

PRIVATE RESIDENCE

MULTI-FAMILY DWELLING
1444 39 STREET SW
CALGARY, ALBERTA
LOT 1, BLOCK 18, PLAN 746GC
M-C1 MULTI RESIDENTIAL

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THIS DRAWING SUPERCEDES PREVIOUS ISSUES.
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1 EXTERIOR PERSPECTIVE

PROJECT INFO

CLIENT/PROJECT: PRIVATE OWNER
LEGAL ADDRESS: Lot 1, Block 18, Plan 746GC
CIVIC ADDRESS: 1444 39 STREET SW

DRAWING INFORMATION

STATUS: DEVELOPMENT PERMIT
PROJECT LEAD: LEAD DESIGNER
CHECKED BY: CHECKER
SCALE: 1/4" = 1'-0"
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REVISION HISTORY		DATE
05.02	PRESENTATION 1	CH
06.10	LANDSCAPE REVIEW	CH
06.26	PRESENTATION 2	CH
07.10	PRESENTATION 3	CH
07.24	DP REVIEW	SL

PROJECT INFO

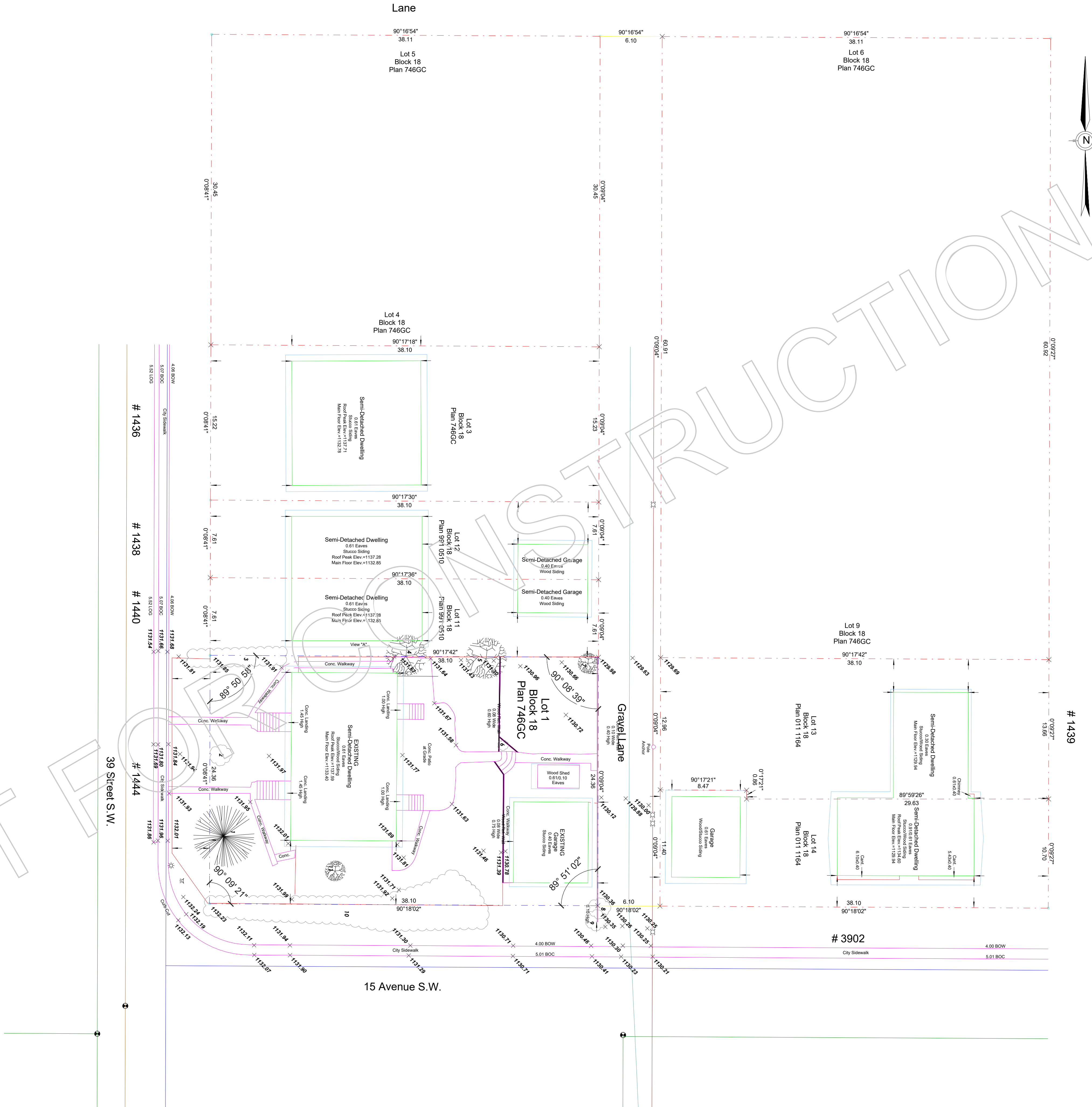
CLIENT/PROJECT: PRIVATE OWNER
LEGAL ADDRESS: Lot 1, Block 18, Plan 746GC
CIVIC ADDRESS: 1444 39 STREET SW

