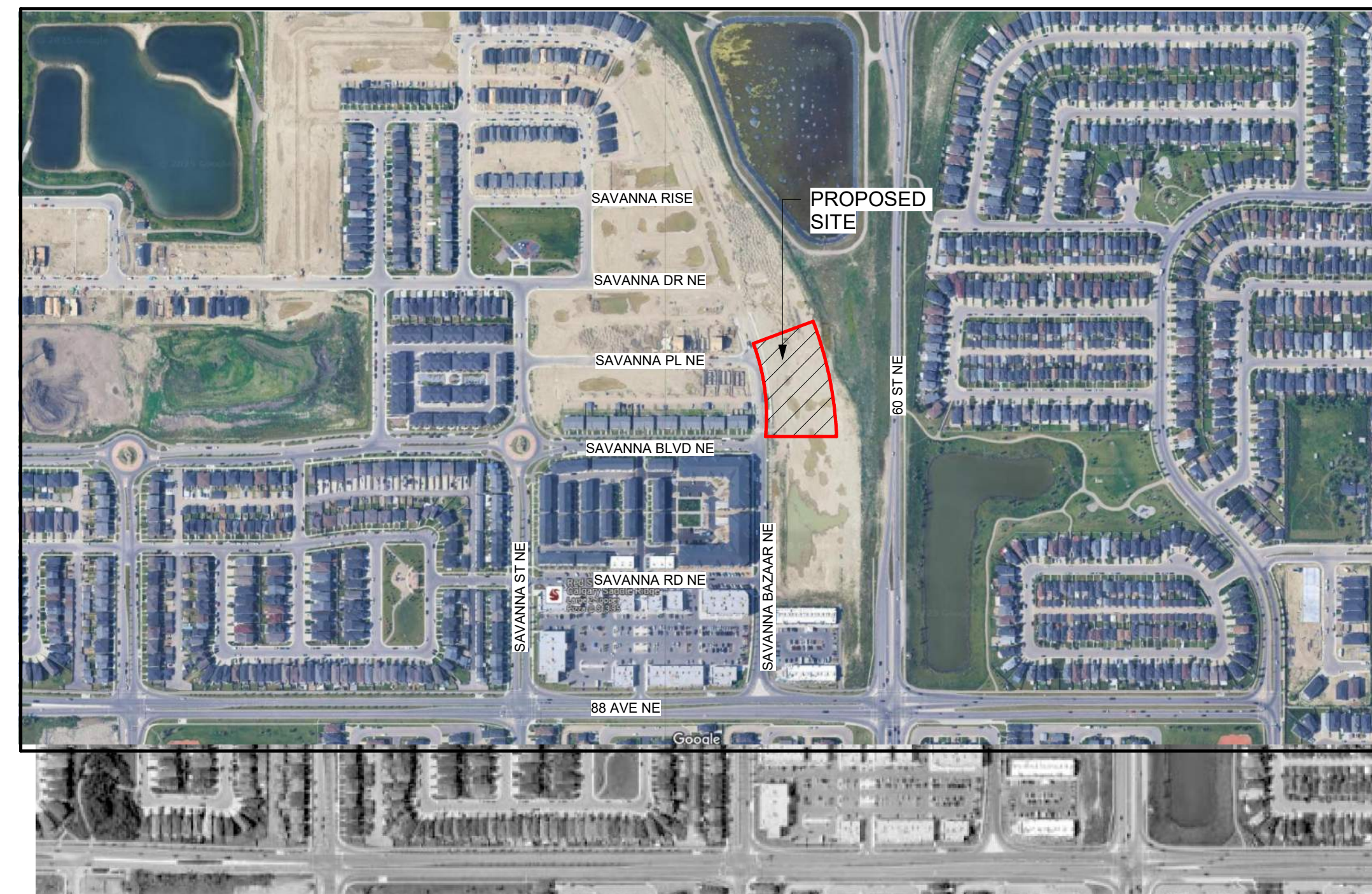
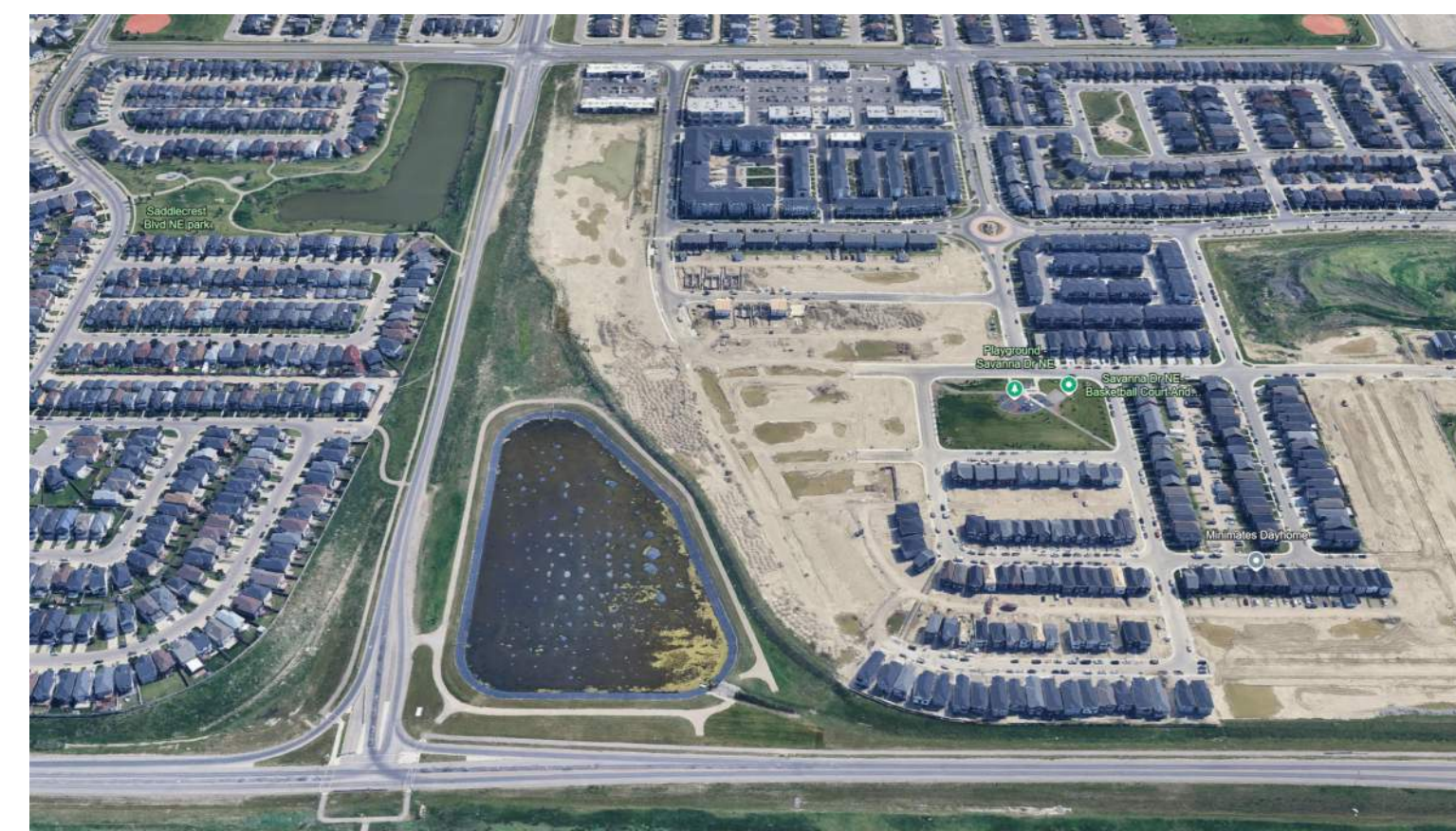


