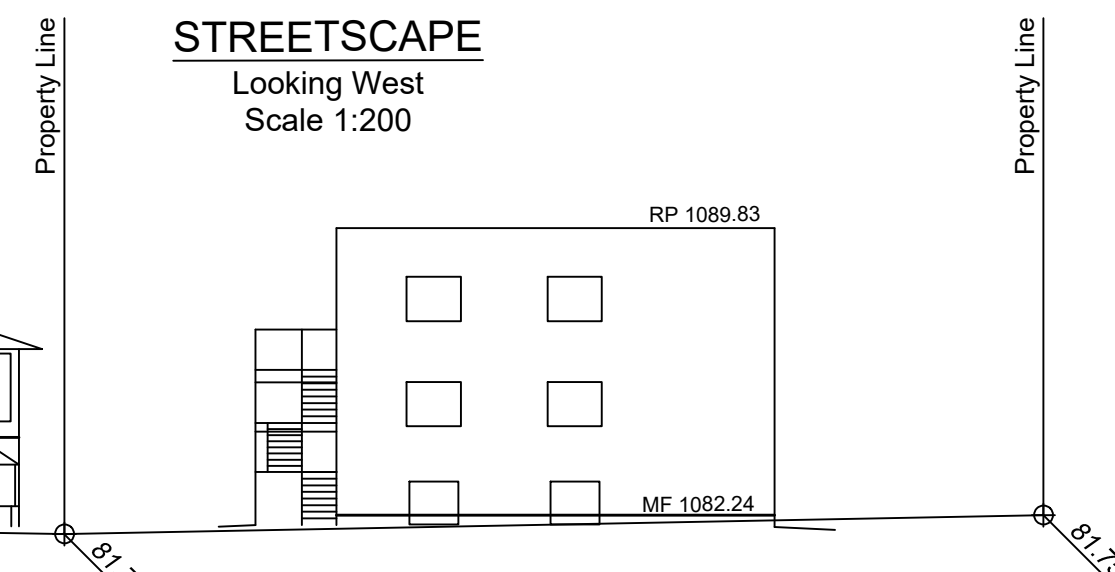


3507 14A Street NW
Looking West



STREETSCAPE

Looking West
Scale 1:200

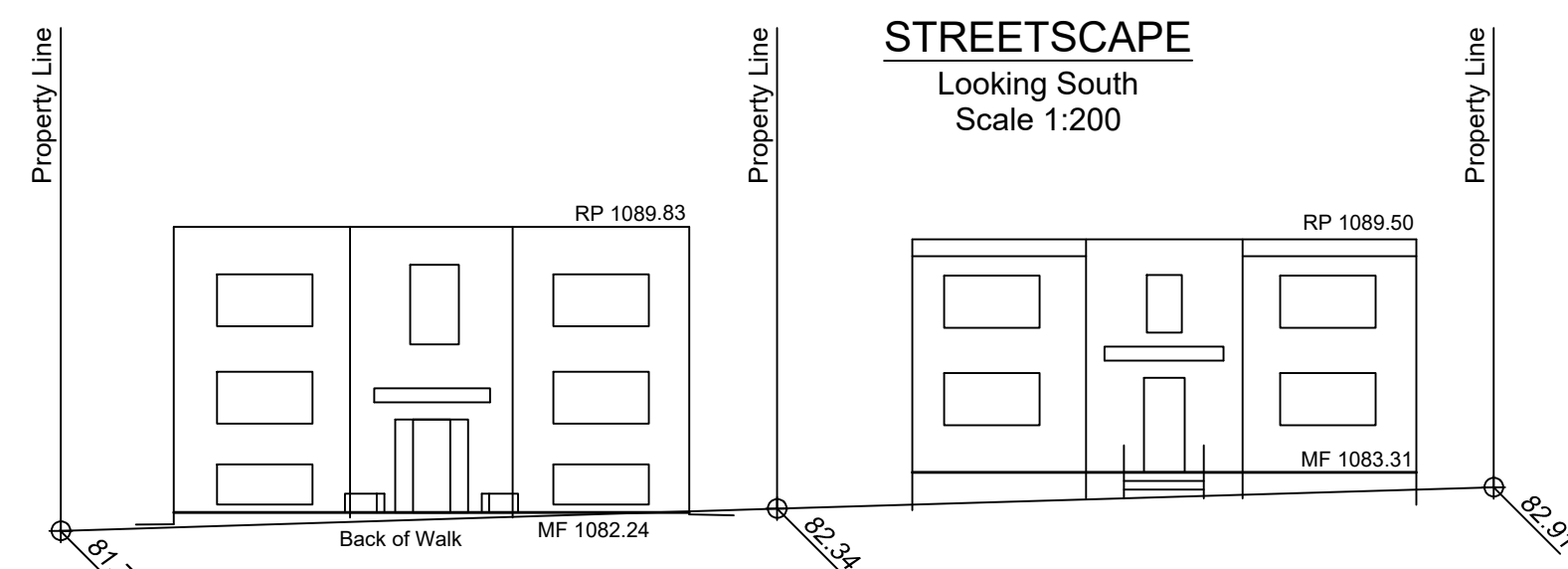


1537 34 Avenue NW
Looking West



STREETSCAPE

Looking South
Scale 1:200



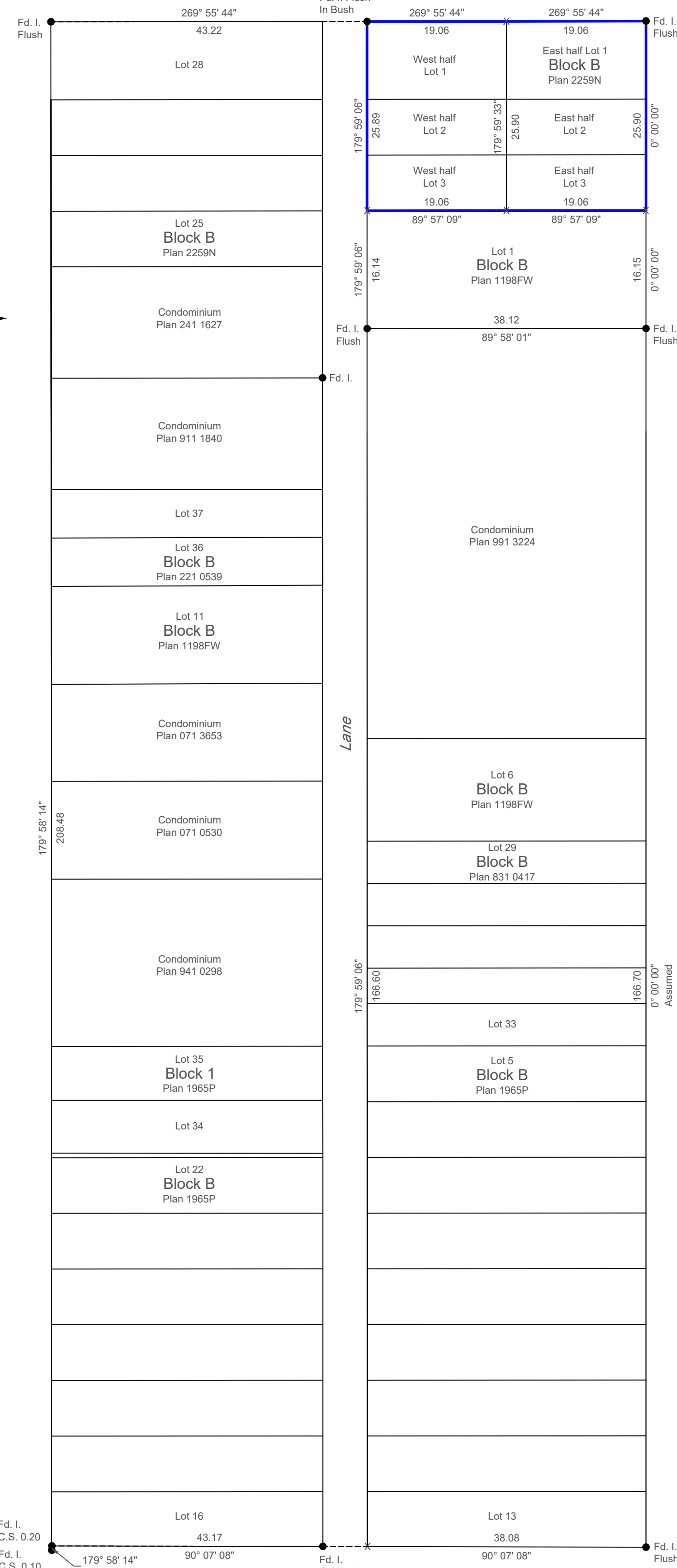
1537 34 Avenue NW
Looking South



1539 34 Avenue NW
Looking South



34 Avenue SW



DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORKS.

NO.	ISSUED	DATE
1.	ISSUED FOR DP	2025-06-27
2.	ISSUED FOR DP REVISION	2025-07-16
3.	ISSUED FOR DP REVISION	2025-07-23
4.	ISSUED FOR DP REVISION	2025-07-29