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CHECKED BY: CHECKER

SCALE: 1 : 200
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05.02 PRESENTATION 1	CH
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07.24 DP REVIEW	SL



1 EXISTING BLOCK PLAN
1 : 200

NOT FOR CONSTRUCTION

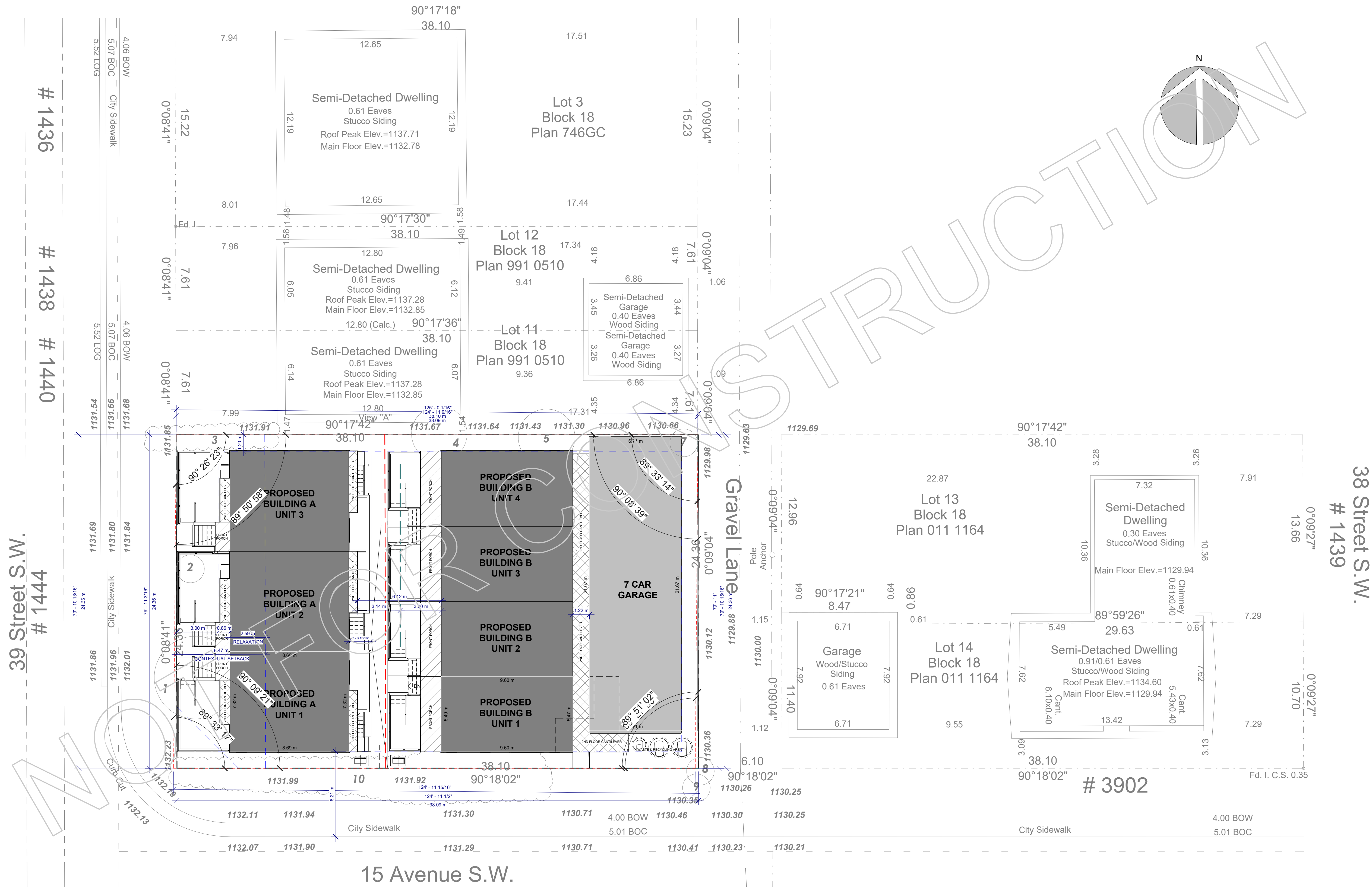
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SITE COVERAGE:	
STAY REQUIREMENTS:	
SITE AREA	— m ²
ALLOWED COVERAGE	— %
ACTUAL PROVIDED:	
HOUSE FOOTPRINT	— m ²
FRONT ENTRY COV.	— m ²
COVERED DECKS	— m ²
TOTAL RESIDENCE	— m ²
GARAGE	— m ²
TOTAL ACCESSORY BUILDINGS	— m ²
TOTAL ON SITE	— m ²