1 LAND USE MAP
A2.001 Scale: 1 : 5000



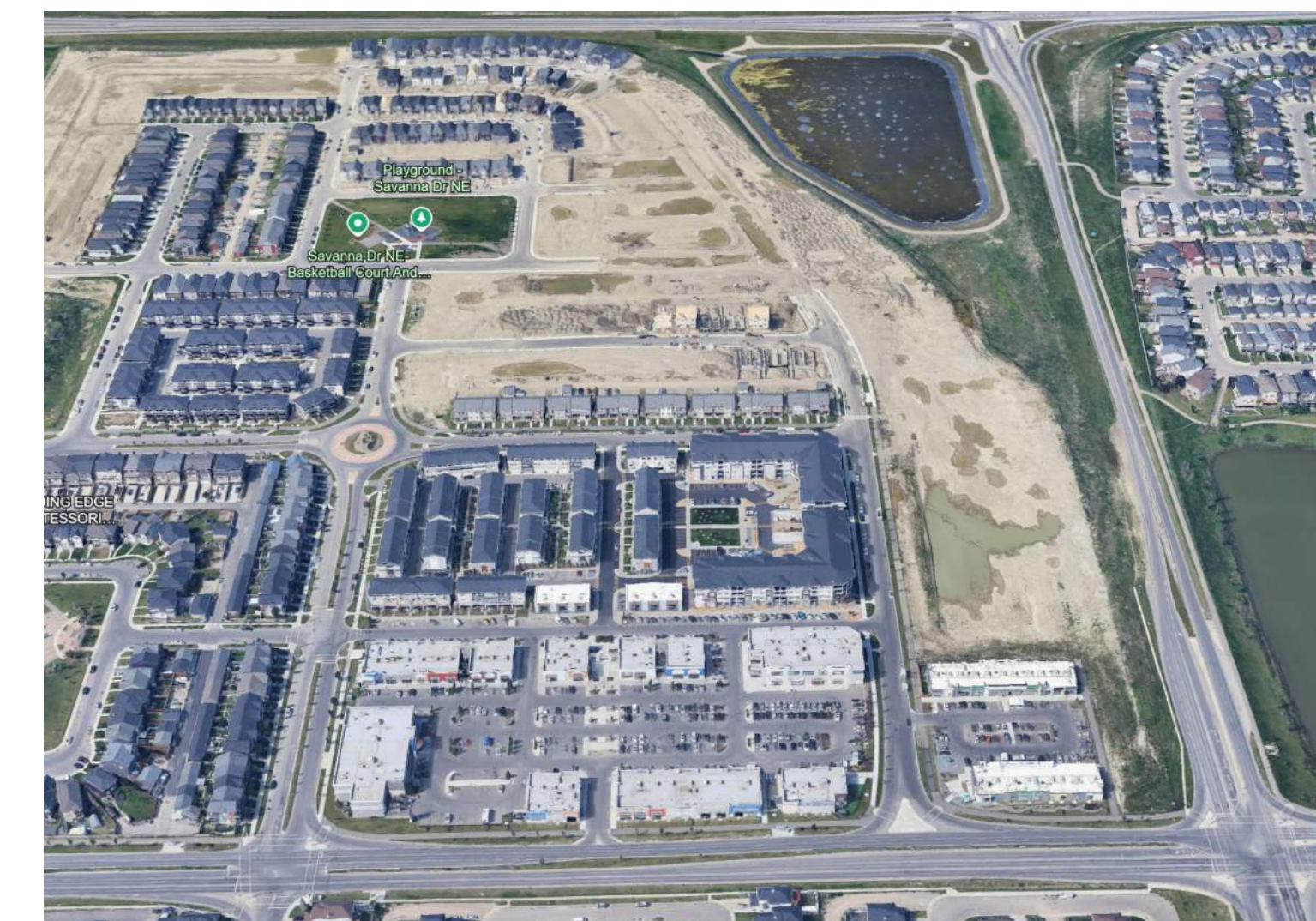
2 LOCATION MAP
A2.001 Scale: 1 : 5000



4 Map Views North Copy 1
A2.001 Scale: NTS



3 Map Views East Copy 1
A2.001 Scale: NTS



5 Map Views South Copy 1
A2.001 Scale: NTS



6 Map Views West Copy 1
A2.001 Scale: NTS

CLIENT LOGO

KEYPLAN



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GENSTAR DEVELOPMENT COMPANY

8826 Blackfoot Trail SE Suite 230, Calgary AB T2J 3J1

PROJECT

SAVANNA

9320 - 52nd Avenue NE

TITLE

SITE CONTEXT

WALTERFEDY

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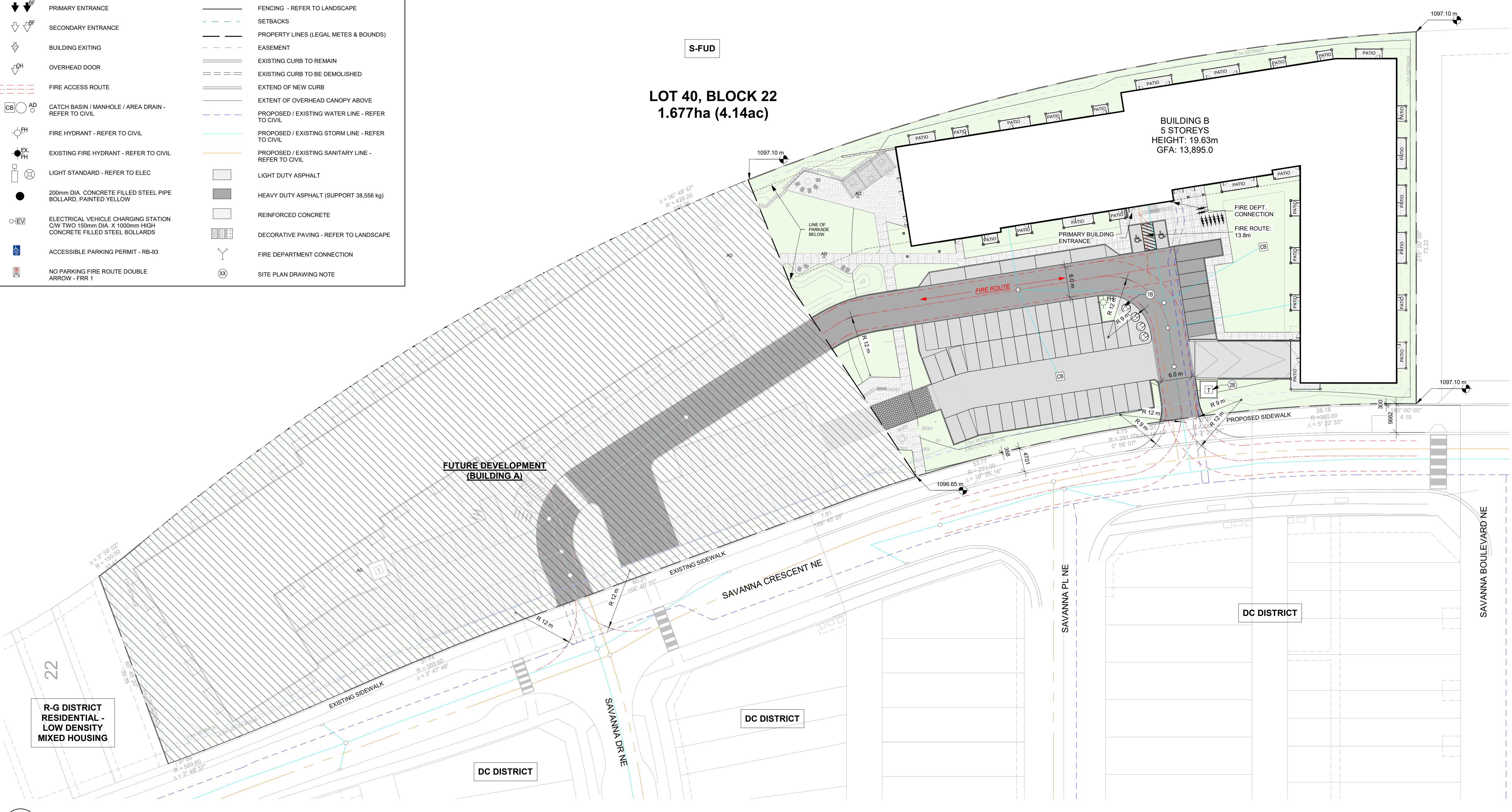
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DATE:	2023-02-28	A2.001
PROJECT NO.:	2025-0084-10	
DRAWN BY:	Author	
CHECKED BY:	Checker	

SITE PLAN LEGEND:

	PRIMARY ENTRANCE		FENCING - REFER TO LANDSCAPE
	SECONDARY ENTRANCE		SETBACKS
	BUILDING EXITING		PROPERTY LINES (LEGAL METES & BOUNDS)
	OVERHEAD DOOR		EASEMENT
	FIRE ACCESS ROUTE		EXISTING CURB TO REMAIN
	CATCH BASIN / MANHOLE / AREA DRAIN - REFER TO CIVIL		EXISTING CURB TO BE DEMOLISHED
	FIRE HYDRANT - REFER TO CIVIL		EXTEND OF NEW CURB
	EXISTING FIRE HYDRANT - REFER TO CIVIL		EXTENT OF OVERHEAD CANOPY ABOVE
	LIGHT STANDARD - REFER TO ELEC		PROPOSED / EXISTING WATER LINE - REFER TO CIVIL
	200mm DIA. CONCRETE FILLED STEEL PIPE BOLLARD, PAINTED YELLOW		PROPOSED / EXISTING STORM LINE - REFER TO CIVIL
	ELECTRICAL VEHICLE CHARGING STATION CIVIL TWO 150mm DIA. X 1000mm HIGH CONCRETE FILLED STEEL BOLLARDS		PROPOSED / EXISTING SANITARY LINE - REFER TO CIVIL
	ACCESSIBLE PARKING PERMIT - RB-93		LIGHT DUTY ASPHALT
	NO PARKING FIRE ROUTE DOUBLE ARROW - FRR 1		HEAVY DUTY ASPHALT (SUPPORT 38,556 kg)
			REINFORCED CONCRETE
			DECORATIVE PAVING - REFER TO LANDSCAPE
			FIRE DEPARTMENT CONNECTION
			SITE PLAN DRAWING NOTE

**LOT 40, BLOCK 22
1.677ha (4.14ac)**



1 OVERALL SITE PLAN
A2.101 Scale: 1 : 400

PLANNING INFORMATION			
Municipal Address	Savanna Crescent		
Legal Description	Lot 40 Block 22 Plan		
Zoning	Multi-Residential - Medium Profile (M-2)		
Proposed Uses	Multi-Residential Development		
Maximum F.A.R.	3.0	Delta	1.3
Building Height (m)	16.0	Delta (m)	3.6

SITE DATA			
Site Area (sm / Acre)	8253.08	2.04	
Building Coverage (sm)	2800.3		
Development F.A.R.	1.7	Delta	1.3
Proposed Building Height (m)	19.63	Delta (m)	3.6

SETBACKS			
	Required	Provided	
Front (m)	3	3	
Side (m)	1.2	3.7	
Rear (m)	1.2	3.4	

DEVELOPMENT DATA			
GFA - Above Grade			
Level	sm	sf	
MPH	-	-	
L05	2,764.8	29,760.03	
L04	2,764.8	29,760.03	
L03	2,764.8	29,760.03	
L02	2,800.3	30,142.15	
L01	2,800.3	30,142.15	
TOTAL GFA	13,895.0	149,564.39	

GFA - Below Grade			
PL01	3,304.2	35,566.08	

*GFA excludes Underground Levels

UNIT DATA			
Unit Count	152		
Units per Acre	74.5		

AMENITY SPACE			
Requirements			
Required (sm) / Unit	5	Total Required (sm)	760
Provided			
Indoor Common	162.9	Outdoor Common	825.8
Private Amenity (Balconies)	760	TOTAL	1748.7

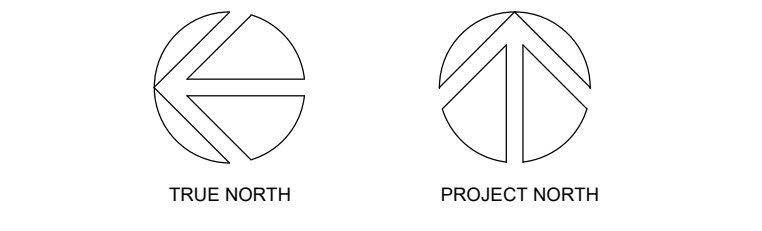
PARKING			
Requirement	Required	Provided	
Resident	0.625	95	
Visitor	0	0	
Barrier Free	4/100 + 1/100 afterwards	4	
Surface		60	
PL01		95	
	TOTAL	155	
	STALLS / UNIT	1.02	

BIKES			
Requirement	Required	Provided	
Class 1 / Unit	1	152	
Class 2 / Unit	0.1	15	
	TOTAL	167	
Class 1		152	
Class 2		16	
	TOTAL	168	

