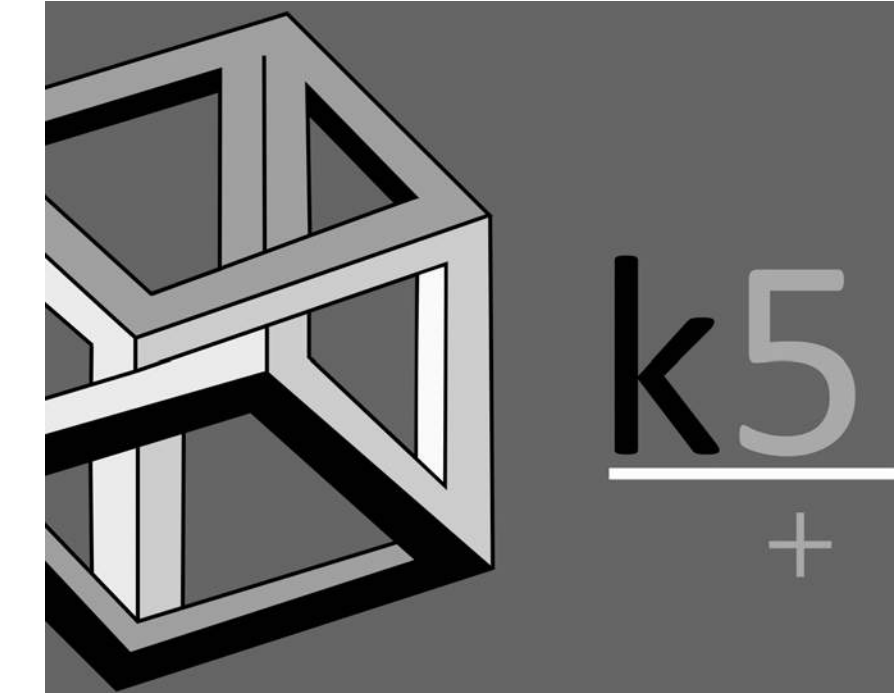


PROJECT NAME AND ADDRESS

BOWNESS 4-PLEX

8024 BOWLAKELANE PL NW
CALGARY, ALBERTA
Lot 5, Block D, Plan 2429HG

DESIGN CONSULTANT



+300 - 901 Centre Street N
Calgary, Alberta. T2E 2P6
587.353.9797
www.k5design.ca

DRAWING LIST (DEVELOPMENT DRAWINGS)

DP1 SITE / BLOCK PLAN / STREETSCAPE DRAWING
DP1A ORIGINAL SURVEY
DP2 LANDSCAPE PLAN
DP3 LOWER / MAIN FLOOR PLAN
DP4 UPPER / PENTHOUSE
DP5 ROOF PLANS
DP6 EAST / WEST ELEVATIONS
DP7 NORTH / SOUTH ELEVATIONS
DP8 SECTIONS / BOULEVARD CROSS-SECTIONS
DP9 PARKING PAD PLANS / REAR LANE CROSS-SECTIONS

DR2

DEVELOPMENT PERMIT DRAWINGS

DP2025-04776

DP2025-04776
BP-
PROJECT #: K25-0117
BOWNESS 4-PLEX
PRINTED DATE: June 19, 2026 - 10:38 AM

SITE PLAN

SCALE = 1:100

DISCLAIMER
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COMMUNITY OF BOWNESS
LAND USE DESIGNATION: M-C1

LEGAL DESCRIPTION: MUNICIPAL ADDRESS: 8024 BOWLAKE PL N.W. Calgary, Alberta

EXISTING STRUCTURES TO BE REMOVED
EXISTING HOUSE TO BE REMOVED = 1,494.56m² (138.85m²)
EXISTING GARAGE TO BE REMOVED = 576.94m² (53.60m²)
FENCE TBD BY OWNER

SITE COVERAGE CALCULATION
TOTAL SITE AREA = 6,054.54m² (562.48m²)
ALLOWABLE COVERAGE @80% = 3,332.72m² (337.49m²)
PROPOSED FOURPLEX COVERAGE @35.48% = 2,148.61m² (199.61m²)
PARKING PAD COVERAGE @10.8% = 657.35m² (61.07m²)
COVERED PORCHES @0.7% = 42.79m² (4.44m²)
ACTUAL COVERAGE @47.13% = 2,853.75m² (265.12m²)
MAXIMUM ALLOWED DENSITY = 148 UNITS/HECTARE
PROPOSED DENSITY (40/1028179ha) = 4 UNITS/HECTARE

FLOOR AREA SCHEDULE (4 UNIT COMPLEX)