SITE LEGEND:	
PROPERTY LINES	—
SETBACKS	—
UTILITY P.O.W. & CHIMNEYS	—
ROOF OVERHANG	—
ELECTRICAL	—
STORMSEWER	—
WATER LINES	—
GAS LINES	—
PROPOSED RESIDENCE	—
PROPOSED CANTILEVERS	—
PROPOSED GARAGES	—
EXISTING BUILDINGS	—
CONCRETE PATHS, ETC.	—
GRAVEL	—
WOOD DECKS/PORCHES	—
PROPOSED GEODETICS	100.00
EXISTING GEODETICS	100.00

DISCLAIMER:
ALL SITE INFORMATION IS BASED OFF OF THIRD PARTY DRAWINGS. ELLERGOOD DESIGN TAKES NO RESPONSIBILITY FOR INACCURATE GRADING POINTS, SITE FURNITURE, EXISTING SERVICES OR LOCATIONS. IN ORDER TO VERIFY ALL CRITICAL DIMENSIONS ON SITE PRIOR TO STARTING CONSTRUCTION.



1 PROPOSED SITE PLAN
1:150

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PROJECT LEAD:	LEAD DESIGNER
CHECKED BY:	CHECKER
SCALE:	As indicated
COPYRIGHT ALL RIGHTS RESERVED	ARCH D / 24" x 36"

REVISION HISTORY	
DATE	
05.02	PRESENTATION 1 CH
06.10	LANDSCAPE REVIEW CH
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CALGARY, ALBERTA
LOT 1, BLOCK 18, PLAN 746GC
M-C1 MULTI RESIDENTIAL



PROJECT INFO		PRIVATE OWNER
CLIENT/PROJECT:		
LEGAL ADDRESS:	Lot 1, Block 18, Plan 7466G	
CIVIC ADDRESS:	1444 39 STREET SW	
DRAWING INFORMATION		
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PROJECT LEAD:	LEAD DESIGNER	
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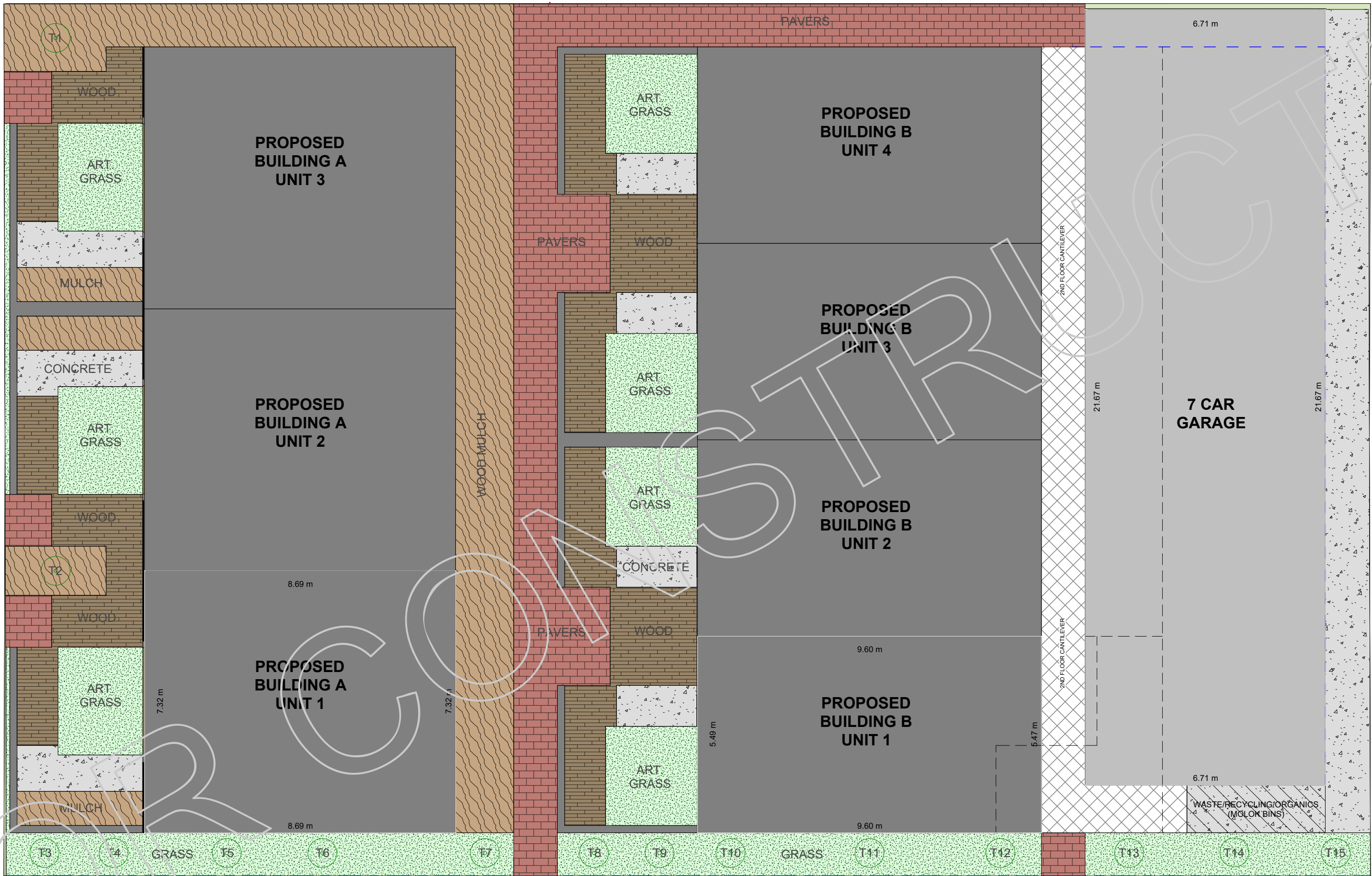
LANDSCAPING LEGEND:

TREE TYPE	QUANTITY	SIZE
DECIDUOUS TREE	0	60mm CAL.
CONIFEROUS TREE	0	2.5m TALL
SHRUB LOCATIONS	14	5.0m SPREAD

SOFT & HARDSCAPE CALCS:

SOFTSCAPE:	HARDSCAPE:
GRAVEL	CONCRETE
MULCH	PAVERS
GRASS	WOOD STAIR/LANDINGS

NOTE: ALL LANDSCAPING SHOWN IS ILLUSTRATIVE ONLY AND MAY NOT REFLECT EXACT CONDITIONS ON SITE OR FINAL PRODUCT.



LANDSCAPE AREA 3391 FT²

MAX. HARD LANDSCAPE PROVIDED = 50% (1695.50 FT²)
= 44.29% (1501.71 FT²)

PROPOSED CONCRETE = 13.87% (235.16 FT²)
PAVERS = 39.73% (673.68 FT²)
WOOD STAIR/LANDINGS = 34.97% (592.87 FT²)

MINIMUM SOFT LANDSCAPE REQUIRED PROVIDED = 33% (1017.3 FT²)
= 52.28% (1772.94 FT²)

GRASS/ART. GRASS = 30.54% (1035.74 FT²)
MULCH = 21.74% (737.20 FT²)

NOTE: MIN. 33% - INCLUDES -3% FOR LOW WATER LANDSCAPING
AND -4% FOR STREET ORIENTED (20% FOR EVERY 1m OF FRONTAGE)