01 SITE LIGHTING - NORTH ELEVATION
E201 SCALE: 1:100



02 SITE LIGHTING - EAST ELEVATION
E201 SCALE: 1:100



03 SITE LIGHTING - SOUTH ELEVATION
E201 SCALE: 1:100



04 SITE LIGHTING - WEST ELEVATION
E201 SCALE: 1:100

STAMP & SEAL

CLIENT

PROJECT

MARDA LOOP
MIXED-USE 34TH
AVENUE

1537, 1539 34TH AVE SW, CALGARY, AB

TITLE

SITE LIGHTING -
ELEVATIONS

PROJECT NUMBER

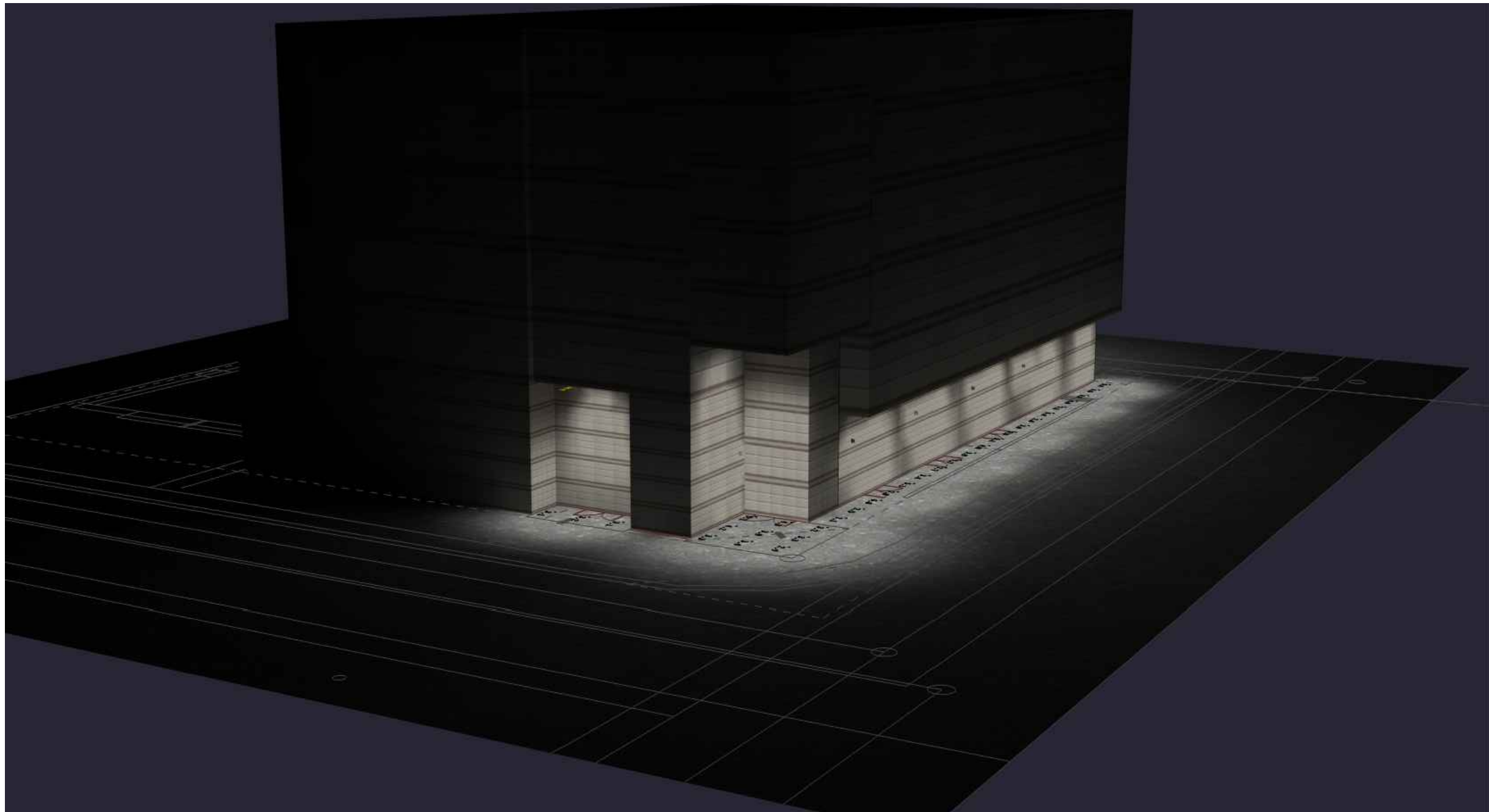
25199

DRAWN/CHECKED

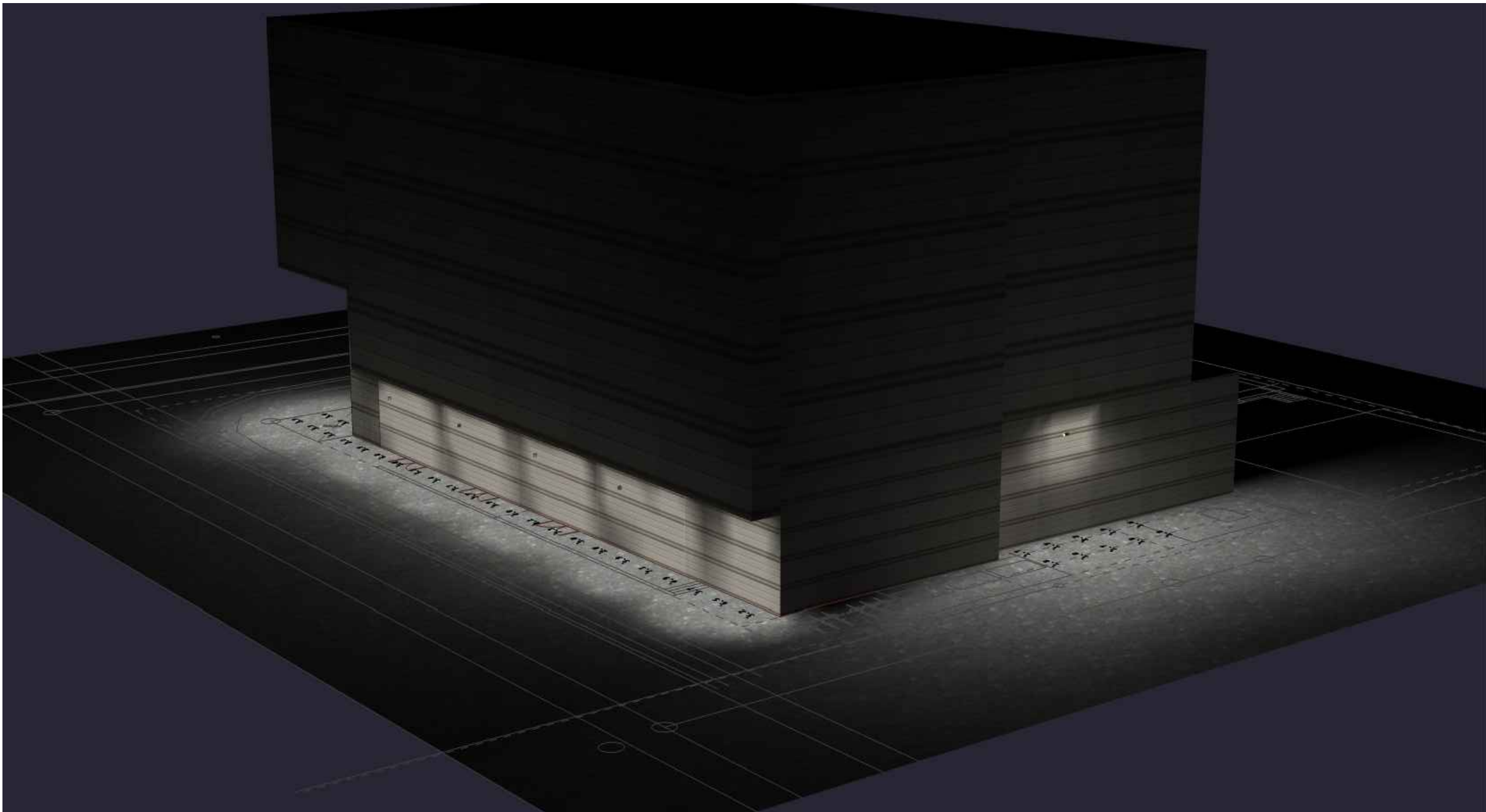
EL/HA

DRAWING NUMBER