- SITE PLAN NOTES:**
- EXISTING SITE INFORMATION INCLUDING PROPERTY LINES, EXISTING SERVICES AND GEODETIC ELEVATIONS WAS PROVIDED BY PASQUINI & ASSOCIATES, MAY 8, 2025.
 - ALL INFORMATION, WORKS, AND FEATURES ARE TO BE COORDINATED ACROSS THE ARCHITECTURAL SITE PLANS, CIVIL SITE GRADING AND SERVICES PLANS, AND LANDSCAPE PLANS FOR EACH SUBMISSION.
 - REFER TO LANDSCAPE PLAN FOR LOCATION OF EXISTING, DEMOLISHED AND PROPOSED PLANTING FEATURES.
 - REFER TO CIVIL ENGINEERING DRAWINGS FOR LEGAL BOUNDARY AND TOPOGRAPHICAL INFORMATION.
 - REFER TO SITE GRADING PLAN FOR THE PURPOSES OF OBTAINING SITE GRADING INFORMATION.
 - ALL EMERGENCY ACCESS ROUTES INCLUDING STAIRS TO BE MAINTAINED (FREE AND CLEAR) YEAR-ROUND.
 - ALL WORKS INVOLVED IN THE CONSTRUCTION, RELOCATION AND REPAIR OF MUNICIPAL SERVICES FOR THE PROPOSED DEVELOPMENT SHALL BE TO THE SATISFACTION OF THE GENERAL MANAGER OF PUBLIC WORKS.
 - STREET EXCAVATION PERMITS ARE REQUIRED FOR ANY WORK IN CITY RIGHT OF WAY BY ANY CONTRACTOR.
 - NO PERSON SHALL CAUSE OR PERMIT ALTERATION OF A SITE IN THE MUNICIPALITY, WITHOUT HAVING FIRST OBTAINED A SITE ALTERATION PERMIT IN ACCORDANCE WITH LOCAL BY-LAW.
 - ALL SNOW STORAGE SHALL BE STORED ON SITE IN DESIGNATED AREAS SHOWN ON PLAN.
 - THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVER GROUP UTILITIES AND STRUCTURES IS NOT SHOWN ON THE DRAWINGS, AND WHERE SHOWN THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, CONTRACTOR SHALL INFORM THEMSELVES OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME LIABILITY FOR DAMAGE TO THEM AND THOSE NOT LOCATED PRIOR TO CONSTRUCTION.
 - ALL INDICATED PAVEMENT MARKINGS INCLUDING PARKING SPACES SHALL BE PAINTED ON PAVEMENT SURFACES PER SPECIFICATION. FIRE ROUTE SHALL BE DESIGNED IN ACCORDANCE TO LOCAL BY-LAW AS AMENDED, WITH HEAVY DUTY ASPHALT SURFACE TO SUPPORT A LOAD OF NOT LESS THAN 11,363 KG PER AXLE, AND A CHANGE IN GRADIENT NOT MORE THAN 1 IN 12.5, OVER A MIN. DISTANCE OF 15 M. CONTRACTOR SHALL PROVIDE AND INSTALL FIRE ACCESS ROUTE SIGNS FOR THE DESIGNATED FIRE ROUTE TO THE SATISFACTION OF THE FIRE CHIEF. APPROVED FIRE ROUTE SIGNAGE SHALL BE INSTALLED ALONG THE COMPLETE TRAVEL PORTION OF THE FIRE ROUTE AS FOLLOWS:
 - FIRE ROUTE SIGNS SHALL BE PERMANENTLY MOUNTED ON A RIGID SIGN POST OR POLE WITH THE WORDS "FIRE ROUTE TOW AWAY ZONE" WITH PICTORIAL SIGN.
 - BE ERRECTED AT A HEIGHT OF BETWEEN 1.9M TO 2.5M AS MEASURED FROM THE TRAVELED SURFACE OF THE FIRE ROUTE TO THE BOTTOM EDGE OF THE SIGN.
 - BE INSTALLED AT A DISTANCE OF 0.3M TO 2.4M FROM THE TRAVELED EDGES OF THE FIRE ROUTE.
 - BE INSTALLED ALONG THE FIRE ROUTE AT INTERVALS NO GREATER THAN 30M OF AT SUCH OTHER INTERVALS, APPROVED BY THE CHIEF FIRE OFFICIAL, AS MAY BE REQUIRED TO CLEARLY IDENTIFY THE ROUTE; AND
 - BE CLEARLY VISIBLE TO THE FLOW OF TRAFFIC.

SITE PLAN DRAWING NOTES_B	
1B	MOLOK BINS. REFER TO SITE DETAILS
2B	TRANSFORMER. REFER TO SITE DETAILS
2B	TRANSFORMER. REFER TO SITE DETAILS
2B	TRANSFORMER. REFER TO SITE DETAILS

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PROJECT
SAVANNA
9320 - 52nd Avenue NE

TITLE
OVERALL SITE PLAN AND STATS



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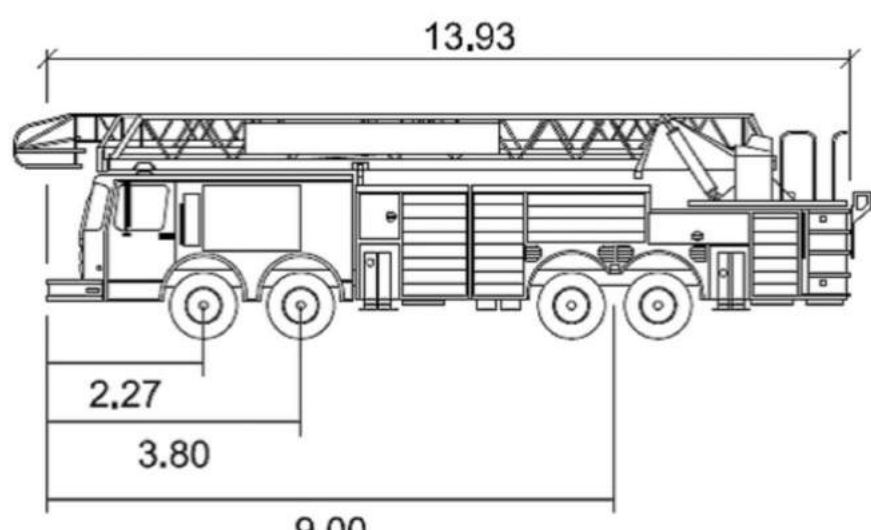
SCALE:	AS NOTED	SHEET NO.:
DATE:	09/18/18	A2.101
PROJECT NO.:	2025-0084-10	
DRAWN BY:	Author	
CHECKED BY:	Checker	

SITE PLAN LEGEND:

	PRIMARY ENTRANCE		FENCING - REFER TO LANDSCAPE
	SECONDARY ENTRANCE		SETBACKS
	BUILDING EXITING		PROPERTY LINES (LEGAL METES & BOUNDS)
	OVERHEAD DOOR		EASEMENT
	FIRE ACCESS ROUTE		EXISTING CURB TO REMAIN
	CATCH BASIN / MANHOLE / AREA DRAIN - REFER TO CIVIL		EXISTING CURB TO BE DEMOLISHED
	FIRE HYDRANT - REFER TO CIVIL		EXTEND OF NEW CURB
	EXISTING FIRE HYDRANT - REFER TO CIVIL		EXTENT OF OVERHEAD CANOPY ABOVE
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	200mm DIA. CONCRETE FILLED STEEL PIPE BOLLARD, PAINTED YELLOW		PROPOSED / EXISTING STORM LINE - REFER TO CIVIL
	ELECTRICAL VEHICLE CHARGING STATION C/W TWO 150mm DIA. X 1000mm HIGH CONCRETE FILLED STEEL BOLLARDS		PROPOSED / EXISTING SANITARY LINE - REFER TO CIVIL
	ACCESSIBLE PARKING PERMIT - RB-93		LIGHT DUTY ASPHALT
	NO PARKING FIRE ROUTE DOUBLE ARROW - FRR 1		HEAVY DUTY ASPHALT (SUPPORT 38,556 kg)
			REINFORCED CONCRETE
			DECORATIVE PAVING - REFER TO LANDSCAPE
			FIRE DEPARTMENT CONNECTION
			SITE PLAN DRAWING NOTE

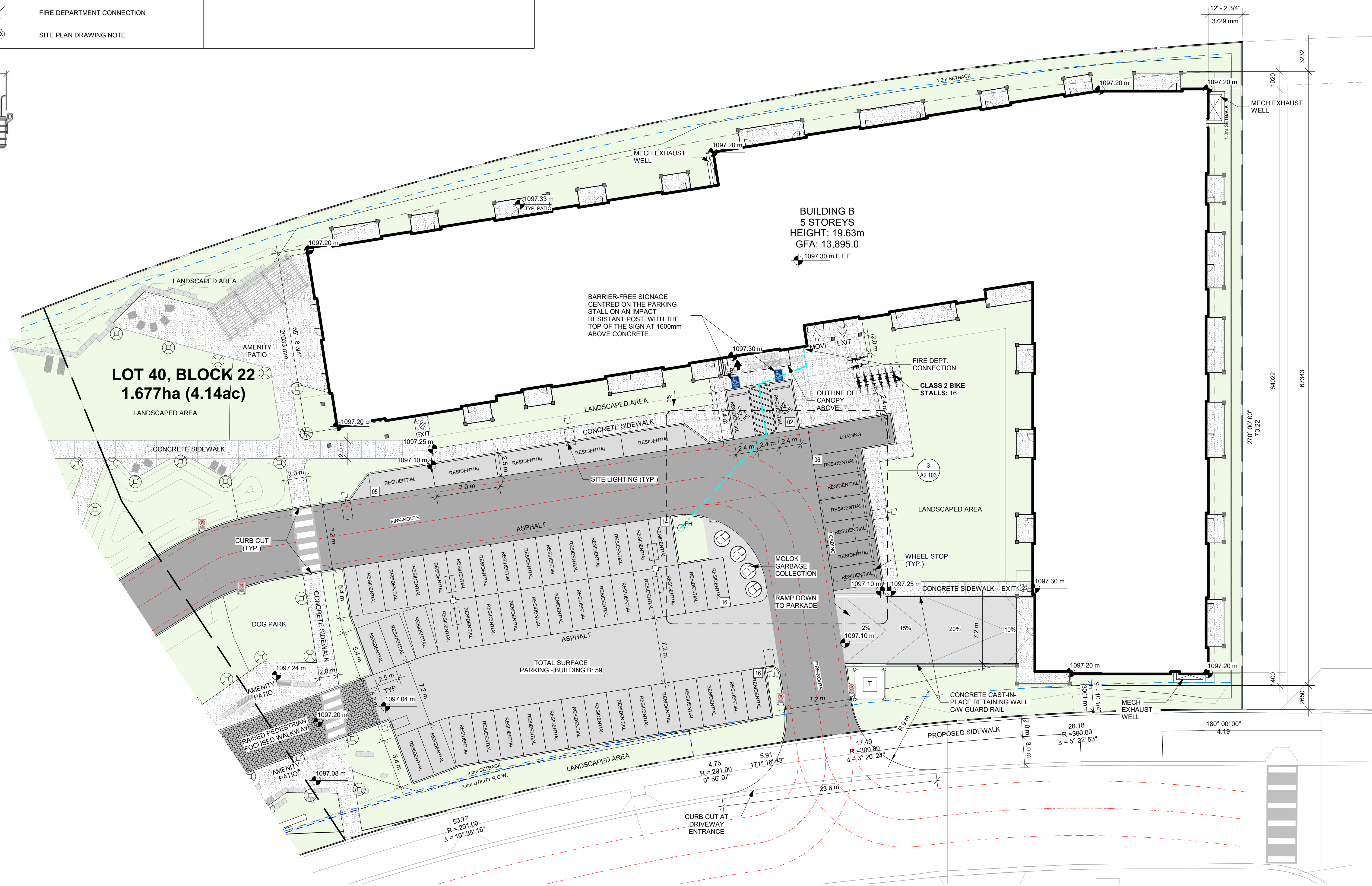
SITE PLAN NOTES:

- ALL BUILT ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE.
- NO PARKING STALLS SHOULD EXCEED 4% SLOPE IN ANY DIRECTION.
- NO PARKING ANYTIME / FIRE LANE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE.
- LANDSCAPE SHOWN FOR REFERENCE ONLY - REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS.
- FOR PROPOSED SITE LIGHTING - REFER TO ELECTRICAL DRAWINGS.
- SITE SERVICES, PEDESTALS, CONDUITS, UTILITY RIGHT OF WAY AND GRADES SHOWN FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
- ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT.
- PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION (F.D.C.) IS B/W 3m AND 15m FROM PRINCIPAL ENTRANCE OF ALL BUILDINGS. INSTALL ON EXTERIOR WALL OF EACH BUILDING IN LOCATION INDICATED.
- ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL.
- REFER TO LANDSCAPE PLANS FOR FINISHES AND MATERIALS SPECIFIED FOR ALL SIDEWALKS AND WALKWAYS.
- INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED.

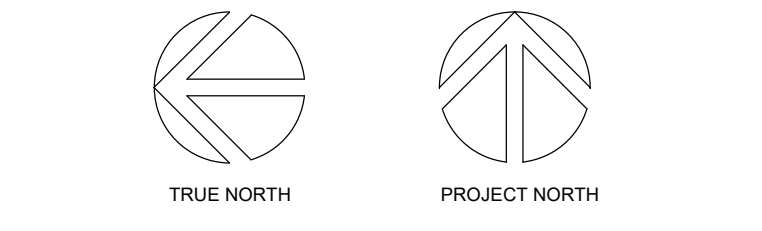


CFD_Bronto_Skylift

Width	: 2.57	meters
Track	: 2.57	
Lock to Lock Time	: 6.0	
Steering Angle	: 47.5	
Turning Radius	: 10.18	



1 SITE PLAN BUILDING B
A2.102 Scale: 1 : 250



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PROJECT
SAVANNA
9320 - 52nd Avenue NE

TITLE
ENLARGED SITE PLAN



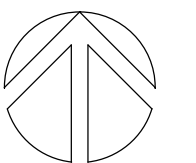
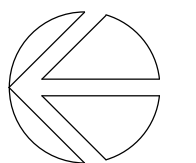
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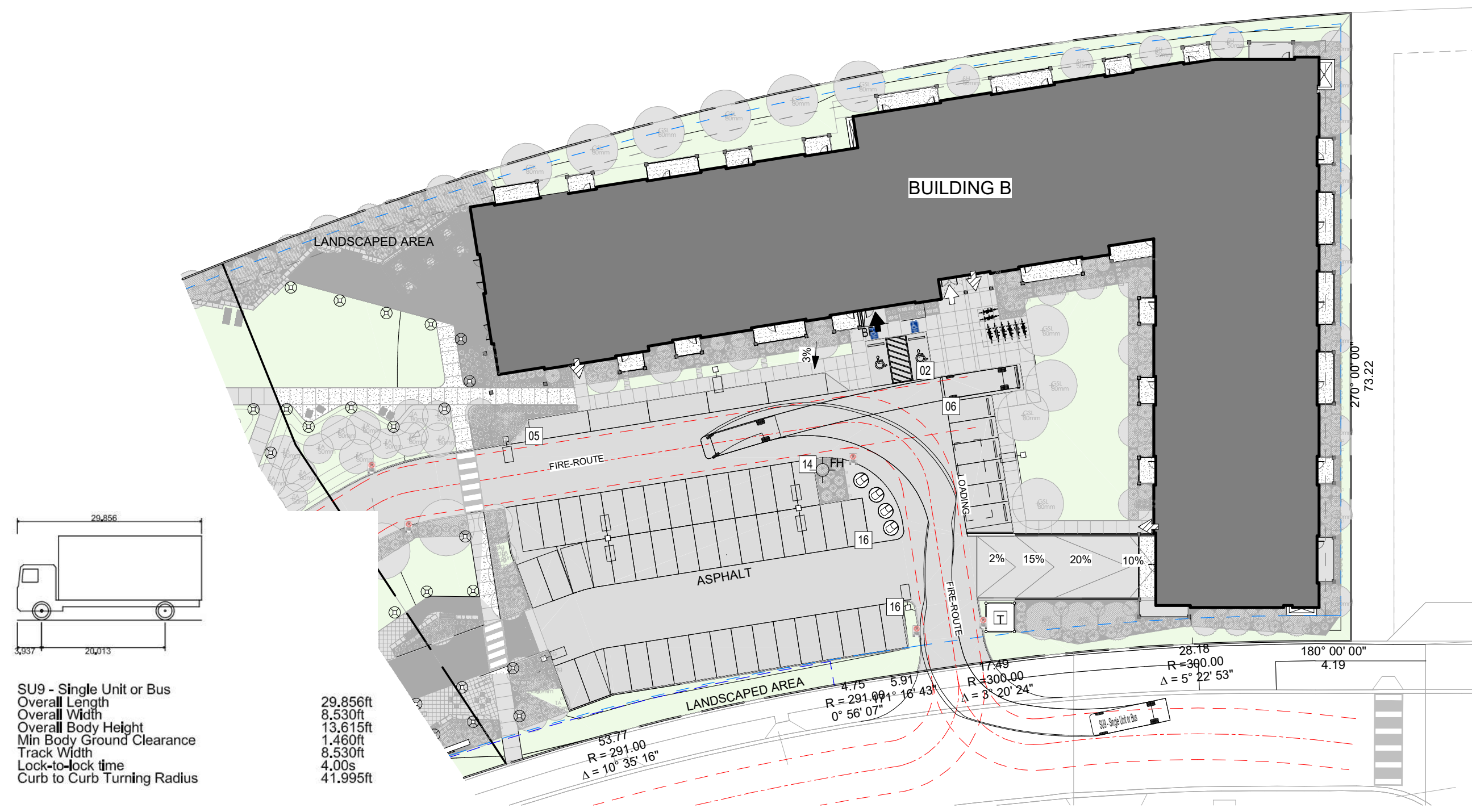
CLIENT LOGO

KEYPLAN



TRUE NORTH PROJECT NORTH

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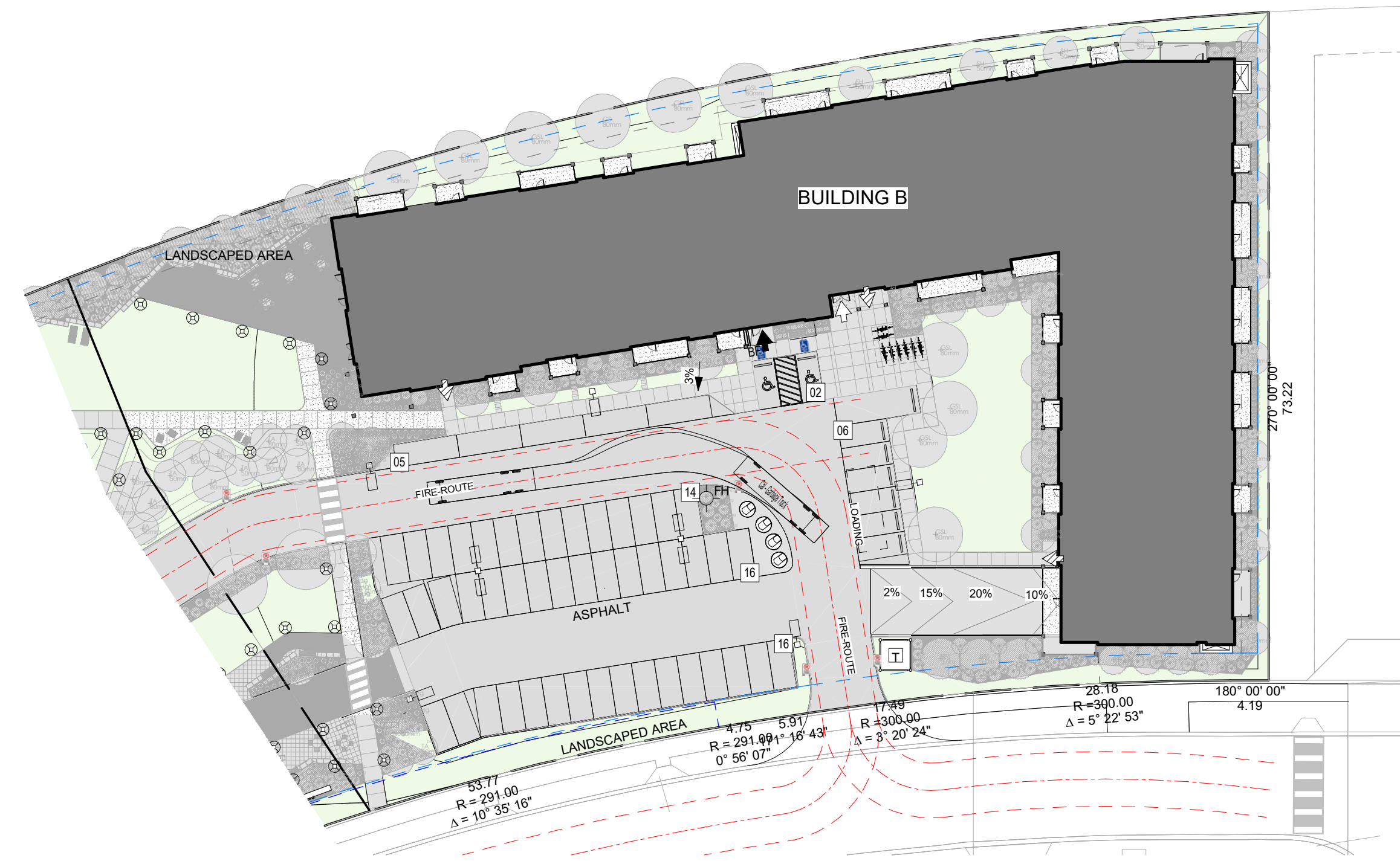
1 SITE PLAN BUILDING B - SU9 Turning in
A2.105 Scale: 1 : 500