1 **PROPOSED SITE PLAN**
1 : 100

PROJECT INFO

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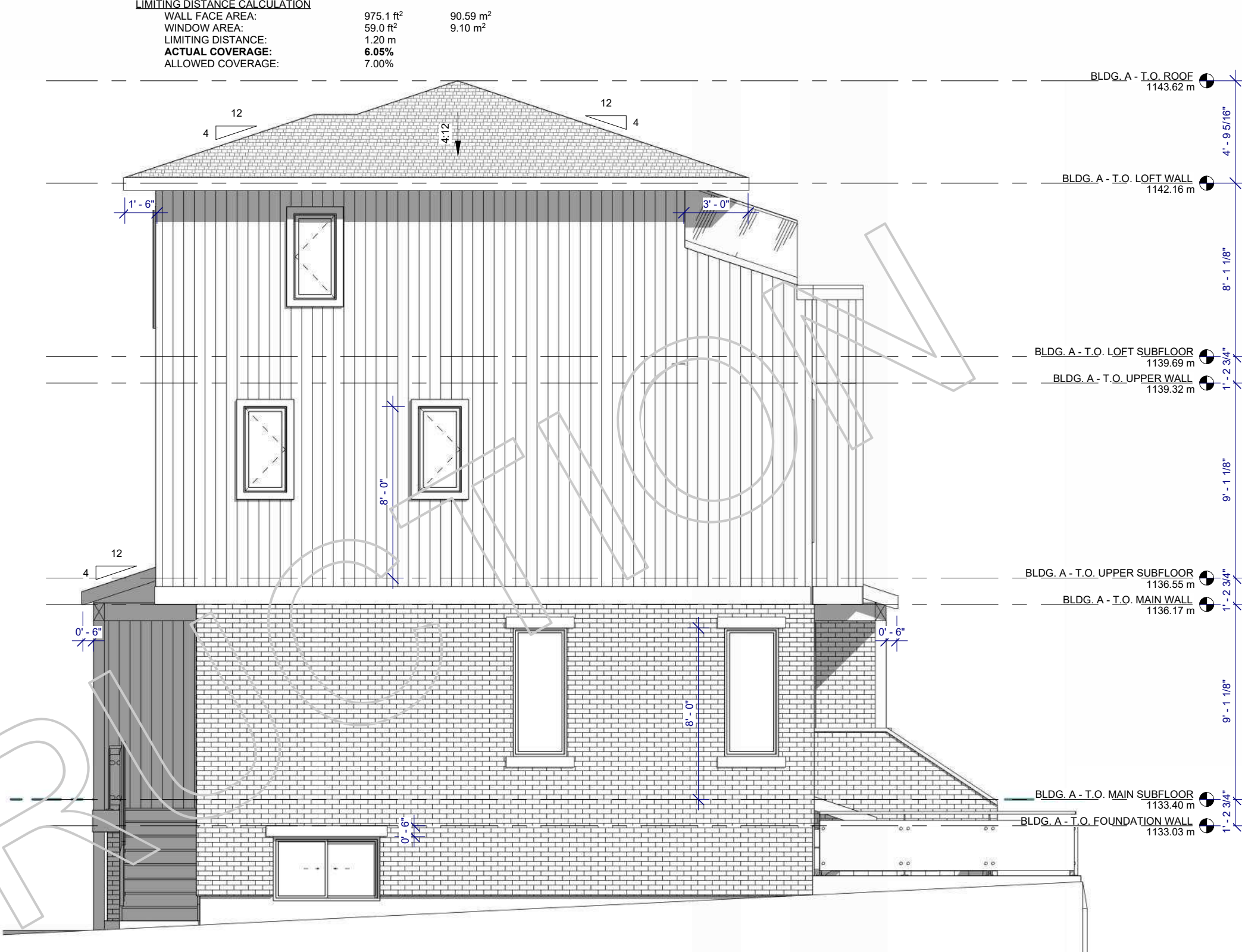
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