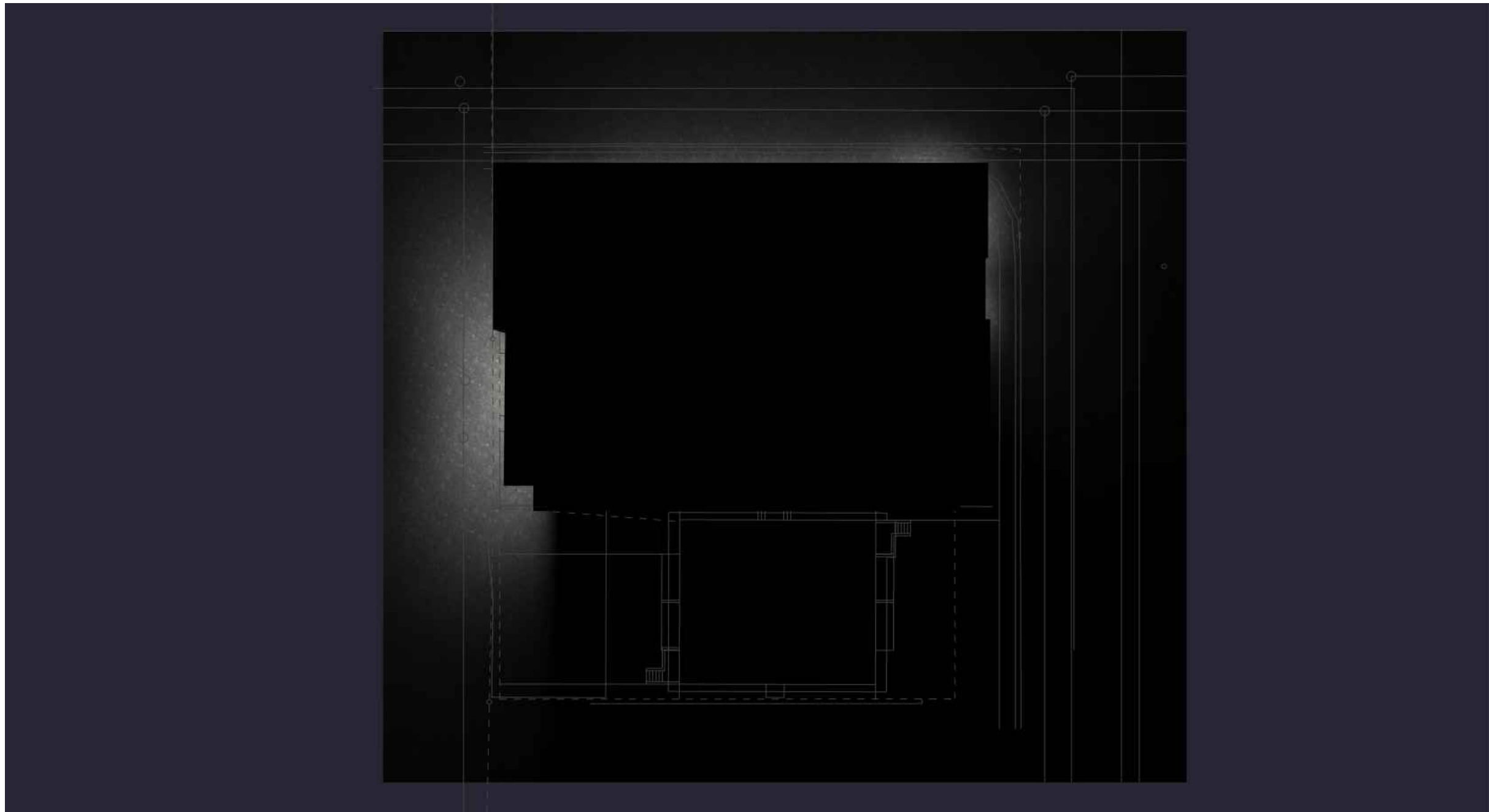
E201



01
E301 SITE RENDERING
SCALE: N/A



02
E301 SITE RENDERING
SCALE: N/A



03
E301 SITE RENDERING
SCALE: N/A

LUMINAIRE SCHEDULE							
TAGS	DESCRIPTION	IMAGE	MOUNTING	LOAD/VOLT	LAMP	COLOR TEMP	MANUFACTURER
S1	4" RECESSED DOWNLIGHT		RECESSED	11W/120VAC	1000LM LED	3000K	LITHONIA LIGHTING LDN4-30/10-L04AR-LSS.
S2	WALL LIGHT		WALL SEE ELEVATIONS	32W/120VAC	3000LM LED	3000K	LITHONIA LIGHTING WDGE2-LED-P3-30K-80CRI-T3M.
