

SITE LOCATION - VICINITY PLAN

BYLAW SCHEDULE

MUNICIPAL ADDRESS:
3300 87th AVENUE S.E., CALGARY, AB (PHASE 2)

LEGAL ADDRESS:
LOT 1, BLOCK 4, PLAN 2510323

ZONING:
(DC) - (D-G) INDUSTRIAL GENERAL (DC 12402023 SITE 1)

SITE AREA:
PROPOSED DEVELOPMENT SITE AREA = 78,518.482 m², 19.402 acres, (7.851 ha)

BUILDING AREA (FOOTPRINT):

PROPOSED BUILDING 4	= 11,728.365 m ² (126,243.0 FT ²)
PROPOSED BUILDING 5	= 14,602.345 m ² (157,173.3 FT ²)
PROPOSED BUILDING 6	= 10,417.527 m ² (112,133.327 FT ²)
PROPOSED TOTAL AREA	= 36,748.237 m ² (396,554.7 FT ²)

SITE COVERAGE:

PROPOSED SITE AREA	= 78,518.482 m ² (100% SITE AREA)
PROPOSED BUILDINGS	= 36,748.237 m ² (46.8% OF SITE AREA)
PROPOSED SITE COVERAGE	= 46.8% OF SITE AREA

FLOOR AREA RATIO (F.A.R.):

MAXIMUM (F.A.R.) REQUIRED	= 1.0
TOTAL PROPOSED (F.A.R.)	= 0.468

MINIMUM SETBACK REQUIREMENTS:
(MINIMUM REQUIREMENTS PROVIDED AT PROPOSED SITE)

EAST SETBACK (EAST NEIGHBOR SIDE)	1.2m
WEST SETBACK (WEST STREET SIDE)	4.0m
SOUTH SETBACK (SOUTH STREET SIDE)	4.0m
NORTH SETBACK (NORTH SIDE)	6.0m

MINIMUM BUILDING HEIGHT:
BUILDING MAXIMUM HEIGHT: THERE IS NO MAXIMUM BUILDING HEIGHT FOR A BUILDING LOCATED ON A PARCEL IN THE INDUSTRIAL - GENERAL DISTRICT.
PROPOSED BUILDING HEIGHT: 12.6m (41.5')

PARKING REQUIREMENTS:
(1 PARKING STALL / 100m² GROSS FLOOR AREA REQUIRED)

PROPOSED BUILDING 4	REQUIRED: (1 STALL PER 100m ²) = 118 PARKING STALLS (REQUIRED)
142 PARKING STALLS INCLUDING 5 BARRIER FREE PARKING STALLS (PROVIDED)	
PROPOSED BUILDING 5	REQUIRED: (1 STALL PER 100m ²) = 143 PARKING STALLS (REQUIRED)
142 PARKING STALLS INCLUDING 5 BARRIER FREE PARKING STALLS (PROVIDED)	
PROPOSED BUILDING 6	REQUIRED: (1 STALL PER 100m ²) = 109 PARKING STALLS (REQUIRED)
141 PARKING STALLS INCLUDING 5 BARRIER FREE PARKING STALLS (PROVIDED)	
TOTAL REQUIRED:	= 118 + 143 + 109 = 370 PARKING STALLS (REQUIRED)
TOTAL PROVIDED:	= 142 + 141 + 141 = 424 PARKING STALLS (PROVIDED)
TOTAL EXCESS:	= 15 BARRIER FREE PARKING STALLS (PROVIDED)

BARRIER FREE PARKING STALLS REQUIRED: 7 STALLS (NBC ALBERTA EDITION 2023, TABLE 3.8.2.5)
BARRIER FREE PARKING STALLS PROVIDED: 15 STALLS