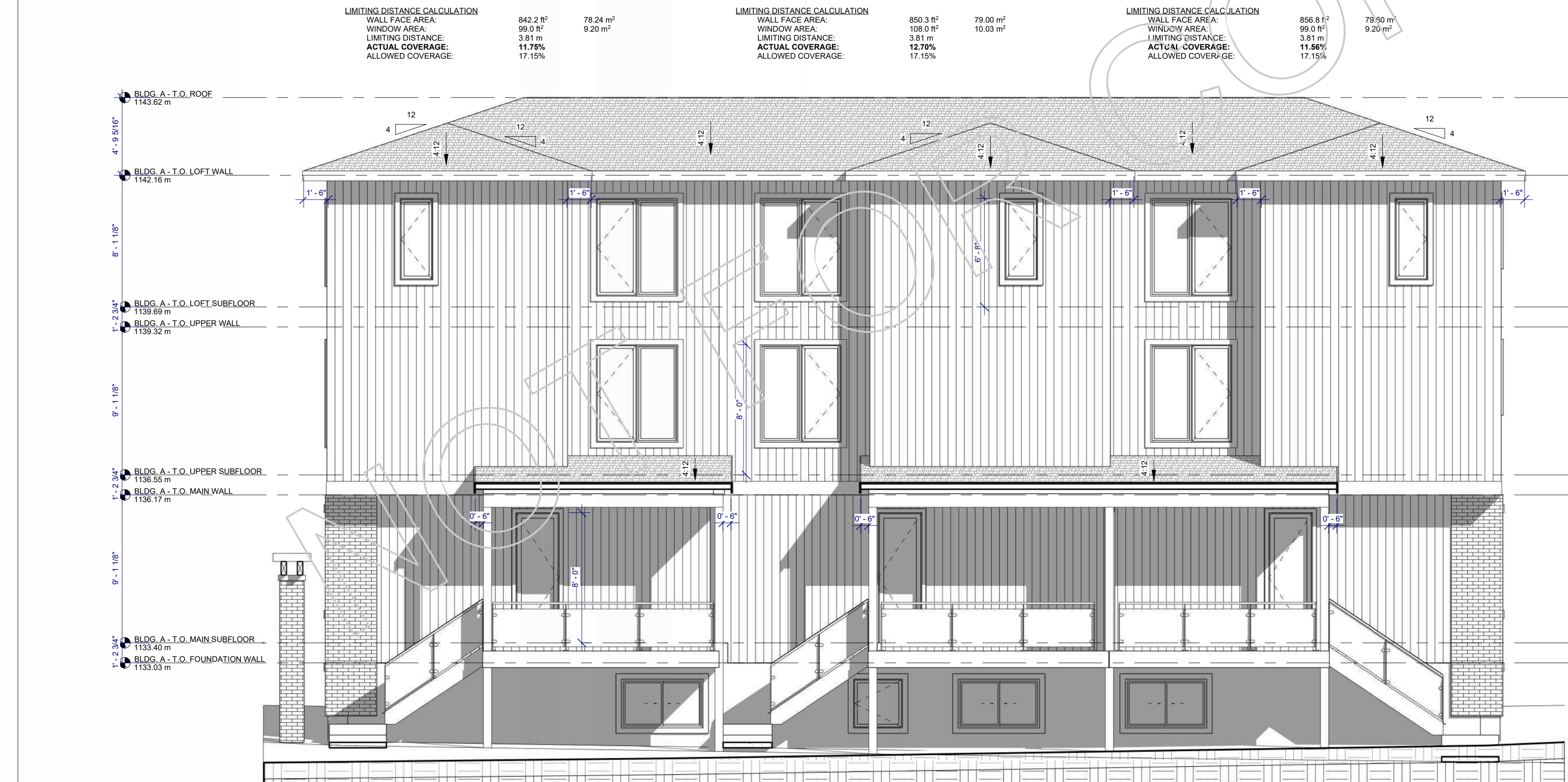
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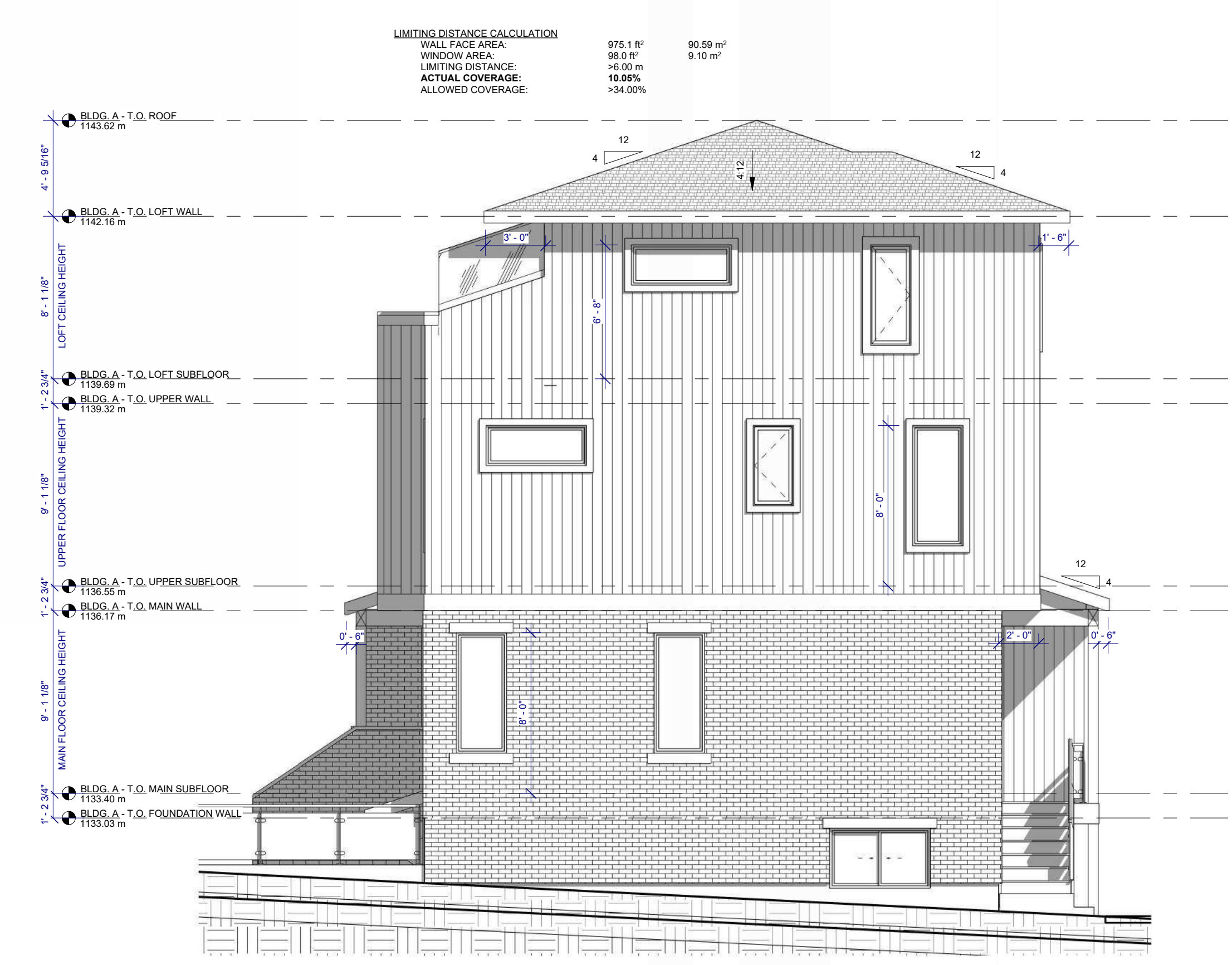
1 PROPOSED LEFT ELEVATION
3/16" = 1'-0"