2 SITE PLAN BUILDING B - SU9 Turning out
A2.105 Scale: 1 : 500



3 SITE PLAN BUILDING B - Garbage In
A2.105 Scale: 1 : 500



4 SITE PLAN BUILDING B - Garbage Out
A2.105 Scale: 1 : 500

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PROJECT
SAVANNA

9320 - 52nd Avenue NE

TITLE
VEHICLE CIRCULATION

WALTERFEDY
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BUILDING A (SEPERATE PERMIT - INCLUDED FOR CONTEXT)

BUILDING B (THIS PERMIT)



1 BLD B - March + Sept 21 10am
A2.106 Scale: 1 : 1000

BUILDING A (SEPERATE PERMIT - INCLUDED FOR CONTEXT)

BUILDING B (THIS PERMIT)



2 BLD B - March + Sept 21 12pm
A2.106 Scale: 1 : 1000

BUILDING A (SEPERATE PERMIT - INCLUDED FOR CONTEXT)

BUILDING B (THIS PERMIT)



3 BLD B - March + Sept 21 4pm
A2.106 Scale: 1 : 1000

BUILDING A (SEPERATE PERMIT - INCLUDED FOR CONTEXT)

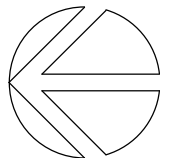
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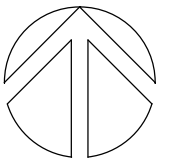
4 BLD B - March + Sept 21 6pm
A2.106 Scale: 1 : 1000

CLIENT LOGO

KEYPLAN



TRUE NORTH



PROJECT NORTH

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GENSTAR DEVELOPMENT COMPANY

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PROJECT
SAVANNA

9320 - 52nd Avenue NE

TITLE
SHADOW STUDY MARCH + SEPT 21

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CHECKED BY:	Checker		

BUILDING A (SEPERATE PERMIT - INCLUDED FOR CONTEXT)

BUILDING B (THIS PERMIT)



3 BLD B - June 21 10am
A2.107 Scale: 1 : 1000

BUILDING A (SEPERATE PERMIT - INCLUDED FOR CONTEXT)

BUILDING B (THIS PERMIT)



4 BLD B - June 21 12pm
A2.107 Scale: 1 : 1000

BUILDING A (SEPERATE PERMIT - INCLUDED FOR CONTEXT)

BUILDING B (THIS PERMIT)



1 BLD B - June 21 4pm
A2.107 Scale: 1 : 1000

BUILDING A (SEPERATE PERMIT - INCLUDED FOR CONTEXT)

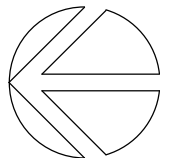
BUILDING B (THIS PERMIT)



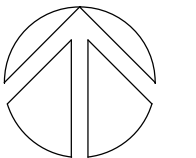
2 BLD B - June 21 6pm
A2.107 Scale: 1 : 1000

CLIENT LOGO

KEYPLAN



TRUE NORTH



PROJECT NORTH

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PROJECT
SAVANNA

9320 - 52nd Avenue NE

TITLE
SHADOW STUDY JUNE 21

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DATE:	2023-02-28	A2.107
PROJECT NO.:	2025-0084-10	
DRAWN BY:	Author	
CHECKED BY:	Checker	

ALL ELEMENTS ARE PROPOSED UNLESS OTHERWISE NOTED.

CLIENT LOGO



2 Building B - North Elevation
A2.301 Scale: 1 : 200



3 Building B - East Elevation
A2.301 Scale: 1 : 192



4 Building B - South Elevation
A2.301 Scale: 1 : 192



1 Building B - West Elevation
A2.301 Scale: 1 : 200

BUILDING ELEVATION LEGEND:

- B-1 BRICK VENEER. COLOR: CHARCOAL
- CP-1 CEMENTITIOUS PANEL. COLOR: WHITE
- CP-2 CEMENTITIOUS PANEL. COLOR: GREY
- MT-1 MISCELLANEOUS METAL. COLOR: BLACK
- WD-1 ALUMINUM SIDING. COLOR: FAUX WOOD GRAIN
- GL-1 CLEAR GLASS
- PTAC IN-WALL MECHANICAL EQUIPMENT
- R-1 ASPHALT SHINGLES. COLOR: CHARCOAL BLEND
- PVC-1 PVC WINDOW FRAMES. COLOR: BLACK
- SF-1 PREFINISHED METAL SOFFIT (UNDERSIDE OF ROOF AREAS, BALCONIES, AND OVERHANGS). COLOR: FAUX WOOD GRAIN
- ST-1 STONE PANELS. COLOR: GRANITE

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CLIENT
GENSTAR DEVELOPMENT COMPANY