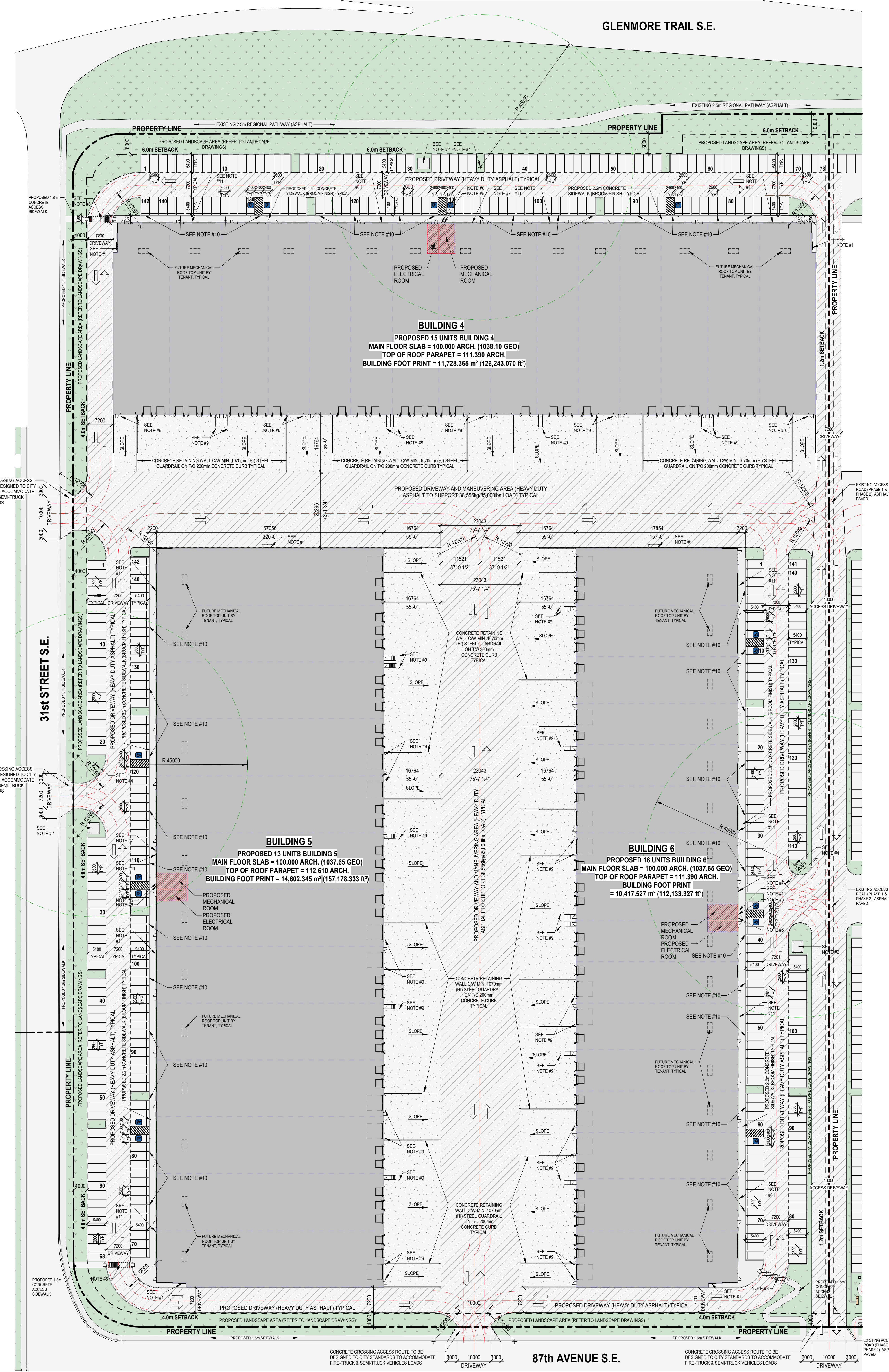
NOTES:
WASTE AND RECYCLING COLLECTION SERVICES TO BE PROVIDED BY PRIVATE COLLECTION
BINS WILL BE WHEELED OUT TO THE STAGING AREA ON COLLECTION DAY
ALL UTILITY CONNECTIONS ARE TO BE LOCATED UNDERGROUND, AND TO MUNICIPAL GUIDELINES
REFER TO LANDSCAPE CALCULATION FOR GENERAL, PLANNING, SOFTWARD SURFACED LANDSCAPED AREA AND WATER IRRIGATION SYSTEM

SITE PLAN LEGEND

- PROPOSED NEW BUILDING ADDITION
- PROPOSED LIGHT DUTY ASPHALT AREA (PARKING)
- PROPOSED HEAVY DUTY ASPHALT AREA (DRIVEWAY), CAPABLE OF SUPPORTING THE MPA 180 TYPICAL POINT LOAD OF 517kPa (75psi) OVER A 2.4x2.4' AREA (OUTRIGGER PAD SIZE) IN ADDITION TO THE 38.566/85.000kPa LOAD
- UNDEVELOPED AREA (FUTURE DEVELOPMENT AREA)
- PROPOSED CONCRETE ACCESS APRON (LOADING DOCK)
- PROPOSED LANDSCAPE (REFER TO LANDSCAPING)
- PROPOSED VARIANCE OF PARKING STALLS
- PROPERTY LINE
- SETBACK LINE
- R.O.W. LINE
- EXISTING WATER LINE, U.N.O.
- EXISTING SANITARY LINE, U.N.O.
- EXISTING STORM LINE, U.N.O.