2 PROPOSED REAR ELEVATION
3/16" = 1'-0"



3 PROPOSED RIGHT ELEVATION
3/16" = 1'-0"



4 PROPOSED FRONT ELEVATION
3/16" = 1'-0"

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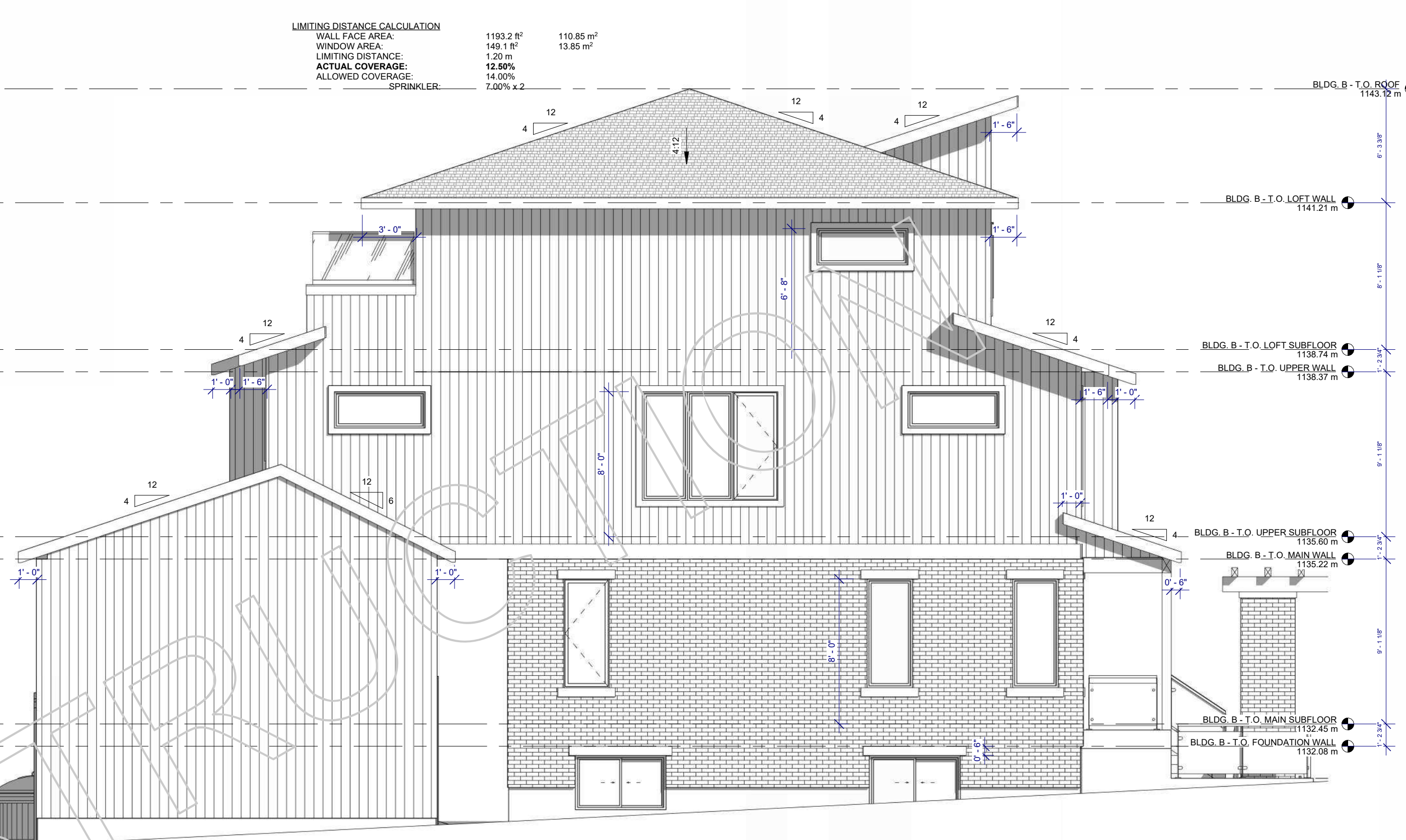
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BUILDING A