UNIT	NAME	AREA	TOTAL
A	BASEMENT DEVELOPED	=567.57m ² (51.80m ²)	1979.69m ² (183.92m ²)
	MAIN FLOOR	=537.65m ² (49.95m ²)	
	UPPER FLOOR	=567.57m ² (51.80m ²)	
B	BASEMENT DEVELOPED	=547.45m ² (50.86m ²)	1977.86m ² (183.75m ²)
	MAIN FLOOR	=535.50m ² (49.74m ²)	
	UPPER FLOOR	=548.92m ² (50.99m ²)	
C	BASEMENT DEVELOPED	=571.34m ² (53.08m ²)	2033.94m ² (188.96m ²)
	MAIN FLOOR	=537.65m ² (49.95m ²)	
	UPPER FLOOR	=567.57m ² (51.80m ²)	
D	BASEMENT DEVELOPED	=549.92m ² (51.09m ²)	1986.37m ² (184.54m ²)
	MAIN FLOOR	=537.65m ² (49.95m ²)	
	UPPER FLOOR	=549.92m ² (51.09m ²)	

TOTAL FLOOR AREA COMBINED
BASEMENT DEVELOPED = 206.83m² (2,226.20m²)
MAIN FLOOR = 199.61m² (2,148.58m²)
UPPER FLOOR = 205.03m² (2,206.92m²)
PENTHOUSE = 128.70m² (1,385.31m²)
BELOW GRADE ABOVE GRADE = 206.83m² (2,226.20m²)
TOTAL AREA = 7,977.88m² (741.17m²)