S3	WALL SCNCE		WALL SEE ELEVATIONS	9.5W/120VAC	1051LM LED	3000K	EUREKA LIGHTING SCOUT 3048-10-LED-30-80-120V-DV-ME-FRO-CHM. CONFIRM FINISH WITH ARCHITECT.
NOTE 1: CONTRACTOR TO PROVIDE LIGHTING FIXTURE PACKAGE PRICE WITH EACH INDIVIDUAL FIXTURE PRICE AS PART OF TENDER SUBMISSION.							
NOTE 2: CONFIRM LIGHTING SPECIFICATION WITH INTERIOR DESIGNER AND OWNER PRIOR TO ORDER.							
NOTE 3: CONTRACTOR TO PROVIDE COMPATIBLE DIMMER SWITCH BASED ON LIGHT FIXTURE SELECTION AND FROM THE LISTED DIMMER SWITCHES ON FIXTURE SHOP DRAWINGS.							



121 15th AVENUE SE, CALGARY, AB, T2G 1G1
403-460-2277 | info@embeconsulting.ca

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORKS.

NO.	ISSUED	DATE
1.	ISSUED FOR DP	2025-06-27
2.	ISSUED FOR DP REVISION	2025-07-16
3.	ISSUED FOR DP REVISION	2025-07-23
4.	ISSUED FOR DP REVISION	2025-07-29

STAMP & SEAL

CLIENT

PROJECT

MARDA LOOP
MIXED-USE 34TH
AVENUE
1537, 1539 34TH AVE SW, CALGARY, AB

TITLE

SITE LIGHTING -
RENDERINGS &
SCHEDULES

PROJECT NUMBER	DRAWING NUMBER
25199	E301
DRAWN/CHECKED EL/HA	