8826 Blackfoot Trail SE Suite 230, Calgary AB T2J 3J1

PROJECT
SAVANNA

9320 - 52nd Avenue NE

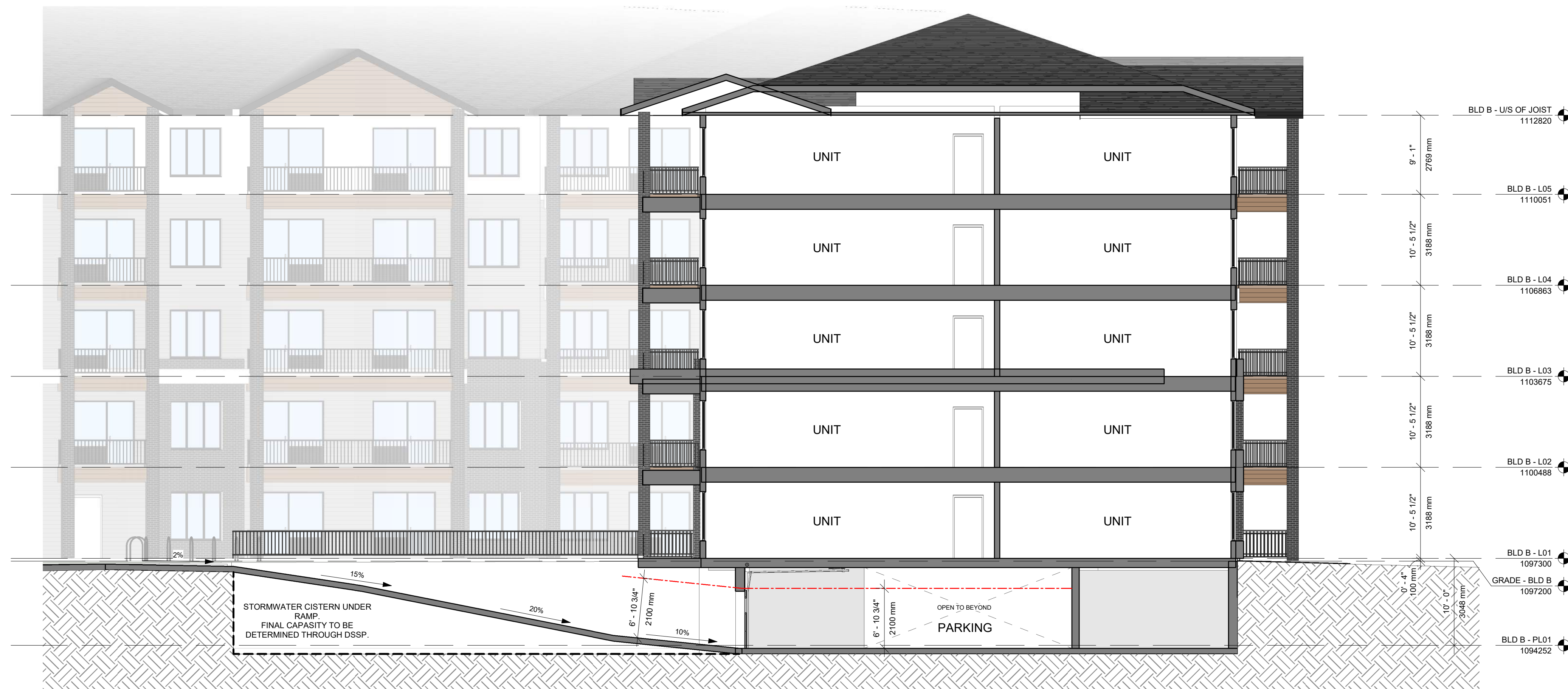
TITLE
BUILDING ELEVATIONS

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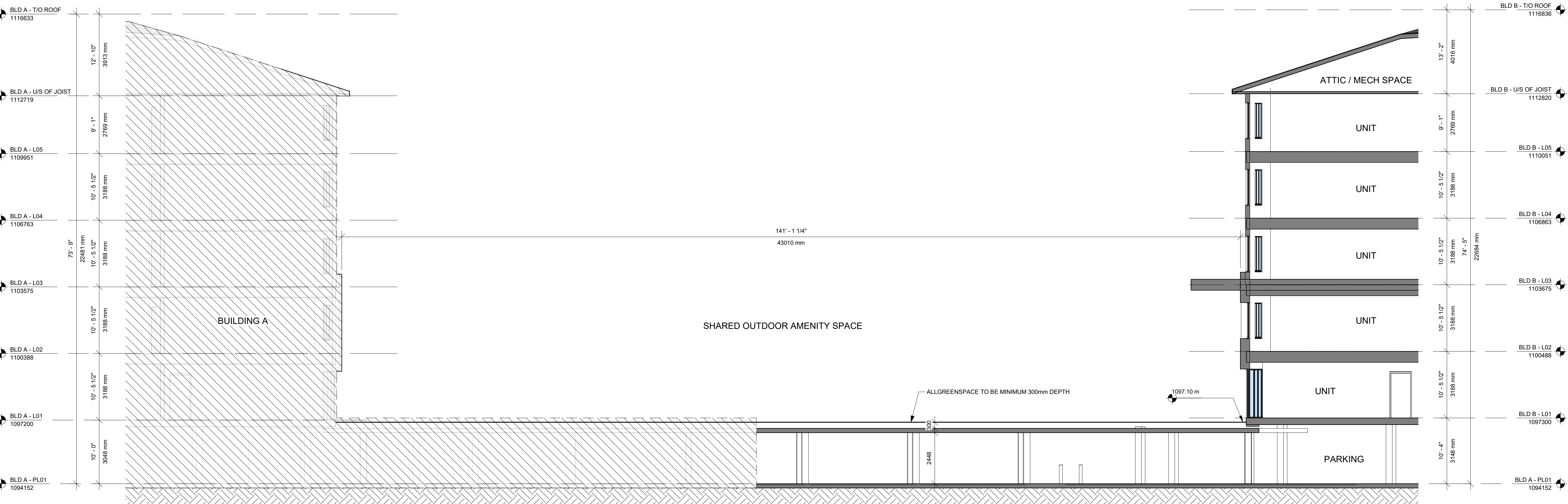
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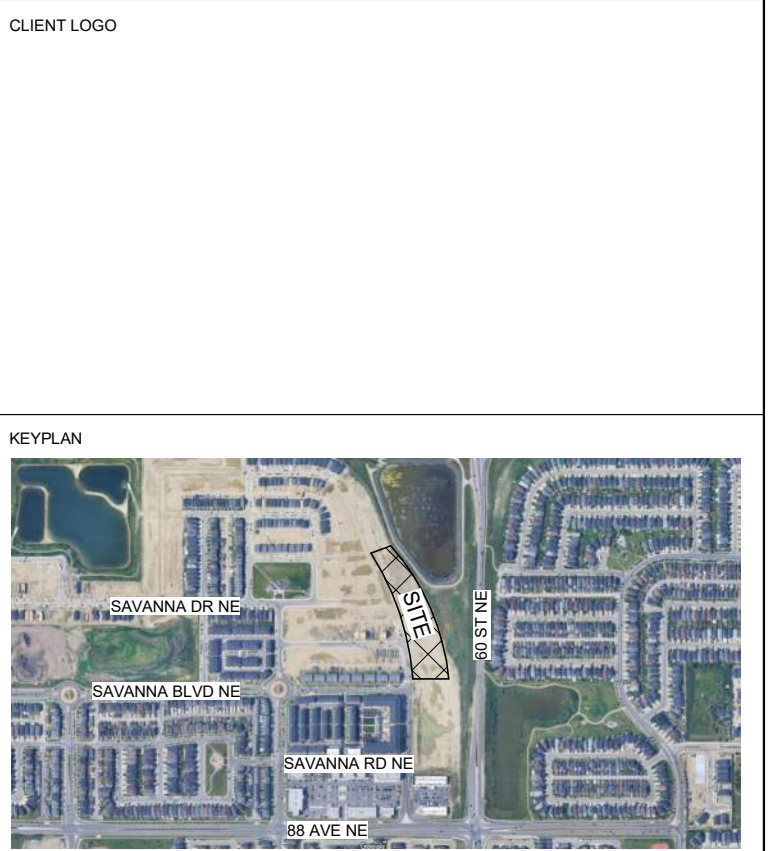
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DATE:	04/24/25		
PROJECT NO.:	2025-0084-10		
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1 BUILDING SECTION
A2.401 Scale: 1 : 100



2 BUILDING SECTION
A2.401 Scale: 1 : 100



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1	ISSUED FOR DP SUBMISSION	2025.08.01

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PROJECT
SAVANNA

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TITLE
BUILDING SECTIONS

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FRONT ELEVATION : PEDESTRIAN HEIGHT : FROM ACROSS THE STREET : FACING PRIMARY ENTRANCE

CLIENT LOGO

KEYPLAN



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RENDERS

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NORTHEAST CORNER



SOUTHEAST CORNER



SOUTHWEST CORNER



EAST ELEVATION

CLIENT LOGO

KEYPLAN

No.	ISSUANCE	DATE
1	ISSUED FOR DP SUBMISSION	2025.08.01

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DATE:	07/29/25		
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LOT 40, BLOCK 22
1.677ha (4.14ac)