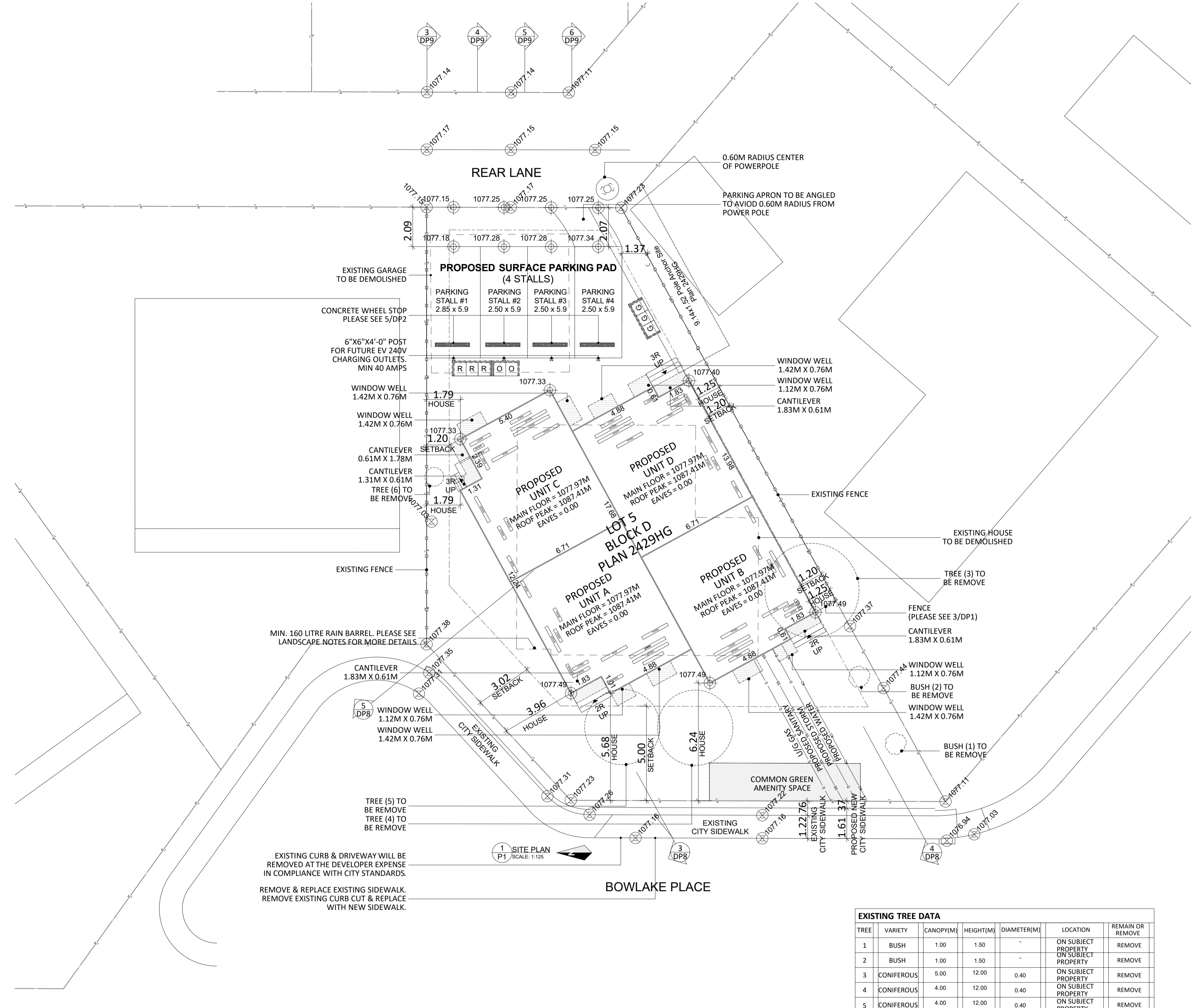
LEGEND

EXISTING GRADE	MAIN FLOOR WINDOW
PROPOSED GRADE	MAIN FLOOR DOOR
GAS LINE	UPPER FLOOR WINDOW
ELECTRICAL LINE	UPPER FLOOR DOOR
FENCE	LOWER FLOOR WINDOW
OH POWER POLE	PENTHOUSE WINDOW
WATER LINE	PENTHOUSE DOOR
DRAINAGE	OVERHEAD DOOR
SANITARY	2ND FLOOR CANTILEVER
STORM	WINDOW WELL
TO BE REMOVED	LANDSCAPE RETAINING WALL
TO BE RETAINED	
PROPOSED TREE	
POWER POLE	
LIGHT STANDARD	

ELEVATIONS ARE SHOWN THUS: 1.3 = 1100.95 METRES (GEODETIC)

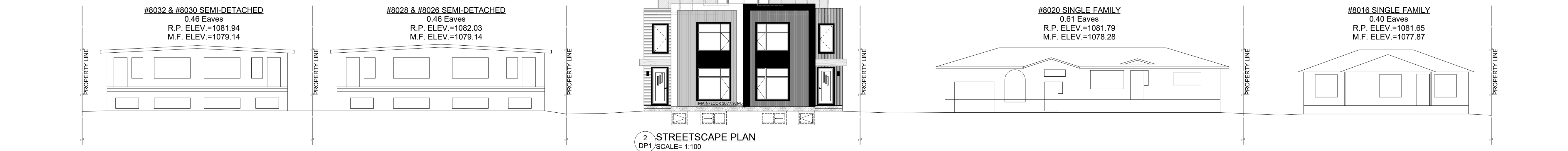
FENCE STYLE
FENCE SECTIONS DEMONSTRATE REQUIRED GRADE CHANGES (IN ORDER TO FACILITATE MIN. 2% SLOPE TO STREET/LANE) WILL NOT DISTURB NEIGHBOURING PARCELS

OPTIONAL POST CAPS AS PER BUILDERS SPEC
2x4 WOOD POSTS
2x4 WOOD TOP PLATE
2x4 WOOD FRAME (BOTH SIDES)
ALTERNATING 1x4 & 1x6 WOOD FENCE BOARDS
MIN. 18" TO MAX. 18" SPACES BETWEEN
2x4 WOOD BOTTOM PLATE
STAKED P.T. 2x4s ON HIGH SIDE OF POSTS
TAPERING
GRADE AS NOTED (MAX. 30" HIGH, SEE SITE GRADES)
12" DIA. CONCRETE PILE
MIN. 48" BELOW GRADE



SUBJECT SITE
LEGAL DESCRIPTION:
LOT 5, BLOCK D, PLAN 2429HG

MUNICIPAL ADDRESS:
8024 BOWLAKE PLACE N.W.
CALGARY, ALBERTA



EXISTING TREE DATA

TREE	VARIETY	CANOPY(M)	HEIGHT(M)	DIAMETER(M)	LOCATION	REMAIN OR REMOVE
1	BUSH	1.00	1.50	-	ON SUBJECT PROPERTY	REMOVE
2	BUSH	1.00	1.50	-	ON SUBJECT PROPERTY	REMOVE
3	CONIFEROUS	5.00	12.00	0.40	ON SUBJECT PROPERTY	REMOVE
4	CONIFEROUS	4.00	12.00	0.40	ON SUBJECT PROPERTY	REMOVE
5	CONIFEROUS	4.00	12.00	0.40	ON SUBJECT PROPERTY	REMOVE
6	CONIFEROUS	0.50	2.00	0.05	ON SUBJECT PROPERTY	REMOVE

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DEVELOPMENT PERMIT SET

ISSUED FOR:	DATE: (D/M/Y)
DR1	22/09/2025

REVISION:	DATE: (D/M/Y)
1. DR1 (SUBMITTED)	
2.	
3.	
4.	

ENGINEER CONSULTANT

ENERGY CONSULTANT

SURVEYOR

CLIENT:

PROJECT NAME & ADDRESS:
BOWNESS 4-PLEX
8024 BOWLAKE PL N.W.
CALGARY, ALBERTA

DRAWING TITLE:
SITE PLAN / BLOCK PLAN / STREETSCAPE PLAN

PROJECT #: K25-0117

DATE: 2026-06-19

SCALE: AS SHOWN





DRAWN BY: SL

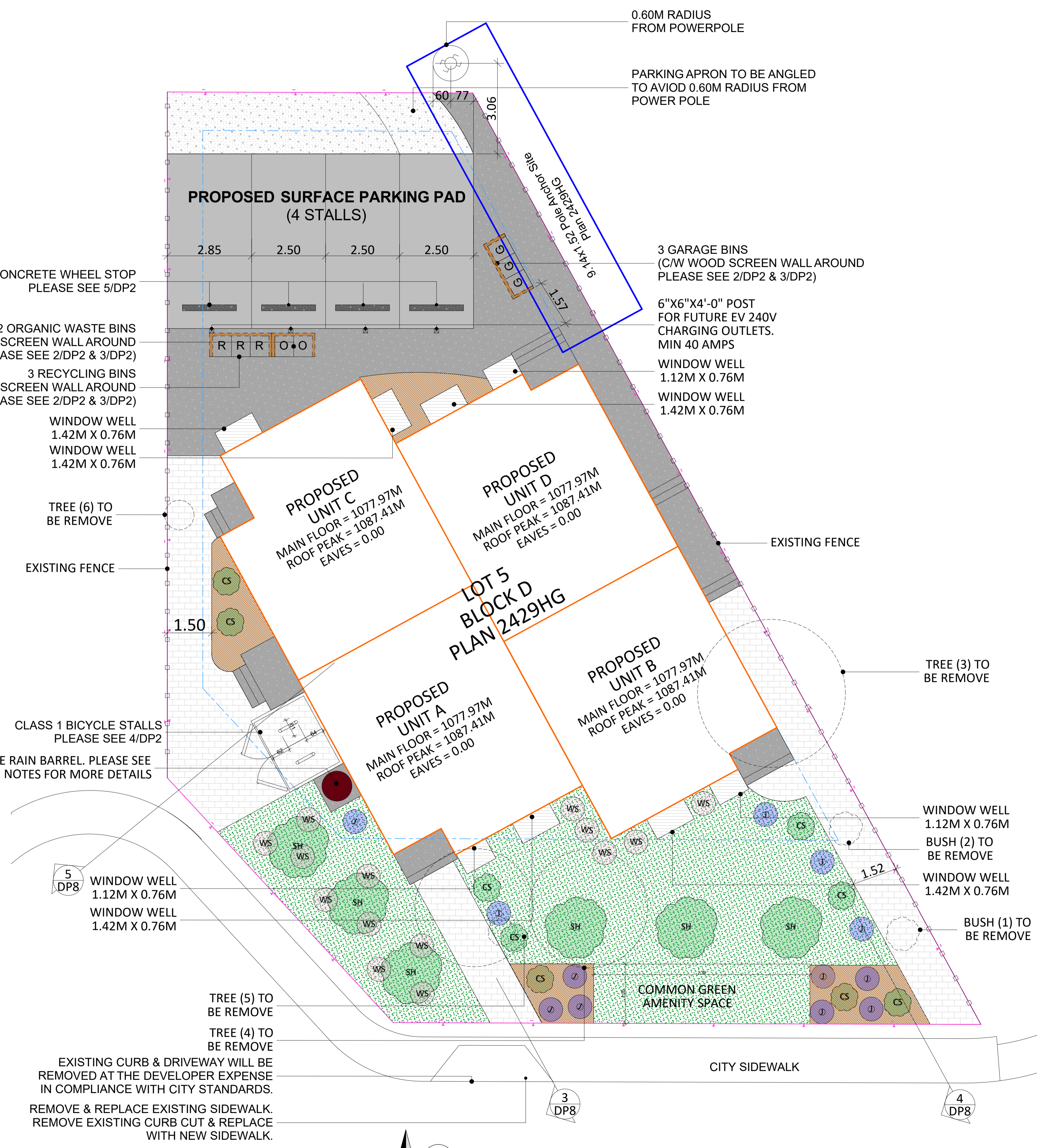
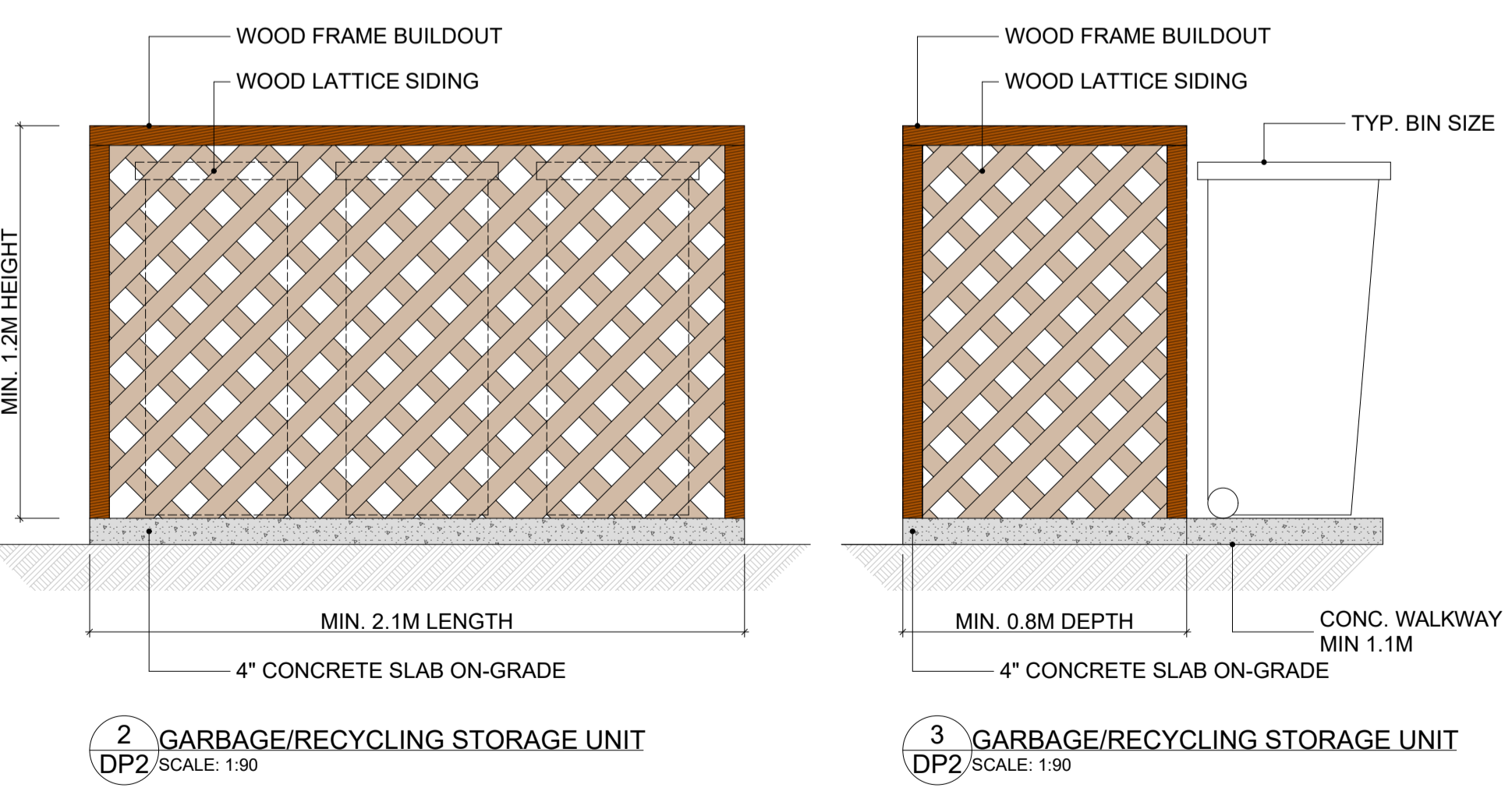
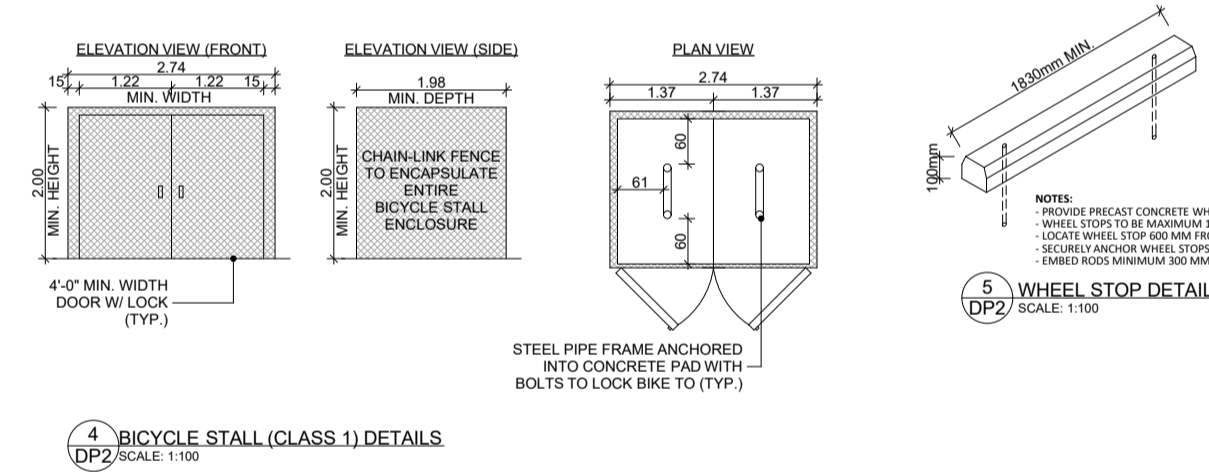
DRAWING #:

DP1

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T2E 2P6
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PLEASE RECYCLE THIS PLAN UPON COMPLETION OF THE PROPOSED PROJECT.

LANDSCAPING LEGEND					
NEW PROPOSED TREE LEGEND				PROPOSED SURFACE LANDSCAPE LEGEND	
TYPE	TREE SPECIES	DETAILS	QUANTITY	LANDSCAPE MATERIAL	AREA (APPR.)
SH	DECIDUOUS - SNOWBIRD HAWTHORN	SH 75MM CALIPER (MIN.)	5	GRASS (KENTUCKY BLUEGRASS OR TYP.)	112.33m ²
CS	CONIFEROUS - COLUMNAR COLORADO SPRUCE	CS 75MM CALIPER 3.0M HEIGHT (MIN.)	8	CONCRETE (TYP.)	73.76m ²
NEW PROPOSED SHRUB LEGEND				PAVERS	66.25m ²
TYPE	TREE SPECIES	DETAILS	QUANTITY	MULCH	21.10m ²
J	JUNIPER SPP (COMMON JUNIPER)	J 0.6M HT MIN.	11	GENERAL LANDSCAPE NOTES	
WS	SYMPHORICARPOS OCCIDENTALIS (WESTERN SNOWBERRY)	WS 0.6M HT MIN.	14	1) ALL MATERIALS AND EXECUTION OF LANDSCAPE WORKS SHALL CONFIRM TO THE CLS/BCNTA LANDSCAPE STANDARD.	
 COLUMNAR COLORADO SPRUCE (TYP.)  SNOWBIRD HAWTHORN (TYP.)  COMMON JUNIPER (TYP.)  WESTERN SNOWBERRY (TYP.)				2) NOT FOR CONSTRUCT UNLESS NOTED "ISSUED FOR CONSTRUCTION".	
LANDSCAPE LOT COVERAGE CALCULATIONS TOTAL SITE AREA = 562.49m ² REQ'D LANDSCAPE AREA @40.00% = 224.99m ² PROPOSED LANDSCAPE AREA @48.6% = 273.44m ² GRASS = 112.33m ² MULCH = 21.10m ² SOFT LANDSCAPE AREA = 133.43m ² CONCRETE (PARKING PAD & DRIVE WAY NOT INC.) = 140.01m ² HARD LANDSCAPE AREA = 140.01m ² TOTAL LANDSCAPED AREA = 273.44m² PROPOSED BUILDINGS = 199.78m ² WINDOW WELLS = 7.95m ² PARKING GARAGE & DRIVE WAY = 81.32m ² TOTAL NON-LANDSCAPE AREA = 289.05m²				3) ALL LANDSCAPE WORKS TO BE PERFORMED UNDER THIS CONTRACT TO MEET THE APPLICABLE PROVISIONS AND RECOMMENDATIONS SET BORTH IN THE MASTER MUNICIPAL SPECIFICATIONS AND STANDARDS DETAILS/CANADIAN LANDSCAPE STANDARDS AND RESPECT ALL LOCAL BYLAWS.	
4) THE CURRENT STANDARDS AND CODES REFERENCED IN THESE NOTES AND ON THE DRAWING SET SHALL APPLY. 5) THE CONTRACTOR SHALL MAKE A FULL REVIEW OF ALL EXISTING CONDITIONS OF THE SITE AND SHALL REPORT ANY DISCREPANCIES TO k5 designs ltd. PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ACTUAL CONDITIONS AS THEY EXISTS ON SITE. 6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING SITE TO DETERMINE THE EXTENT OF DEMOLITION, PREPARATION, AND REMOVALS OF ALL NECESSARY THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL REPORT IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING AND PROPOSED DESIGN TO k5 designs ltd. PRIOR TO PROCEEDING WITH CONSTRUCTION. FAILURE TO INSPECT, NOTICE, OR REPORT ANY DISCREPANCIES PRIOR TO CONSTRUCTION SHALL NOT RELIEVE THE CONTRACTOR FROM THEIR OBLIGATIONS TO PERFORM THE NECESSARY OPERATION FOR THE SUCCESSFUL COMPLETION OF THE PROPOSED IMPROVEMENTS WITHOUT ANY CHANGES OF FEES. 7) THE CONTRACTOR TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWING SET AND REPORT ANY DISCREPANCIES TO k5 designs ltd. PRIOR TO CONSTRUCTION. 8) CONTRACTOR TO REPAIR ANY DAMAGES RESULTING FROM WORK ON SITE. 9) ALL SOFT LANDSCAPED AREAS TO BE FITTED WITH UNDERGROUND IRRIGATION SYSTEM AS PER BYLAW REQUIREMENTS. GRASS TO BE DROUGHT TOLERANT GRASS SPECIES AS PER LISTED ABOVE OR TYP. 10) PROVIDE A MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM OVERALL. 11) A MINIMUM 160 LITRE RAIN BARREL ON A HARD SURFACE BASE EQUIPPED WITH A BOTTOM SPOUT AND OVERFLOW HOSE ATTACHED TO EACH DOWNSPOUT TO ALLOW RAINWATER HARVESTING FOR LANDSCAPE IRRIGATION.				4) WINDOW WELL 1.42M X 0.76M	



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DEVELOPMENT PERMIT SET

ISSUED FOR:	DATE: (D/M/Y)
DR1	22/09/2025
REVISION:	DATE: (D/M/Y)
1. DR1 (SUBMITTED)	
2.	
3.	
4.	