ELEVATIONS - BLDG A
A2.0



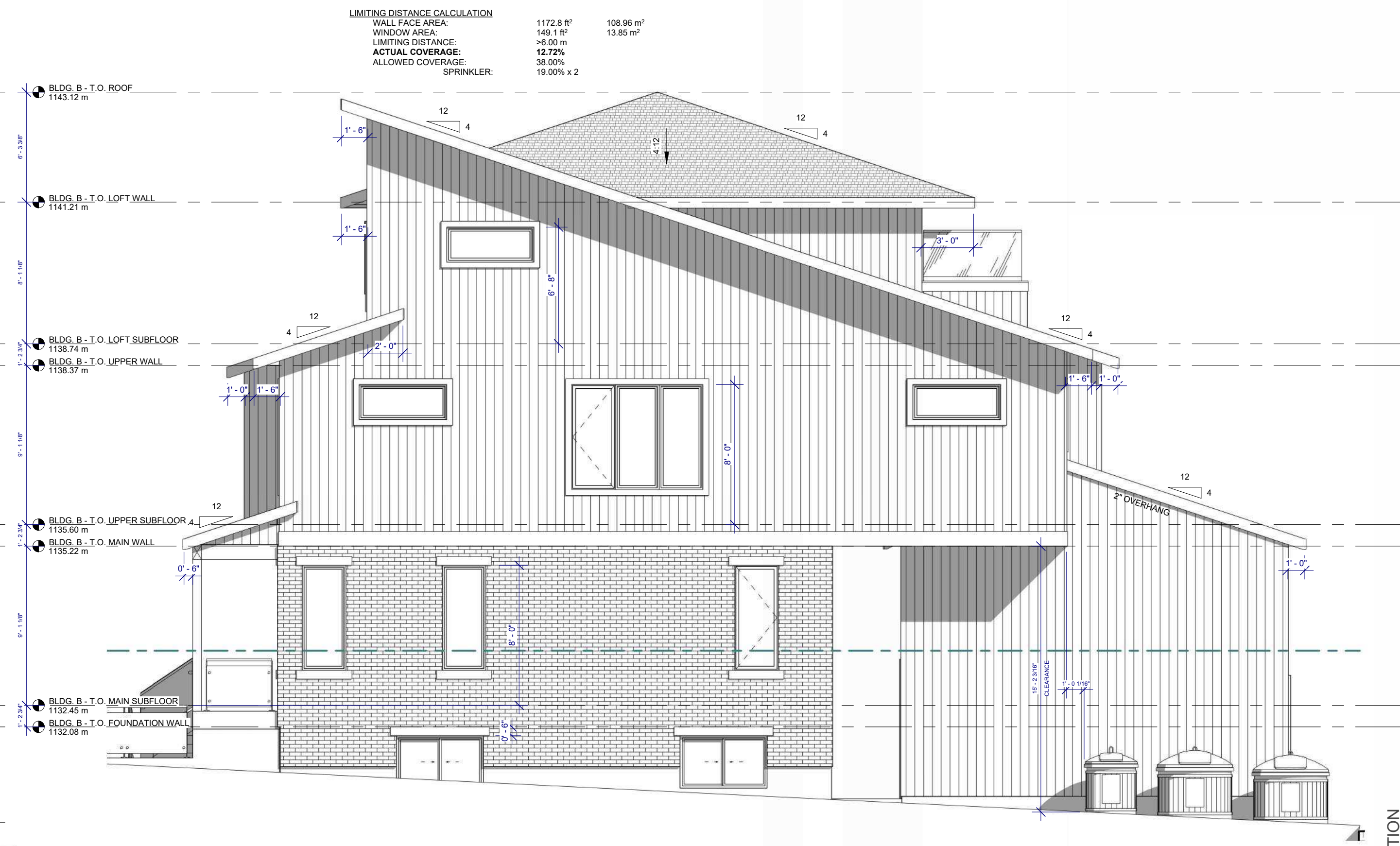
1 BLDG. B - FRONT ELEVATION
3/16" = 1'-0"



2 BLDG. B - LEFT ELEVATION
3/16" = 1'-0"



3 BLDG. B - REAR ELEVATION
3/16" = 1'-0"



4 BLDG. B - RIGHT ELEVATION
3/16" = 1'-0"

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CIVIC ADDRESS: 1444 39 STREET SW

DRAWING INFORMATION

STATUS: DEVELOPMENT PERMIT
PROJECT LEAD: CHRIS HILL
CHECKED BY: SCOTT LITKE
SCALE: 3/16" = 1'-0"
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