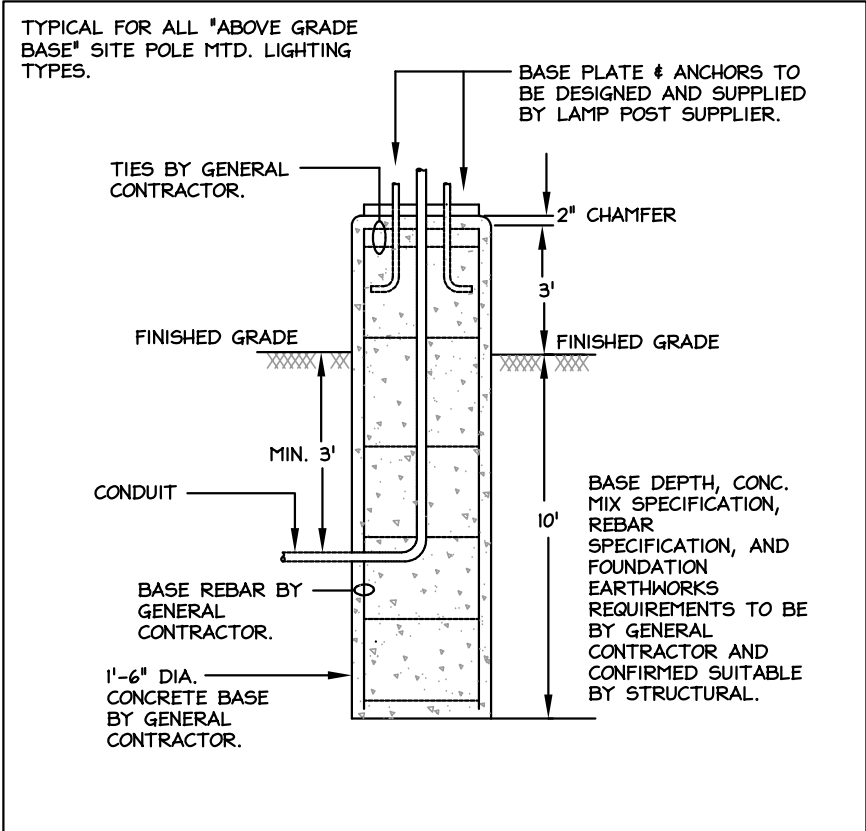
do we need 2 seperate packages? YES



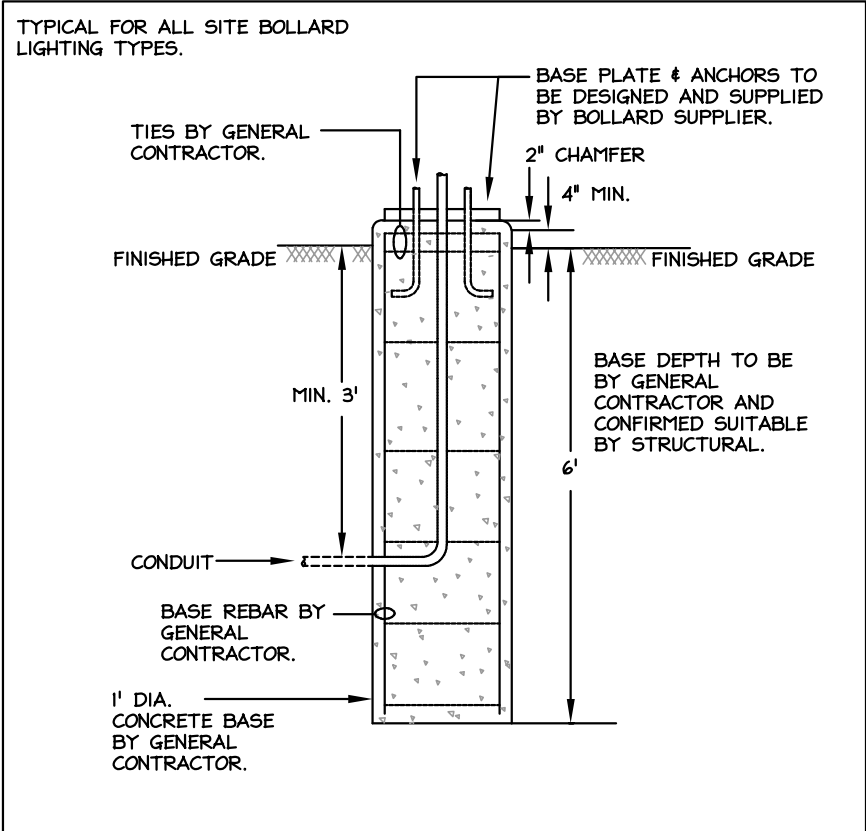
SYMBOL	DESCRIPTION
○	OUTLET BOX - SINGLE GANG
□	JUNCTION BOX
—	LUMINAIRE STRAIGHT TYPE
—	LUMINAIRE - RECESSED POINTED
—	LUMINAIRE - SURFACE OR PENDANT POINTED
—	LUMINAIRE - HALL POINTED
—	LUMINAIRE - RECESSED HTD. - EPIG. CIRCUIT
—	LUMINAIRE - RECESSED HTD. - NIGHTLIGHT CIRCUIT
—	LUMINAIRE - HIGHWAY TYPE
—	LUMINAIRE - RECESSED OR SURFACE OR PENDANT HTD.
—	LUMINAIRE - HALL POINTED
—	LUMINAIRE - TRACK TYPE
—	LUMINAIRE - POLE POINTED TYPE
—	LUMINAIRE - BOLLARD OR POLE TYPE
—	SWITCH - SINGLE POLE SINGLE THROW TYPE
—	SWITCH - THREE WAY OR FOUR WAY TYPE
—	SWITCH - SLIDE DIMMER
—	SWITCH - SLIDE DIMMER 0-10V ONLY (NOT ON-OFF)
—	SWITCH - VARIABLE SPEED CONTROL TYPE
—	SWITCH C/W PLUG LOCK
—	SWITCH - KEYPAD TYPE
—	SWITCH - MASTER (MULTIPLE SWITCHING ZONES CONTROL)
—	SWITCH - LOW VOLTAGE (LV) CONTROL SYSTEM DEVICE
—	DIFFER SWITCH - LV CONTROL SYSTEM DEVICE
—	OCCUPANCY SENSOR SWITCH - HALL POINTED
—	OCCUPANCY SENSOR SWITCH - CEILING POINTED
—	OCCUPANCY SENSOR SWITCH - LV CONTROL SYSTEM DEVICE - CEILING HTD.
—	PHOTODIMMER - LV CONTROL SYSTEM DEVICE - CEILING HTD.
—	DUPLEX RECEPTACLE
—	DUPLEX RECEPTACLE - WEATHERPROOF-IN USE
—	DUPLEX RECEPTACLE - 20A BATED, T-SLOT TYPE
—	DUPLEX RECEPTACLE - INTEGRAL SURGE SUPPRESSOR
—	DUPLEX RECEPTACLE - INTEGRAL GROUND FAULT PROTECTION
—	DUPLEX RECEPTACLE - TAPERED RECEPTACLE TYPE
—	DUPLEX RECEPTACLE - ISOLATED GROUND
—	DUPLEX RECEPTACLE - EPDM BRANCH CIRCUIT
—	DUPLEX RECEPTACLE - HAZARDOUS AREA RATED
—	DUPLEX RECEPTACLE - INTEGRAL ARC-FAULT PROTECTION
—	DUPLEX RECEPTACLE - THERMISTOR TYPE
—	DUPLEX RECEPTACLE - FLOOR MOUNTED
—	DUPLEX RECEPTACLE - CEILING POINTED
—	DUPLEX RECEPTACLE - OVER-COUNTER HTD.
—	DUPLEX RECEPTACLE - UNDER-COUNTER HTD.
—	DUPLEX RECEPTACLE - MICROWAVE CONNECTION
—	DUPLEX RECEPTACLE - FROSE CONNECTION
—	DUPLEX RECEPTACLE - INTEGRAL USB CHARGING PORTS
—	DUPLEX RECEPTACLE - DEDICATED BRANCH CIRCUIT
—	DUPLEX RECEPTACLE - SPLIT FEED BRANCH CIRCUITS
—	DUPLEX RECEPTACLE - HALF SWITCHED CONTROL
—	SPECIAL RECEPTACLE (VOLTAGE, PHASE, APP.)
—	CORP REEL W/ DUPLEX RECEPTACLE PENDANT
—	OUTLET BOX - NIGHTLIGHT WIRING DEVICE
—	OUTLET BOX - DISHWASHER CONNECTION
—	OUTLET BOX - OVER THE RANGE PROXIMITY/COOD-FAN CONNECTION
—	OUTLET BOX - OVER THE RANGE HOOD-FAN CONNECTION
—	CATV CABLE JACK
—	VOICE CABLE JACK
—	HEPS JACK
—	DATA JACK - WIFI ACCESS POINT
—	OUTLET BOX - USB CHARGING PORTS
—	OUTLET BOX - ALDOVIDEOD
—	FACILITY CLOCK
—	PUSHBUTTON
—	OUTLET BOX - BARRIERSAFE AUTO-DOOR PUMPADOLE
—	OUTLET BOX - DOOR OPERATOR
—	INTERCOM - DOOR STATION
—	INTERCOM - MASTER STATION
—	INTERCOM - CENTRAL EXCHANGE UNIT
—	PUSHBUTTON - DOOR BUZZER
—	DOOR BUZZER C/W LV TRANSFORMER
—	PUSHBUTTON - SECURITY PANIC ALARM
—	PUSHBUTTON - SECURITY DOOR RELEASE
—	SECURITY OUTLET BOX - CARD READER
—	SECURITY OUTLET BOX - FOB READER
—	SECURITY OUTLET BOX - MOTION SENSOR
—	SECURITY OUTLET BOX - NOTION SENSOR (NIP)
—	SECURITY OUTLET BOX - GLASS BREAK SENSOR
—	SECURITY OUTLET BOX - DOOR CONTACT
—	SECURITY OUTLET BOX - HALF SWITCHED CONTROL
—	SECURITY OUTLET BOX - MAGNETIC LOCK
—	SECURITY OUTLET BOX - KEYPAD
—	SECURITY OUTLET BOX - REARREST TO EXIT
—	SECURITY OUTLET BOX - LATCH RETRACTION/PHR TRANSFER DEVICE
—	SECURITY OUTLET BOX - DELAYED SENSING
—	SECURITY OUTLET BOX - DOOR CONTROL KEY SWITCH
—	SECURITY OUTLET BOX - PANIC ALARM INDICATOR LIST
—	SECURITY OUTLET BOX - BLUE STROBE
—	SECURITY BLUE PULLSTATION
—	SECURITY CAMERA - FIXED
—	SECURITY CAMERA - PAN/TILT/ZEOPH
—	NURSE CALL - PULL CORD STATION
—	NURSE CALL - CALL PUSHBUTTON STATION
—	NURSE CALL - BODY CONTROL W/ LED CORPSELT
—	NURSE CALL - MASTER CONSOLE
—	PUBLIC ADDRESS - PROXCALL STATION
—	SPEAKER - HORN TYPE
—	SPEAKER - RECESSED C/W BACKBOX
—	SPEAKER - SURFACE HTD. C/W BACKBOX
—	SPEAKER - PENDANT HTD.
—	AUDIO - PROXIMITYLINE-INPUT MODULE
—	AUDIOVIDEO - AUXILIARY LINE-INPUT MODULE
—	AUDIOVIDEO - REH. CONTROLLER STATION
—	AUDIO - VOLUME ATTENUATION MODULE
—	OUTLET BOX - THERMOSTAT
—	MOTOR EQUIPMENT - SCHEDULE DESIGNATION IDENTIFIER
—	MOTOR-EQUIPMENT CONNECTION
—	DISCONNECT SWITCH
—	FACILITY EQUIPMENT - SCHEDULE DESIGNATION IDENTIFIER
—	FIRE ALARM PULL STATION W/ SILENCE SWITCH
—	FIRE ALARM HORN C/W STROBE LIGHT - WEATHERPROOF TYPE
—	FIRE ALARM HORN C/W STROBE LIGHT - CEILING HTD. TYPE
—	FIRE ALARM HORN C/W STROBE LGT. - PENDANT HTD. (STEP)
—	FIRE ALARM STROBE LIGHT
—	FIRE ALARM HORN
—	FIRE ALARM BELL C/W STROBE LIGHT
—	FIRE ALARM BELL
—	FIRE ALARM SPEAKER
—	FIRE ALARM SPEAKER C/W STROBE LIGHT
—	FIRE ALARM SIREN C/W STROBE LGT. - CEILING HTD. TYPE
—	FIRE ALARM ROTATING BEACON LGT.
—	FIRE ALARM PULLSTATION W/ TAMPER RESISTANT COVER
—	FIRE ALARM FIGHTER TELESTATION W/ RECESSED BACKBOX
—	FIRE ALARM ISOLATION MODULE
—	FIRE ALARM SMOKE DETECTOR
—	HEAT DETECTOR - FIXED TEMP. RATE OF RISE
—	HEAT DETECTOR - FIXED TEMP.
—	HEAT DETECTOR - FIXED HIGH TEMP.
—	SMOKE DETECTOR
—	SMOKE DETECTOR - BACT TYPE
—	10V COB DETECTOR C/W BATT. BACKUP
—	10V COB DETECTOR C/W BATT. BACKUP
—	10V COB DETECTOR C/W BATT. BACKUP
—	EXIT LIGHT
—	EXIT LIGHT - PENDANT POINTED (STEP)
—	EXIT LIGHT W/ LEFT DIRECTIONAL ARROW INDICATION
—	EXIT LIGHT W/ RIGHT DIRECTIONAL ARROW INDICATION
—	COB LED EXIT LIGHT C/W EPIG. LTS. DOUBLE HEADS
—	EMERGENCY LTS. BATTERY PACK C/W EPIG. DOUBLE HEADS
—	EMERGENCY LTS. BATTERY PACK
—	EMERGENCY LTS. INVERTER UNIT
—	EPIG. LTS. REPI. DOUBLE HEADS - HALL OR CEILING HTD.
—	EPIG. LTS. REPI. DOUBLE HEADS - PENDANT HTD. (STEP)
—	MAGNETIC DOOR HOLD OPERATOR
—	MAGNETIC DOOR HOLD OPERATOR - INTEGRAL TO HARDWARE

1 SITE PLAN - ELECTRICAL
Scale: 1 : 400

TYPE	MANUFACTURER & CATALOGUE NO.	LAMPS	REMARKS
AA	SITE POLE HTD., LED, FULL-CUTOFF, SURGE PROT., IP66, 2x180° HEADS, TYPE #SL3 OPTICS, LUMARK #PRV-PA2A-730-U-T3-SA-BK-HS5 (120V)	2x1134 LED 3000K	20' SGR. POLE
AA1	SITE POLE HTD., LED, FULL-CUTOFF, SURGE PROT., IP66, TYPE #SL3 OPTICS, LUMARK #PRV-PA2A-730-U-T3-SA-BK-HS5 (120V)	1134 LED 3000K	20' SGR. POLE
AA2	SITE POLE HTD., LED, FULL-CUTOFF, SURGE PROT., IP66, TYPE #SL2 OPTICS, LUMARK #PRV-PA2A-730-U-T2-SA-BK-HS5 (120V)	1134 LED 3000K	20' SGR. POLE
AA3	SITE POLE HTD., LED, FULL-CUTOFF, SURGE PROT., IP66, TYPE #4 OPTICS, LUMARK #PRV-PA2A-730-U-T4-SA-BK (120V)	1134 LED 3000K	20' SGR. POLE
BB	HALKWAY BOLLARD LED, FULL CUT-OFF, IP66, TYPE #T2 OPTICS, LUMIERE #309-BI-LEDB2-3002L-UNV-T2-DP110-BK-42 (120V)	14W LED 3000K	42' SGR. BOLLARD



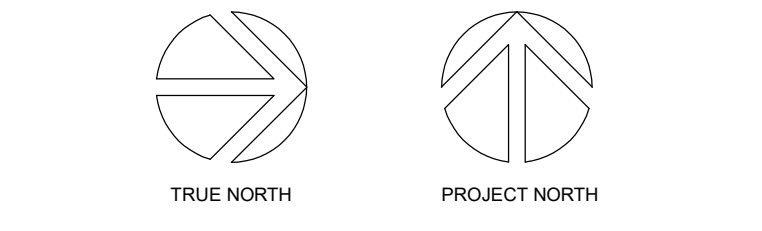
2 DETAIL - SITE POLE LTS.
Scale: N.T.S.



3 DETAIL - SITE BOLLARD LTS.
Scale: N.T.S.

CLIENT LOGO

KEYPLAN



No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-07-28

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ECCOM CONSULTING INC.
13009 - 156 Street || Edmonton, Alberta, T5V 0A2
Tel.: 780.444.2200 || Email: info@eccom.ca

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GENSTAR
BRINGING LAND TO LIFE

CLIENT
GENSTAR DEVELOPMENT COMPANY

CLIENT ADDRESS
GENSTAR SAVANNA

PROJECT
GENSTAR SAVANNA

TITLE
OVERALL SITE PLAN

WALTERFEDY
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DATE:		E00
PROJECT NO.:	25076	
DRAWN BY:	JT/NS	
CHECKED BY:	CS	



Relevant Bylaw Statistics

Land use - M-2 - Multi-Residential Medium Profile

550 General Landscaped Area Rules

- (2) A landscape plan for the entire development must be submitted as part of each development permit application where changes are proposed to the building or parcel, and must show at least the following:
 - (a) the existing and proposed topography.
 - (b) the existing vegetation and indicate whether it is to be retained or removed.
 - (c) the layout of berms, open space systems, pedestrian circulation, retaining walls, screening, slope of the land, soft surface landscaped areas, and hard surfaced landscaped areas.
 - (d) the types, species, sizes and numbers of plant material and the types of hard surfaced landscaped areas.
 - (e) details of the irrigation system
 - (f) Section Not applicable
 - (g) Section Not applicable
 - (h) for landscaped areas with a building below, the following additional information must be provided:
 - (i) the location of underlying slabs and abutting walls
 - (ii) cross sections detailing the waterproofing membranes, protection board, insulation and drainage layer.
 - (iii) depths of the growing medium for each planting area
 - (iv) the mature height and spread of all trees and shrubs
 - (v) the means of irrigating the planting areas
- (3) The landscaped areas shown on the landscape plan approved by the development authority must be maintained on the parcel for so long as the development exists.
- (4) All landscape areas, other than private amenity space, must be accessible to all residents of the development.
- (5) All soft surface landscape area must be irrigated by an underground irrigation system, unless otherwise provided by a low water irrigation system.
- (6) Unless otherwise referenced in subsections (7) and (8), all areas of a parcel, except for those portions specifically required for motor vehicle access, motor vehicle parking stalls, loading stalls, garbage facilities, or any purposes allowed by the Development Authority must be a landscaped areas.
- (7) All setback areas adjacent to a street or another parcel, except for those portions specifically required for motor vehicle access, must be a landscaped areas.
- (8) All setback areas adjacent to a lane, except for those portions specifically required for motor vehicle access, motor vehicle parking stalls, loading stalls, or garbage facilities must be a landscaped areas.
- (9) Amenity space must be included in the calculation of a landscaped areas where such amenity space:
 - (a) is provided outdoors at grade
 - (b) is a hard surfaced landscaped areas or a soft surfaced landscaped areas.