NOTES:

- FOR GRADING AND SERVICES REFER TO CIVIL DRAWINGS.
- FOR PROPOSED UTILITY RIGHT OF WAY PLAN, REFER TO CIVIL DRAWINGS.
- FOR LANDSCAPE SPECIFICATIONS AND DETAILS REFER TO LANDSCAPE DRAWINGS.
- ALL PARKING STALLS TO BE INDICATED BY 100mm WIDE PAINTED LINES "YELLOW" AND CONCRETE FINEL STOPS TO BE PROVIDED AT EACH PARKING STALL ADJACENT TO A SIDEWALK (TYPICAL).
- ALL PARKING STALLS TO BE DESIGNED AS STANDARD STALL FOR MOTOR VEHICLE PARKING - 5400mm (STALL DEPTH) x 2000mm (STALL WIDTH) WITH BY PARKING ANGLE, CIV 700mm DRIVEWAY WIDTH.
- ALL ACCESSIBLE PARKING STALLS TO BE DESIGNED AS BARRIER-FREE STALLS. STALLS WILL BE PROVIDED WITH FIRM, SLIP-RESISTANT AND LEVEL SURFACE ASIDE, AND BE CLEARLY MARKED FOR PERSONS WITH DISABILITIES ONLY.
- ALL ACCESSIBLE PARKING STALLS WILL BE PROVIDED WITH ACCESSIBLE PARKING SKIN.
- ALL SIDEWALKS AND WALKWAYS TO BE BROOM FINISHED CONCRETE, FOR SPECIFICATIONS REFER TO STRUCTURAL.
- ALL DRIVEWAYS ACCESS TO SITE ARE DESIGNED AS PER CITY STANDARDS FOR 7.2m AND 10.0m DRIVEWAY WIDTH. DRIVEWAY FLARES CAN BE INCREASED TO FACILITATE MOVEMENT OF LARGE TRUCKS, REFER TO CITY STANDARDS.
- PROPOSED GAS METER LOCATION, CIV PROTECTION STEEL BOLLARDS, GAS METERS ALONG EXTERIOR WALLS AT LANDSCAPE AREAS WILL BE COMPLETED WITH CONCRETE PAD.
- PROPOSED ELECTRICAL TRANSFORMER LOCATION, CIV CONCRETE PAD AND PROTECTION STEEL BOLLARDS OVER PERIMETER.
- LOCATION OF PROPOSED FIRE HYDRANT.
- PROPOSED FIRE DEPARTMENT LOCK BOX, LOCATED BY ENTRANCE DOOR.
- PROPOSED EXTERIOR STROBE LIGHT, LOCATED BY ENTRANCE DOOR.
- PROPOSED FIRE DEPARTMENT CONNECTION (SASMSE CONNECTION).
- PEDESTRIAN CROSSWALK TO BE INDICATED AND PAINTED "YELLOW".
- Ø150mm (6") x 1200mm (4') HEIGHT CONCRETE FILLED STEEL BOLLARD TO BE PRIME & PAINTED, FOR DETAILS REFER TO SP1, 102 SHEET.
- ROUGH IN CONDUIT FOR FUTURE EV PARKING STALLS.
- PROPOSED LANDSCAPE STRIP AT BUILDING FRONT AND ADJACENT SIDEWALK, REFER TO LANDSCAPE FOR DETAILS.



1 OVERALL SITE PLAN
DP1.101 SCALE: 1:500

1	ISSUED FOR DEVELOPMENT PERMIT	2025-07-18
NO.	ISSUE/REVISION	DATE
SEAL		

PROJECT
GLENMORE YARDS BUSINESS PARK PHASE - 2

PROJECT ADDRESS
3300 87th AVENUE S.E.
CALGARY, ALBERTA

TITLE
SITE PLAN

PROJECT NO.	SCALE	DRAWN	CHECKED
223-074	As indicated	AV	JLG

DRAWING NO. **DP1.101** REVISION NO. 1

NOT FOR CONSTRUCTION