ENGINEER CONSULTANT

ENERGY CONSULTANT

SURVEYOR

CLIENT:

PROJECT NAME & ADDRESS:
BOWNESS 4-PLEX
8024 BOWLAKE PL N.W.
CALGARY, ALBERTA

DRAWING TITLE:

LANDSCAPE PLAN / COLOUR BOARD

PROJECT #: K25-0117

DATE: 2026-06-19

SCALE: AS SHOWN

DRAWN BY: SL

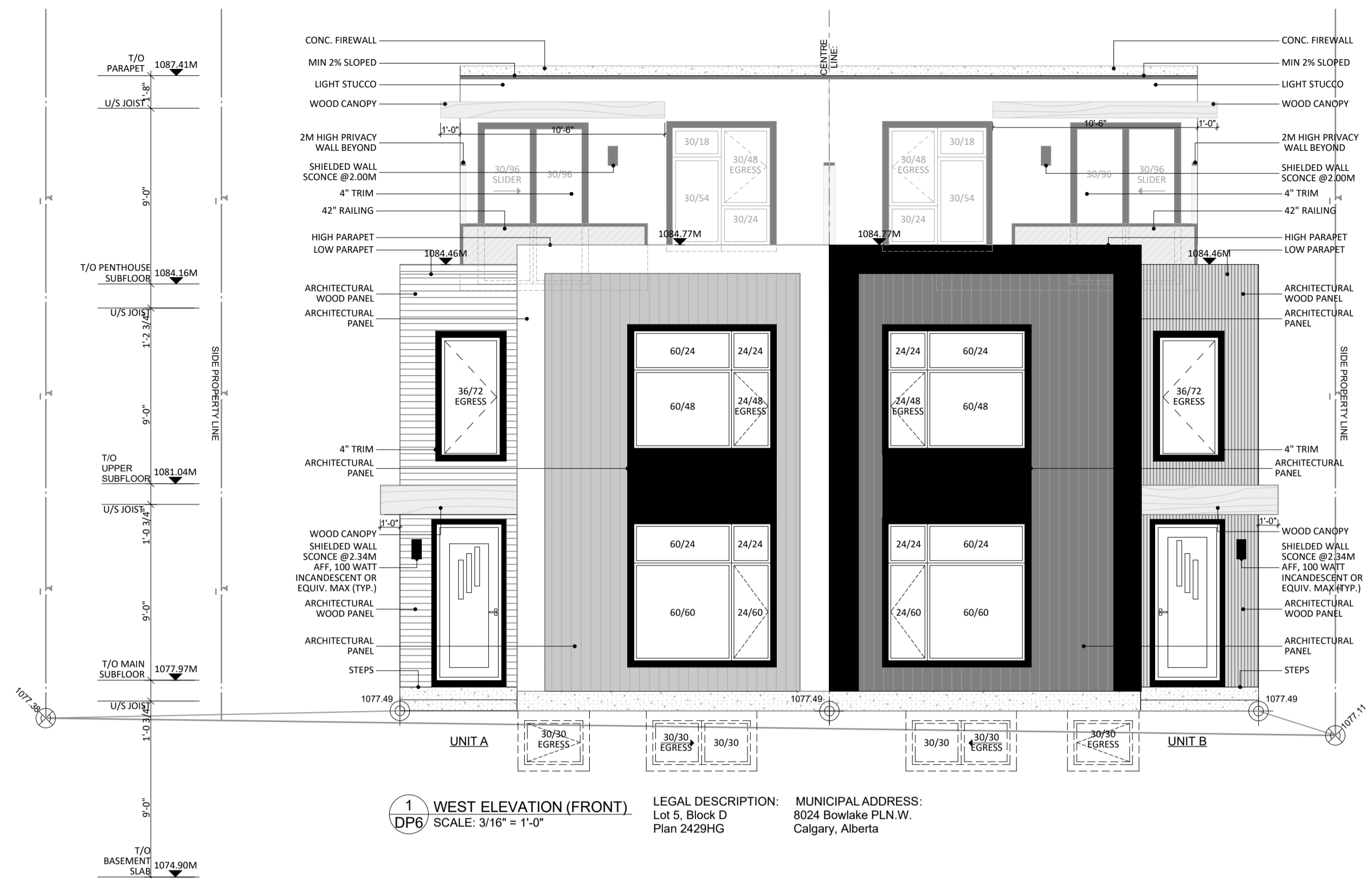
DRAWING #:

DP2



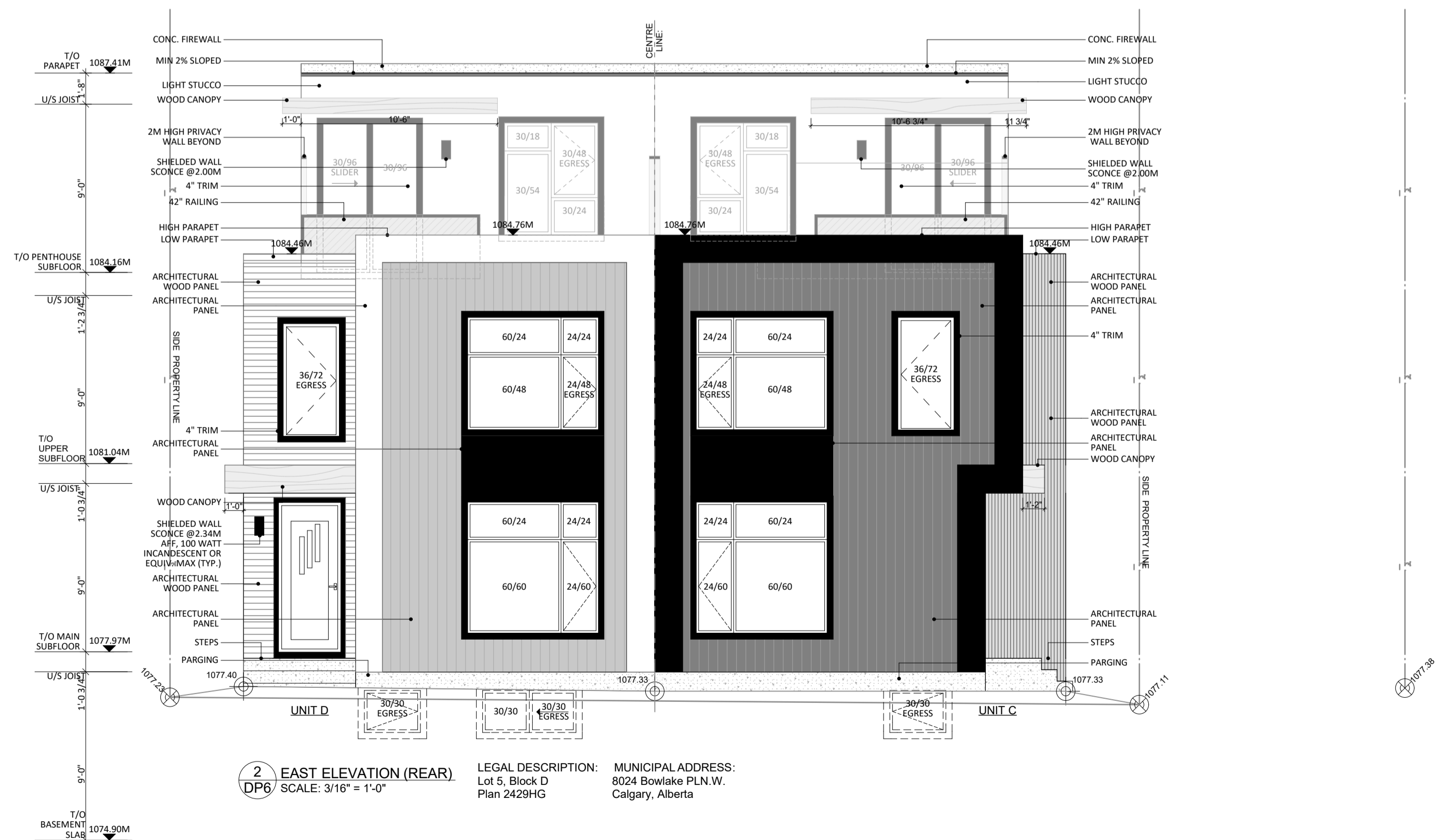
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 Calgary, Alberta.
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 www.k5design.ca

MAX. HEIGHT 12M @ 1089.28M



1 WEST ELEVATION (FRONT)
 DP6 SCALE: 3/16" = 1'-0"
 LEGAL DESCRIPTION: Lot 5, Block D Plan 2429HG
 MUNICIPAL ADDRESS: 8024 Bowlake PLN.W. Calgary, Alberta

MAX. HEIGHT 12M @ 1089.28M



2 EAST ELEVATION (REAR)
 DP6 SCALE: 3/16" = 1'-0"
 LEGAL DESCRIPTION: Lot 5, Block D Plan 2429HG
 MUNICIPAL ADDRESS: 8024 Bowlake PLN.W. Calgary, Alberta

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DR1	22/09/2025
REVISION:	DATE: (D/M/Y)
1. DR1 (SUBMITTED)	
2.	
3.	
4.	

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ENERGY CONSULTANT

SURVEYOR

CLIENT:

PROJECT NAME & ADDRESS:
BOWNESS 4-PLEX
8024 BOWLAKE PL N.W.
CALGARY, ALBERTA

DRAWING TITLE:

WEST / EAST (FRONT/REAR)

PROJECT #: K25-0117


DATE: 2026-06-19

SCALE: AS SHOWN

DRAWN BY: SL

DRAWING #:

DP6



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SURVEYOR

CLIENT:

PROJECT NAME & ADDRESS:
BOWNESS 4-PLEX
8024 BOWLAKE PL N.W.
CALGARY, ALBERTA

DRAWING TITLE:

NORTH/SOUTH ELEVATIONS (LEFT/RIGHT)

PROJECT #: K25-0117

DATE: 2026-06-19

SCALE: AS SHOWN

DRAWN BY: SL

DRAWING #:

DP7



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