552 Planting Requirements

(7) For landscape Areas with a building below, planting areas must have the following minimum soil depths:

- (a) 1.2 meters for trees
- (b) 0.6 meters for shrubs
- (c) 0.3 meters for all other planting areas

At least 90.0 per cent of the required landscaped area must be provided at grade.

General Notes

1. Site plan prepared using information provided by Walterfedy, received July 23, 2025.
2. All drawings are property of Landscape Architect.
3. Site clean up is incidental to the work.
4. All landscape areas are to be sloped to ensure positive drainage away from structures, unless noted otherwise.
5. All drawings are metric unless otherwise noted.
6. Refer to related disciplines as indicated on plans where applicable.
7. Disturbance outside of the Property Line to be repaired to the satisfaction of the Landscape Architect.

the **TULA** project

1 Bylaw Calculations
L0.01 1:350

Hatch Legend

Surface Landscape Areas	hatch	description
		soft surface area
		hard surface area

Existing Tree Data

plan # / ID number	Species	Height (m)	Canopy (m)	Caliper (cm)	remove/retain
ex1 / T-51482869	Brandon Elm	5.0	2.0	5.0	retain
ex2 / T-51482868	Brandon Elm	5.0	2.0	5.0	retain
ex3 / T-51482867	Spring Snow Crabapple	3.0	2.0	5.0	retain
ex4 / T-51482866	Spring Snow Crabapple	4.0	2.0	5.0	retain

Specific Rules for Landscape Areas

Bylaw	Required	Provided
551 (2) - a minimum of 40 percent of the parcel must be a landscaped area	Parcel area = 8,253.48 sq. m Required landscape area = 3,301.39 sq. m	Provided Landscape Area = 3,326.75 sq.m Provided Area % = 40.3%
551 (3) The maximum hard surface landscape area is (b) - 40 percent of the required landscaped area	Maximum hard surface area = 1,320.56 sq.m	Provided Hardscape Area = 980.51sq.m Provided Hardscape Area % = 29.5%

Planting Requirements

Bylaw	Required	Provided
552 (2) a minimum of 1 tree and 2 shrubs must be planted for every 45 square meters	3,326.75 (provided landscape area) / 45 = 74 trees and 148 shrubs required	Total trees & shrubs provided = 75 trees provided 264 shrubs provided 273 grasses provided
552 (3) a minimum of 25.0 per cent of all trees provided must be coniferous	74 trees x 0.25 = 19 coniferous trees required	Total coniferous trees provided = 19 coniferous trees provided
552 (4) deciduous trees must have a minimum caliper of 50 millimeters and at least 50.0 percent of the provided deciduous trees have a minimum caliper of 75 millimeters at the time of planting.	55 deciduous trees required x 0.5 = 27 - 50mm caliper trees required 28 - 75mm caliper trees required	Total provided deciduous trees = 56 28 - 50mm caliper trees provided 28 - 80mm caliper trees provided
552 (5) coniferous trees must have a height of 2.0 meters and at least 50.0 percent of the provided coniferous trees must be a minimum height of 3.0 meters in height at the time of planting.	19 coniferous trees required x 0.5 = 9 - 2.0m tall coniferous trees required 10 - 3.0m tall coniferous trees required	Total provided coniferous trees = 19 9 - 2.0m tall caliper trees provided 10 - 3.0m tall caliper trees provided

1 Issued For DP 25.08.01

issued for... Date

project name

Savanna Multi Residential Building B

project legal address
772 Savanna Bazaar NE, Calgary, AB

Application Identification

project # 25.013 date 2025/08/01

drawn by AG checked by AG approved by JW

sheet name

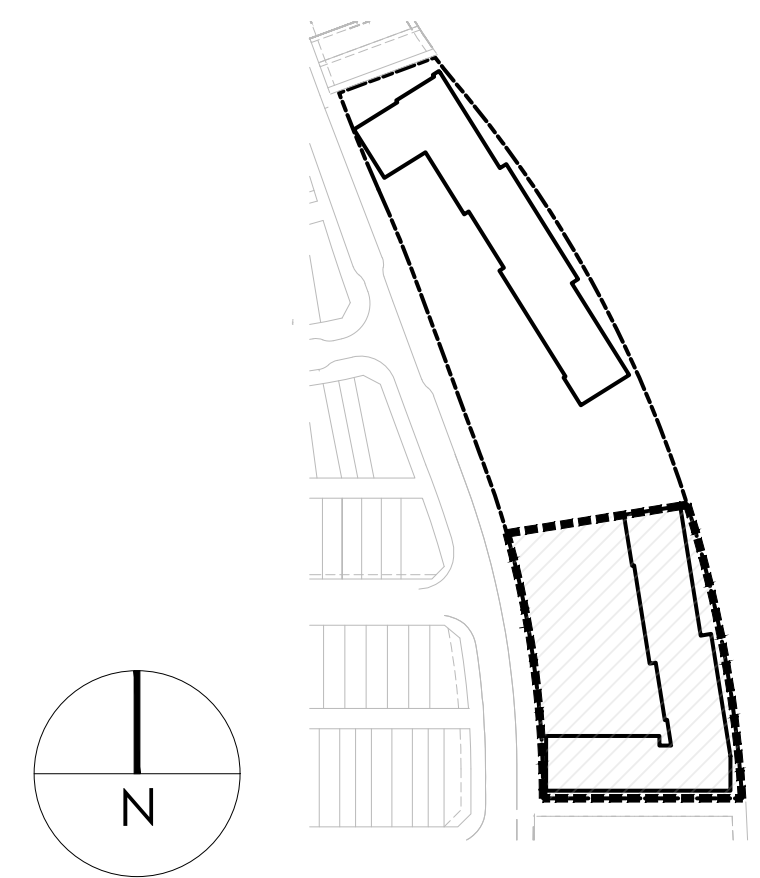
Bylaw Statistics

Sheet

L0.01



- General Notes**
1. Site plan prepared using information provided by Walterfedy, received July 23, 2025.
 2. All drawings are property of Landscape Architect.
 3. Site clean up is incidental to the work.
 4. All landscape areas are to be sloped to ensure positive drainage away from structures, unless noted otherwise.
 5. All drawings are metric unless otherwise noted.
 6. Refer to related disciplines as indicated on plans where applicable.
 7. Disturbance outside of the Property Line to be repaired to the satisfaction of the Landscape Architect.



the **TULA** project

1 Issued For DP 25.08.01
 # issued for... Date

project name
Savanna Multi Residential Building B

project legal address
 772 Savanna Bazaar NE, Calgary, AB

Application Identification

project # 25.013 date 2025/08/01

drawn by AG checked by AG approved by JW

sheet name
Building B Landscape Plan

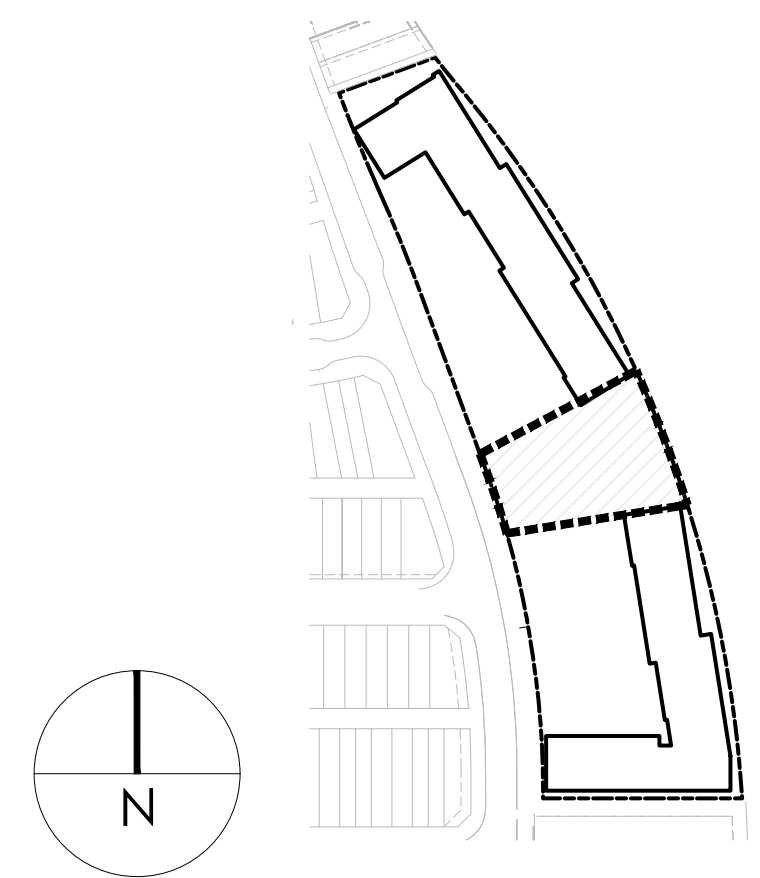
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1 Landscape Plan
 L1.01 1:150

L1.01



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the **TULA** project

1 Building B Landscape Plan
L1.02 1:150

1	Issued For DP	25.08.01
#	issued for...	Date
project name		
Savanna Multi Residential Building B		
project legal address		
772 Savanna Bazaar NE, Calgary, AB		
Application Identification		

project #	25.013	date 2025/08/01
drawn by	AG	checked by AG
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sheet name		
Building B Landscape Plan		

Sheet
L1.02